

FINAL DEVELOPMENT SPECIAL USE PERMIT

2395 MILL ROAD

CITY OF ALEXANDRIA, VIRGINIA

AREA TABULATIONS

TOTAL EX. SITE AREA =	1.889	AC	82,283	SF
TOTAL PROP. SITE AREA =	1.889	AC	82,283	SF
TOTAL AREA OF TAX PARCEL =	1.889	AC	82,283	SF
TOTAL IMPERVIOUS AREA =	1.423	AC	62,007	SF
TOTAL DISTURBED AREA =	1.889	AC	82,283	SF

ZONING TABULATIONS

SITE LOCATION / ADDRESS: T.M. 72.02-02-13, 72.02-02-14, 72.02-02-17, 72.02-02-18, AND PORTION OF 72.02-02-19 2395 MILL ROAD, ALEXANDRIA, VA
 TOTAL SITE AREA (WITHIN APPLICATION AREA) = 136,362 SF OR 3.13 ACRES

EXISTING ZONE: OCM (100)/UT
 PROPOSED ZONE: CDD #2 LOT AREA= 1.889 AC, UT LOT AREA=1.241 AC

EXISTING USE: VACANT/STORAGE
 PROPOSED USE: OFFICE

SMALL AREA PLAN: EISENHOWER EAST SMALL AREA PLAN (EESAP)
 BLOCK NUMBER: BLOCK 15A

MAXIMUM HEIGHT PERMITTED: PER CDD #2 APPROVAL

BUILDING HEIGHT PROVIDED: 200'-0" INCLUDING PENTHOUSE

AVERAGE FINISHED GRADE: 35.49'

FRONTAGE: N/A

YARD SETBACK: N/A

GROSS AREA:	PARKING	97,462 SF
	OFFICE	331,877 SF
TOTAL:		429,339 SF

NET AREA: 408,767 SF

EXISTING FAR: 0
 PROPOSED FAR: 408,767 SF/82,283 SF = 4.97

PARKING:

REQUIREMENT MINIMUM: 0.25 SPACES/ PER 1000 SF OF FLOOR AREA = 106 SPACES
 REQUIREMENT MAXIMUM: 1.50 SPACES/ PER 1000 SF OF FLOOR AREA = 638 SPACES

PARKING PROVIDED:

SURFACE PARKING

STANDARD:	26 SPACES
COMPACT:	0 SPACES
ADA:	2 SPACES
TOTAL:	28 SPACES

DRIVEWAY PARKING

STANDARD:	6 SPACES
COMPACT:	0 SPACES
ADA:	0 SPACES
TOTAL:	6 SPACES

GARAGE PARKING

STANDARD:	119 SPACES
COMPACT:	7 SPACES
ADA:	9 SPACES
TOTAL:	199 SPACES

TOTAL PARKING PROVIDED: 233 SPACES

EXISTING LOADING: 0 SPACES

PROVIDED LOADING: 2 SPACES

TRIP GENERATION

EXISTING DEVELOPMENT (VACANT) = 0 ADT*

PROPOSED DEVELOPMENT (GOVERNMENT OFFICE COMPLEX) = 7,017 ADT*

*TRIP GENERATION OBTAINED FROM ITE'S TRIP GENERATION MANUAL, 10TH EDITION.

COMPLETE STREETS TABLE

	NEW	UPGRADED
CROSSWALKS (NUMBER)	-	-
STANDARD	1	-
HIGH VISIBILITY	-	-
CURB RAMPS	2	-
SIDEWALKS (LF)	-	-
BICYCLE PARKING (NUMBER OF SPACES)		
PUBLIC/VISITOR	14	-
PRIVATE/GARAGE	62	-
BICYCLE PATHS (LF)	290	-
PEDESTRIAN SIGNALS	-	1

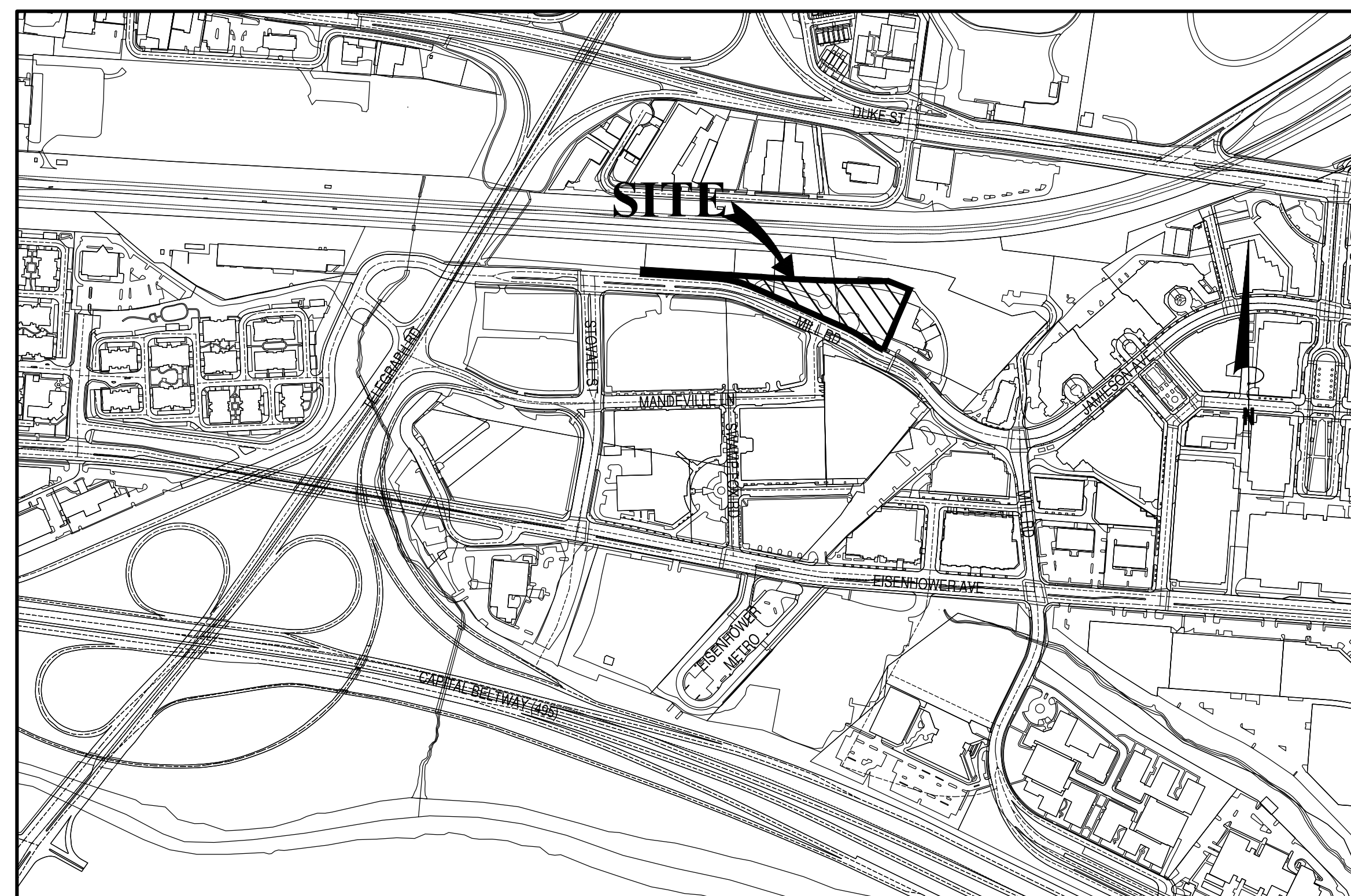
STREET TYPE:
 MILL ROAD - MIXED-USE BOULEVARD

BUILDING CODE ANALYSIS

- BUILDING CODE: VIRGINIA UNIFORM STATEWIDE BUILDING CODE
- USE GROUP: 1-2
- NUMBER OF STORIES: 14
- CONSTRUCTION TYPE: 1A
- FULLY SPRINKLERED: YES

GREEN BUILDING NOTE

THIS DEVELOPMENT WILL MEET THE CITY OF ALEXANDRIA'S GREEN BUILDING POLICY. SEE LEED SCORE CARD ON A010.



VICINITY MAP

SCALE : 1" = 400'

PROJECT DESCRIPTION NARRATIVE

THE APPLICANT IS REQUESTING TO DEVELOP A 14-STORY OFFICE BUILDING. IT INCLUDES APPROXIMATELY 408,767 SF OF NET FLOOR AREA INCLUDING A CONFERENCE CENTER, OFFICE LOBBY, OFFICE SPACE AND FOUR LEVELS OF STRUCTURED PARKING AND SURFACE PARKING. THIS IS PART OF THE EISENHOWER EAST SMALL AREA PLAN (EESAP)

THE EXISTING SITE IS A VACANT LOT USED AS OUTDOOR STORAGE FOR WMATA.

SUP/MODIFICATIONS APPLICATIONS REQUESTED

- MASTER PLAN AMENDMENT TO INCLUDE BLOCK 15A INTO THE EISENHOWER EAST SMALL AREA PLAN.
- ZONING MAP AMENDMENT TO REZONE PROPERTY FROM OCM (100) AND UT TO CDD #2.
- COORDINATED DEVELOPMENT DISTRICT (CDD) CONCEPT PLAN TO INCLUDE BLOCK 15A.
- DEVELOPMENT SPECIAL USE PERMIT FOR CONSTRUCTION OF A 14-STORY OFFICE BUILDING.
- SPECIAL USE PERMIT FOR A TRANSPORTATION MANAGEMENT PLAN.
- MODIFICATION OF THE HEIGHT TO SETBACK RATIO REQUIREMENT IN SECTION 6-403 FOR MILL ROAD.

OWNER/DEVELOPER

- RECORD OWNER: TAX MAP 072.02-02-13, 072.02-02-14, 072.02-02-17, 072.02-02-18, 072.02-02-19 WASHINGTON METROPOLITAN AREA TRANSIT AUTHORITY (WMATA) 600 5TH ST NW WASHINGTON, DC 20006
- DEVELOPER/APPLICANT: WASHINGTON METROPOLITAN AREA TRANSIT AUTHORITY (WMATA) BY MCGUIREWOODS LLP 1750 TYSONS BOULEVARD, SUITE 1800 TYSONS, VIRGINIA 22102 ATTN: JONATHAN P. RAK
- CIVIL: BOWMAN CONSULTING GROUP 13461 SUNRISE VALLEY DRIVE, SUITE 500 HERNDON, VIRGINIA 20171 (703) 464-1000 ATTN: STEVEN LIAM, P.E.
- ATTORNEY: MCGUIREWOODS LLP 1750 TYSONS BOULEVARD, SUITE 1800 TYSONS, VIRGINIA 22102 (703) 712-5375 ATTN: JONATHAN P. RAK
- LANDSCAPE ARCHITECT: CGLA 1025 CONNECTICUT AVENUE, NW SUITE 1000 WASHINGTON, D.C. 20036 (202) 857-9720 ATTN: BRUNO P. CARVALHO
- ARCHITECT: GENSLER 2020 K STREET, NW WASHINGTON, D.C. ATTN: DUNCAN LYONS

ENVIRONMENTAL SITE ASSESSMENT:

THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS, OR WETLANDS LOCATED ON THIS SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF GROUNDWATER CONTAMINATION ON THE SITE.

DOCUMENTED SOIL CONTAMINATION PRESENT ON THE SITE FROM HISTORIC RAIL YARD OPERATIONS AND WILL REQUIRE REMEDIATION AND/OR SOIL MANAGEMENT AS PART OF THE PROJECT.

ARCHAEOLOGICAL NOTE:

CONTACT ALEXANDRIA ARCHAEOLOGY (703-746-4399) TWO WEEKS PRIOR TO ANY GROUND DISTURBING ACTIVITY (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUND UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE). CITY ARCHAEOLOGISTS WILL PROVIDE ON-SITE INSPECTIONS TO RECORD SIGNIFICANT FINDS.

THE DEPTHS AND LOCATIONS OF ANY UNDERGROUND ELECTRIC, WATER, TELEPHONE, AND GAS MAIN LINES OR SERVICES CANNOT BE FIELD SURVEYED. "MISS UTILITY" UTILITY SERVICE PROTECTION CENTER MAY BE CONTACTED AT 1-800-552-7001 REGARDING THE LOCATION OF THESE UNDERGROUND UTILITIES.

UTILITY WARNING!!

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

SHEET INDEX

CIVIL SHEETS		LANDSCAPE SHEETS	
C1.00	COVER SHEET	L100	SITE CONSTRUCTION LOD SHEET
C2.00	NOTES, ABBREVIATIONS AND LEGEND	L101	SITE PLAN
C3.00	GENERAL NOTES	L102	PENTHOUSE TERRACE PLAN
C3.01	DEVELOPMENT CONDITIONS (1 OF 11)	L103	PENTHOUSE TERRACE FURNISHINGS PLAN
C3.02	DEVELOPMENT CONDITIONS (2 OF 11)	L104	5TH FLOOR TERRACE PLAN
C3.03	DEVELOPMENT CONDITIONS (3 OF 11)	L201	SITE DETAILS - PAVING
C3.04	DEVELOPMENT CONDITIONS (4 OF 11)	L202	SITE DETAILS - FURNISHINGS
C3.05	DEVELOPMENT CONDITIONS (5 OF 11)	L203	SITE DETAILS - FENCING
C3.06	DEVELOPMENT CONDITIONS (6 OF 11)	L204	SITE DETAILS - PENTHOUSE TERRACE FURNISHINGS
C3.07	DEVELOPMENT CONDITIONS (7 OF 11)	L205	SITE DETAILS - PENTHOUSE TERRACE FURNISHINGS
C3.08	DEVELOPMENT CONDITIONS (8 OF 11)	L206	SITE DETAILS - TERRACE
C3.09	DEVELOPMENT CONDITIONS (9 OF 11)	L301	SITE LANDSCAPE PLAN
C3.10	DEVELOPMENT CONDITIONS (10 OF 11)	L302	SITE CANOPY COVERAGE CALCULATIONS
C3.11	DEVELOPMENT CONDITIONS (11 OF 11)	L303	PENTHOUSE LANDSCAPE PLAN
C4.00	CONTEXTUAL PLAN	L304	5TH FLOOR LANDSCAPE PLAN
C5.00	EXISTING CONDITIONS	L305	SITE SOIL VOLUME PLAN - EAST
C6.00	DEMOLITION PLAN	L306	SITE SOIL VOLUME PLAN - WEST
C7.00	FINAL DEVELOPMENT SITE PLAN	L307	TERRACE SOIL VOLUME PLAN
C7.10	SECURITY BOOTH DETAIL	L308	LANDSCAPE DETAILS
C8.00	GRADING PLAN	L309	SECTIONS
C8.10	ADA RAMP GRADING	L401	SITE LIGHTING PLAN
C8.20	AVERAGE FINISHED GRADE PLAN	L402	SITE LIGHTING DETAILS
C8.30	DIMENSION PLAN	L403	SITE LIGHTING DETAILS
C9.00	UTILITY PLAN		
C10.00	UTILITY PROFILES		
C10.10	UTILITY PROFILES		

(23 SHEETS)
 PHOTOMETRIC SHEETS
 E101 LEVEL 01 PHOTOMETRIC PLAN
 E102 LEVEL 02 PHOTOMETRIC PLAN
 E103 LEVEL 03 & 04 PHOTOMETRIC PLAN
 (3 SHEETS)

DESIGN ENGINEER / SURVEYOR

Bowman CONSULTING GROUP, LTD.

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Herndon, Virginia 20171
© Bowman Consulting Group, Ltd.
www.bowmanconsulting.com

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SCALE: N/A

DATE: JUNE, 2020

DRAWING: CA

DATE	DESCRIPTION	DATE	DESCRIPTION
05/29/2020	ADDENDUM 3		
06/19/2020	ADDENDUM 4		

SEAL:

STEVEN T. LIAM
Lic. No. 40224
06/19/2020
PROFESSIONAL ENGINEER

NO.	DESCRIPTION	DATE	APPROVED
1	EAST TRANSPORTATION	07/07/2020	
2	STORM SEWER REVISION	07/06/2020	
3	PHOTOMETRIC TRANSPORT	07/27/2020	

REVISION APPROVED BY

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: COVER SHEET

APPROVED

SPECIAL USE PERMIT NO. **2018-0028**

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. _____

John K 7.29.20 **A.B.**

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

RELEASED
 TRANSPORTATION &
 ENVIRONMENTAL SERVICES
 BRIAN DOFFLEMYER
 DEVELOPMENT REVIEW MANAGER
 DATE: 07/30/2020
 STAFF: navdeep.kaur

ESI
Peer Review

LEGEND

Table with columns: EXISTING, DESCRIPTION, PROPOSED. Lists various engineering symbols and their corresponding descriptions, such as INDEX CONTOUR, INTERMEDIATE CONTOUR, EDGE OF PAVEMENT, CURB AND GUTTER, etc.

ABBREVIATIONS

Table listing abbreviations and their full names, organized in columns. Includes terms like AREA OF ARC, AMERICAN ASSOCIATION OF STATE HWY & TRANSP OFFICIALS, ADJACENT, AGGREGATE, etc.

GENERAL NOTES

- 1. THE BOUNDARY INFORMATION SHOWN HEREIN WAS PREPARED BY BOWMAN CONSULTING DATED FEBRUARY 4, 2019.
2. THE PROPERTY SHOWN HEREON IS LOCATED ON CITY OF ALEXANDRIA ASSESSMENT MAP NUMBERS T.M. 72.02-02-13, 72.02-02-14, 72.02-02-17, 72.02-02-18 AND PORTION OF 72.02-02-19.
3. THE PROPERTY SHOWN HEREON IS LOCATED ON F.E.M.A MAP COMMUNITY PANEL NO. 5155190037E (6/16/11), DESIGNATED AS UNSHADED ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN.
... (Notes 4-27) ...

CONCERNING UTILITY WORKS:

NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME. ALL EXCAVATED MATERIAL TO BE REPLACED INTO THE TRENCH SHALL BE STOCKPILED ON THE HIGH SIDE OF THE TRENCH. IF ANY TRENCH WORK WILL REMAIN OPEN AFTER THE END OF THE WORKDAY ALL NEEDED EROSION AND SEDIMENT CONTROLS SHALL BE EMPLOYED. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.

STORMWATER MANAGEMENT NOTES

THE STORMWATER BEST MANAGEMENT PRACTICES (BMPs) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN ENGINEER OR HIS DESIGNATED REPRESENTATIVE. THE DESIGN ENGINEER SHALL MAKE A WRITTEN CERTIFICATION TO THE CITY THAT THE BMP(S) ARE CONSTRUCTED AND INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE APPROVED FINAL SITE PLAN. IN ADDITION, AGGREGATE LAYERS AND COLLECTOR PIPES MAY NOT BE INSTALLED UNLESS THE DESIGN ENGINEER OR HIS REPRESENTATIVE IS PRESENT.

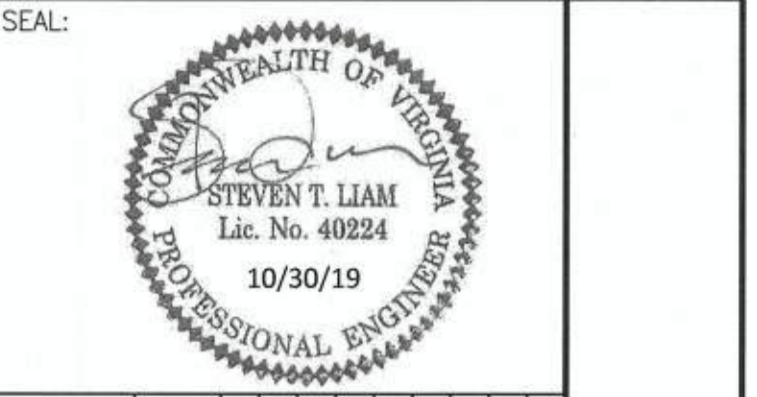
ENVIRONMENTAL NOTE

PROPOSED SITE IS NOT LOCATED WITHIN THE RESOURCE PROTECTION AREA (RPA) THE SITE IS FOUND TO BE CONTAMINATED WITH PETROLEUM-IMPACTED SOIL AND MATERIAL MUST BE DISPOSED AT A SITE CAPABLE OF RECEIVING CONTAMINATED SOILS.

GROUNDWATER NOTE

A VPDES PERMIT IS REQUIRED FOR THE CONSTRUCTION OF THIS BUILDING IF THE GROUNDWATER IS DISCHARGED FROM THE SITE THESE FINDINGS HAVE BEEN DOCUMENTED BY ECS IN THE "PHASE II ENVIRONMENTAL SITE ASSESSMENT WMATA MILL ROAD ALEXANDRIA, VA" DATED JANUARY, 25, 2019.

DESIGN ENGINEER / SURVEYOR
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REVISION APPROVED BY table with columns: NO., DESCRIPTION, DATE, REVISION, APPROVED, DATE.

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.
DIRECTOR DATE 11/6/19
CHAIRMAN, PLANNING COMMISSION DATE 11/6/19
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review

NOTES, ABBREVIATIONS AND LEGEND

CONSTRUCTION NOTES

- 1. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN IN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
2. THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED IF REQUIRED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL CLEAR THE SITE OF ALL TREES, BUILDINGS, FOUNDATIONS, ETC. WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE SPECIFIED, AND SHALL BE RESPONSIBLE FOR CAUSING EXISTING UTILITIES TO BE DISCONNECTED.
6. THE DEVELOPER SHALL PROVIDE OVER-LOT GRADING TO PROVIDE POSITIVE DRAINAGE AND PRECLUDE PONDING OF WATER.
7. ALL AREAS, ON OR OFF-SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS, SEED MIXTURE TO BE AS RECOMMENDED BY THE CITY. ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND PEGGED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY OF ALEXANDRIA.
8. EXISTING WELLS SHALL BE PERMANENTLY ABANDONED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD REQUIREMENTS.
9. EXISTING SEPTIC FIELDS SHALL BE ABANDONED IN ACCORDANCE WITH VIRGINIA HEALTH DEPARTMENT STANDARDS AND SPECIFICATIONS.
10. ALL OVER HEAD POLE LINES SHALL BE RELOCATED AS REQUIRED BY THE OWNING UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS AND COORDINATING ALL WORK REQUIRED FOR THE NECESSARY RELOCATIONS.
11. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY FROM THE ARCHITECTURAL DRAWINGS ALL DIMENSION, DETAILS, AND TREATMENTS FOR THE PROPOSED BUILDINGS, WALKWAYS, AND OTHER PROPOSED CONSTRUCTION WHERE INDICATED ON THE PLANS.
12. THE CONTRACTOR IS TO VERIFY INVERT, SIZE AND LOCATION OF BUILDING UTILITY CONNECTIONS WITH THE MECHANICAL PLANS PRIOR TO PLACEMENT OF UNDERGROUND UTILITIES.
13. EXISTING BUILDINGS, FENCES AND OTHER EXISTING PHYSICAL FEATURES ARE TO BE REMOVED AS REQUIRED BY THE CONTRACTOR.
14. EXISTING CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. NEW CONSTRUCTION SHALL BE PROVIDED AS SHOWN AND ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION.
15. DAMAGE TO ANY EXISTING ENTRANCES, CURB AND GUTTER, PAVEMENT OR OTHER EXISTING STRUCTURES NOT PROPOSED TO BE DISTURBED WITH THIS DEVELOPMENT, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE REPAIRED TO THE SATISFACTION OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION OR CITY OF ALEXANDRIA AND ANY ADJOINING OWNERS THAT MAY BE AFFECTED.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A SMOOTH TRANSITION TO EXISTING CURB.
17. ALL PRIVATE BUILDING CONNECTIONS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
18. TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN. ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN SHALL SUPERSEDE PROFILE ELEVATIONS. MINOR ADJUSTMENTS TO MEET FINISHED GRADE ELEVATIONS MAY BE REQUIRED.
19. THE DESIGN, CONSTRUCTION, FIELD PRACTICES AND METHODS SHALL CONFORM TO THE REQUIREMENTS SET FORTH BY THE CITY OF ALEXANDRIA AND ITS CURRENT ZONING ORDINANCE AND CONSTRUCTION STANDARDS MANUAL. FAILURE TO COMPLY WITH THE CODE, APPLICABLE MANUALS, PROVISIONS OF THE CONSTRUCTION AND ESCROW AGREEMENTS OR THE PERMITS SHALL BE DEEMED A VIOLATION.
20. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER/DEVELOPER OR HIS AGENT OF ANY LEGAL RESPONSIBILITIES WHICH MAY BE REQUIRED BY THE CODE OF VIRGINIA OR ANY ORDINANCE ENACTED BY THE CITY OF ALEXANDRIA.
21. CONSTRUCTION STAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA.
22. THE CONTRACTOR IS REFERRED TO STRUCTURAL, GEOTECHNICAL, MECHANICAL AND ARCHITECTURAL PLANS FOR FOUNDATION TREATMENT INCLUDING, BUT NOT LIMITED TO, SHEETING AND SHORING FOR BUILDING EXCAVATION. WATERPROOFING FOR FILL AGAINST BUILDINGS AND LOCATION OF MECHANICAL EQUIPMENT AND CONNECTIONS AT THE FACES OF BUILDINGS.
23. SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF EXISTING ROAD TO THE PROPOSED ENTRANCE AND/OR CURB & GUTTER TO PRECLUDE THE FORMING OF FALSE GUTTER AND/OR THE PONDING OF WATER ON THE ROADWAY.
24. PROPOSED PAVEMENT SECTION DEPTH(S) ARE BASED ON A CBR VALUE OF 10. LABORATORY TESTS OF SUBGRADE SOIL SHALL BE PERFORMED FOR ACTUAL DETERMINATION OF REQUIRED SUBGRADE THICKNESS PRIOR TO PAVING. IN THE CASE OF PAVEMENT PATCHES, PAVEMENT SECTION MUST MEET OR EXCEED EXISTING SECTION. CONTRACTOR SHALL TAKE CORE SAMPLE TO VERIFY EXISTING THICKNESS.
25. EMERGENCY VEHICLE EASEMENTS AND HANDICAPPED PARKING SPACES TO BE MARKED BY CITY OF ALEXANDRIA STANDARD SIGNAGE AND ADA REQUIREMENTS.
25. ALL STRIPING SHALL MEET THE REQUIREMENTS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS (LATEST EDITION) AND SHALL BE THERMOPLASTIC UNLESS OTHERWISE SPECIFIED.
26. ALL EROSION CONTROLS SHALL CONFORM TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (THIRD ADDITION 1992) AND MUST BE SUBMITTED AND APPROVED BY T&ES.
27. ALL EMERGENCY VEHICLE EASEMENTS MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS (CSAP-1A).
28. ALL EARTHWORK OPERATIONS ARE TO BE PERFORMED UNDER THE FULL TIME, ON-SITE SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER WITH GEOTECHNICAL TESTING IN ACCORDANCE WITH CONSTRUCTION SPECIFICATIONS AND SOILS REPORT REQUIREMENTS.

CONCERNING UTILITY WORKS:

NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME. ALL EXCAVATED MATERIAL TO BE REPLACED INTO THE TRENCH SHALL BE STOCKPILED ON THE HIGH SIDE OF THE TRENCH. IF ANY TRENCH WORK WILL REMAIN OPEN AFTER THE END OF THE WORKDAY ALL NEEDED EROSION AND SEDIMENT CONTROLS SHALL BE EMPLOYED. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.

THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION AND AS DETERMINED BY THE CITY OF ALEXANDRIA.

UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS DESCRIBED IN SECTION 4VAC50-30-40 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH) AND ADDITIONAL APPLICABLE PRACTICES FOLLOWED BY THE CITY OF ALEXANDRIA:

- A. ALL PRIVATE UTILITIES SHALL BE LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY AND PUBLIC UTILITY EASEMENTS UNLESS THE UTILITY OWNERS HAVE FRANCHISE AGREEMENT WITH THE CITY OF ALEXANDRIA; HOWEVER, NO ELECTRIC TRANSFORMERS AND SWITCH GEARS/CONTROL BOXES SHALL BE PLACED IN THE PUBLIC RIGHT OF WAY.
B. ALL THE EXISTING AND PROPOSED PUBLIC AND PRIVATE UTILITIES AND EASEMENTS SHALL BE SHOWN AND A DESCRIPTIVE NARRATION OF VARIOUS UTILITIES SHALL BE PROVIDED ON THE PLAN.
C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN UTILITY SERVICES AT ALL TIMES DURING CONNECTION AND/OR CONSTRUCTION.
D. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
E. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
F. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
G. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
H. SHOULD UTILITY CONSTRUCTION BE PERFORMED AFTER COMPLETING EARTHWORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACHIEVING 98 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1551) COMPACTION IN ALL TRENCH BACKFILL.
I. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE VIRGINIA REGULATIONS §4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS, VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH).
J. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
K. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION, AS DETERMINED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, CITY OF ALEXANDRIA. A REMEDIATION PLAN SHALL BE SUBMITTED DETAILING HOW CONTAMINATED SOILS AND/OR GROUNDWATER WILL BE DEALT WITH, INCLUDING PLANS TO REMEDIATE UTILITY CORRIDORS.
L. UTILITY CORRIDORS IN CONTAMINATED SOIL SHALL BE OVER EXCAVATED BY 2 FEET AND BACKFILLED WITH "CLEAN" SOIL.
M. GRADING CAN BE PERFORMED ON INSTALLATION OF UTILITIES.
O. ALL UTILITIES SUCH AS ELECTRICAL LINES, GAS PIPES, COMMUNICATION CABLES, INCLUDING WATER AND SEWER LATERALS ON PUBLIC AND PRIVATE PROPERTY IN THE CITY OF ALEXANDRIA SHALL BE PROVIDED WITH MINIMUM 3" WIDE 5 MIL OVERALL THICKNESS DETECTABLE UNDERGROUND WARNING TAPE (DUWT). THE DUWT SHALL BE INSTALLED AT DEPTHS OF 12" TO 18" FOR DUWT WIDTHS OF 3" AND 24" FOR WIDTHS OF 6" SO AS TO MAKE UNDERGROUND INSTALLATIONS EASY TO FINDS USING A NON-FERROUS LOCATOR. THE DUWT SHALL BE WITH ALUMINUM BACKING OR SOLID ALUMINUM BACKING OR SOLID ALUMINUM CORE LAMINATED WITH A PROTECTIVE CLEAR FILM ON BOTH SIDES, SEALING AND PROTECTING THE GRAPHICS FROM UNDERGROUND MOISTURE, ACIDS, ALKALIS, AND OTHER SOIL SUBSTANCES. ALL DUWT TAPES SHALL BE PRINTED IN BLACK INK ON AMERICAN PUBLIC WORKS ASSOCIATION (APWA) APPROVED COLORS TO MEET OR EXCEED INDUSTRY STANDARDS. THE FOLLOWING ARE THE APWA COLOR CODES:

Table with 2 columns: COLOR and CODES. Rows include RED (CAUTION BURIED ELECTRIC POWER LINES, CABLES, CONDUITS, AND LIGHTNING CABLES), YELLOW (CAUTION GAS, OIL, STEAM, PETROLEUM, OR GASEOUS MATERIALS), ORANGE (CAUTION COMMUNICATIONS, ALARM OR SIGNAL LINES, CABLES, OR CONDUITS), BLUE (CAUTION POTABLE WATER), PURPLE (CAUTION RECLAIMED WATER, IRRIGATION AND SLURRY LINES), GREEN (CAUTION SEWER, DRAIN LINES, AND FORCE MAIN).

GEOTECHNICAL REPORT NOTE

CONTRACTOR IS ADVISED TO REVIEW SEPARATELY PREPARED GEOTECHNICAL REPORTS FOR DESCRIPTION OF SOILS, SUBSURFACE CONDITIONS AND FOUNDATION CRITERIA. THERE ARE KNOWN CONTAMINATED SOILS ON THIS PROPERTY. ENVIRONMENTAL STUDIES SHALL BE SUBMITTED TO THE CITY OF ALEXANDRIA FOR REVIEW.

SEWER NOTE

THIS PROJECT IS NOT LOCATED IN A COMBINED SEWER AREA. THE SITE WILL DISCHARGE IN A SEPARATE SEWER FOR SANITARY AND STORM.

MARINE CLAY NOTE

NO MARINE CLAY FOUND IN THIS SITE

FIRE FLOW NOTE

INFORMATION SHALL BE PROVIDED BY VIRGINIA AMERICAN WATER

EXISTING TOPOGRAPHY NOTE

THE TOPOGRAPHY SHOWN HEREON IS A COMBINATION OF CITY OF ALEXANDRIA GIS AND FIELD RUN SURVEY PERFORMED BY BOWMAN CONSULTING GROUP DATED FEBRUARY 2019.

RPA NOTE

THERE ARE NO RPAs ON THIS SITE

SOIL INFORMATION

A GEOTECHNICAL REPORT FOR THIS SITE HAS BEEN SUBMITTED AS A PART OF THIS APPLICATION. PREPARED BY ECS DATED 02/14/2019.

RODENT ABATEMENT NOTE

PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OR LAND DISTURBANCE PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO THE CITY OF ALEXANDRIA BUILDING AND FIRE CODE ADMINISTRATION THAT WILL OUTLINE STEPS THAT WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS. THE CONTRACTOR CAN CONTACT ALEXANDRIA BUILDING AND FIRE CODE ADMINISTRATION DEPARTMENT AT 703-746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION.

ALEXRENEW NOTES

- 1. ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B.
2. DEWATERING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW PRETREATMENT. CONTRACTOR IS REQUIRED TO CONTACT ALEXRENEW'S PRE-TREATMENT COORDINATOR AT 703-549-3381 x2020.

ENVIRONMENTAL SITE ASSESSMENT:

- 1. THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS, OR WETLANDS LOCATED ON THIS SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF GROUNDWATER CONTAMINATION ON THE SITE.
2. THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANK, DRUMS, AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBTS ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
3. ALL WELLS TO BE DEMOLISHED IN THIS PROJECT, INCLUDING MONITORING WELLS MUST BE CLOSED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS. CONTACT ENVIRONMENTAL HEALTH SPECIALIST AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-838-4400 EXT 287/255.
4. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
• MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM AND
• SATURDAYS FROM 9 AM TO 6 PM.
• NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS.
• PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
• MONDAY THROUGH FRIDAY FROM 9 AM TO 6 PM AND
• SATURDAYS FROM 10 AM TO 4 PM.
• NO PILE DRIVING IS PERMITTED ON SUNDAYS AND HOLIDAYS.
RIGHT OF WAY FOR EXCAVATION RESTRICTED TO THE FOLLOWING HOURS:
• MONDAY THROUGH SATURDAY 7 AM TO 5 PM
• NO EXCAVATION IN THE RIGHT OF WAY IS PERMITTED ON SUNDAYS OR HOLIDAYS.

VAPOR BARRIER NOTE

A VAPOR BARRIER FOR THE BUILDING WILL BE INSTALLED UNDER THE BUILDING AND PARKING AREAS IN ORDER TO PREVENT THE MIGRATION OR ACCUMULATION OF METHANE OR OTHER GASES.

EROSION/SEDIMENT CONTROL NOTES

THE DEVELOPER AND CONTRACTORS ARE TO KEEP DENUDED AREAS TO A MINIMUM. AN EROSION AND SEDIMENT CONTROL PLAN IS INCLUDED WITH FINAL PLANS FOR APPROVAL BY T&ES FOR REFERENCE BY THE EROSION AND SEDIMENT CONTROL PERMIT. ALL EROSION / SEDIMENT CONTROL MEASURES WILL CONFORM TO THE CURRENT STANDARDS OF THE CITY OF ALEXANDRIA AND THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS §4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.

T&ES MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENTS OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. CERTIFIED RESPONSIBLE LAND DISTURBER IS REQUIRED TO ATTEND PRE-CONSTRUCTION MEETING.

ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND BEFORE ANY CLEARING OR GRADING CAN BEGIN.

A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE CITY OF ALEXANDRIA.

ALL DISTURBED AREAS OF THE SITE THAT ARE NOT TO BE WORKED FOR SEVEN OR MORE CALENDAR DAYS MUST BE STABILIZED.

ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 48 HOURS AFTER GRADING.

ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.

DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED THROUGH AN APPROVED FILTERING DEVICE.

THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL NOT BE WORKED FOR SEVEN OR MORE CALENDAR DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.

ANY STOCKPILED MATERIAL WHICH WILL REMAIN IN PLACE LONGER THAN 10 DAYS IS TO BE SEEDDED FOR TEMPORARY VEGETATION AND MULCHED WITH STRAW MULCH OR OTHERWISE STABILIZED. ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES MUST BE EMPLOYED FOR STOCKPILE AREAS.

ANY DENUDED SLOPES, EITHER DISTURBED OR CREATED BY THIS PLAN THAT EXCEED 25% ARE TO BE SODDED AND PEGGED FOR STABILITY AND EROSION CONTROL.

TO THE EXTENT POSSIBLE ALL TREE PROTECTION SHALL BE INSTALLED AT THE DRIP LINE OF THE TREE(S).

AT THE COMPLETION OF THE PROJECT AND PRIOR TO THE RELEASE OF THE BOND ALL DISTURBED AREAS SHALL BE STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE REMOVED.

ARCHAEOLOGICAL NOTES

- A. ARCHAEOLOGICAL TESTING MUST BE COMPLETED PRIOR TO GROUND DISTURBANCE. IF SIGNIFICANT RESOURCES ARE DISCOVERED, THE CONSULTANT MUST COMPLETE A RESOURCE MANAGEMENT PLAN, AS OUTLINED IN THE CITY OF ALEXANDRIA ARCHAEOLOGICAL STANDARDS. PRESERVATION MEASURES PRESENTED IN THE RESOURCE MANAGEMENT PLAN, AS APPROVED BY THE CITY ARCHAEOLOGIST, WILL BE IMPLEMENTED.
B. ALL ARCHAEOLOGICAL PRESERVATION MEASURES MUST BE COMPLETED PRIOR TO GROUND DISTURBING ACTIVITIES AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT (703) 746-4399.
C. CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703) 746-4399 IF ANY BURIED STRUCTURAL OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
D. CERTIFICATES OF OCCUPANCY WILL NOT BE ISSUED FOR THIS PROPERTY UNTIL THE FINAL ARCHAEOLOGICAL REPORT HAS BEEN RECEIVED AND APPROVED BY THE CITY ARCHAEOLOGIST.
E. IF WARRANTED BY THE CITY ARCHAEOLOGIST, THE DEVELOPER WILL ERECT A HISTORIC MARKER ON THE PROPERTY ACCORDING TO SPECIFICATIONS PROVIDED BY ALEXANDRIA ARCHAEOLOGY. THE MARKER WILL HIGHLIGHT THE HISTORICAL AND ARCHAEOLOGICAL SIGNIFICANCE OF THE PROPERTY.
F. IF WARRANTED BY THE CITY ARCHAEOLOGIST, THE DEVELOPER WILL PRODUCE A BOOKLET FOR THE PUBLIC ON THE HISTORY AND ARCHAEOLOGY OF THE PROPERTY, ACCORDING TO SPECIFICATIONS PROVIDED BY ALEXANDRIA ARCHAEOLOGY.
G. ALL ARCHAEOLOGICAL WORK WILL BE CARRIED OUT IN ACCORDANCE WITH THE CITY OF ALEXANDRIA ARCHAEOLOGICAL STANDARDS AND IS SUBJECT TO THE APPROVAL OF THE CITY ARCHAEOLOGIST.

Bowman CONSULTING logo and contact information: Phone: (703) 464-1000, Fax: (703) 481-9720, www.bowmanconsulting.com. Includes a professional engineer seal for Steven T. Liam, License No. 40224, dated 10/30/19.

Table for REVISION APPROVED BY with columns: NO., DESCRIPTION, DATE, REV. BY, APPROVED. The table is currently empty.

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA
GENERAL NOTES

APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
Signature of Director: 11/6/19
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
Signature of Chairman: 11/6/19
DATE RECORDED:
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review

PEDESTRIAN/STREETSCAPE:

- 26. Provide the following pedestrian improvements to the satisfaction of the Directors of P&Z and T&ES:
a. Complete all pedestrian improvements prior to the issuance of a certificate of occupancy permit.
b. Install ADA accessible pedestrian crossings serving the site.
c. Construct all concrete sidewalks to City standards. The minimum unobstructed width of newly constructed sidewalks shall be 6 feet.
d. Install a 12-foot wide asphalt multi-use trail on the north side of Mill Road along the frontage of the property east of the intersection with Mandeville Lane as shown on the Preliminary Site Plan.
e. Sidewalks shall be flush across all driveway crossings.
f. All newly constructed curb ramps in Alexandria shall be concrete with detectable warning and shall conform to current VDOT standards.
g. Provide separate curb ramps for each direction of crossing (i.e., two ramps per corner). Curb ramps shall be perpendicular to the street to minimize crossing distances. Any changes must be approved by the Director of T&ES.
h. Provide thermoplastic pedestrian crosswalks at all crossings at the proposed development, which must be designed to the satisfaction of the Director of T&ES.
i. All crosswalks shall be high-visibility crosswalks [white, thermoplastic ladder crosswalks as shown in the Manual on Uniform Traffic Control Devices (MUTCD)]. All other crosswalk treatments must be approved by the Director of T&ES.
j. All below grade utilities placed within a City sidewalk shall be designed in such a manner as to integrate the overall design of the structure with the adjacent paving materials to minimize any potential visible impacts. *** (P&Z) (T&ES)

PARKING:

- 27. Parking shall be consistent with the requirements of the Zoning Ordinance in effect at the time of approval by City Council and/or Planning Commission. (P&Z) (T&ES)
28. Parking spaces near the main entrance to the building along the plaza shall be signed for short term loading. (T&ES)
29. Provide wheel stops for all 90-degree and angled vehicle parking spaces adjacent to a sidewalk if the back of the sidewalk is less than seven (7) feet from the curb. (T&ES)

31

- 30. Provide a Parking Management Plan with the Final Site Plan submission. The Parking Management Plan shall be approved by the Departments of P&Z and T&ES prior to the release of the Final Site Plan and comply with the requirements of the Parking Management Plan Template provided in Memo to Industry 01-19. (P&Z) (T&ES)
31. Parking spaces within the parking garage that are required to comply with zoning requirements may be made available for public/off-site parking (separate from daily employee visitor parking) through an administrative special use permit, provided excess parking can be demonstrated. This request shall be to the satisfaction of the Directors of P&Z and T&ES, and subject to the following requirements:
a. Provide parking utilization information to show the on-site employee parking demand and the number of spaces that could be made available for public/off-site parking without negatively impacting use of the parking by the building's occupants.
b. Update the parking management plan to include, the following:
i. An explanation of how garage access to the parking spaces leased to non-employees will be provided. Controlled access to the underground garage shall be maintained.
ii. Information on how the garage will be managed, including how spaces will be assigned to employees, visitors, and third-party lease holders.
c. Provide a copy of the lease or other agreement to be used for public/off-site parkers. (T&ES) (P&Z)
32. All on-street parking controls and restrictions within the project area shall be determined by the City. Any such controls and restrictions which the applicant desires shall be shown on the Final Site Plan. (P&Z) (T&ES)
33. Provide 70 bicycle parking spaces per Alexandria's current Bicycle Parking Standards. Bicycle parking standards, acceptable rack types for short- and long-term parking and details for allowable locations are available at: www.alexandriava.gov/bicycleparking. Details on location and type of bicycle parking shall be provided on the Final Site Plan. Bicycle parking must be installed and operational prior to first CO. (T&ES) ***
34. Provide bicycle facilities on the site frontage and through the site per the City's Transportation Master Plan, Pedestrian and Bicycle Mobility Plan, Complete Streets Guidelines and applicable Small Area Plans and Design Guidelines including a 12-foot multi-use trail on the north side of Mill Road along the frontages of the site as shown in the Preliminary Site Plan.
a. Provide routing signs on on-street bicycle facilities consistent with guidance from AASHTO and MUTCD. For shared-use paths, signs should be consistent with the City's Wayfinding Program.
b. Install sharrows consistent with AASHTO guidelines. (T&ES)

32

B. TRANSPORTATION

STREETS/TRAFFIC:

- 35. Initial development of the site shall be limited to two curb cuts. Additional curb cuts to serve the site shall be considered as a part of the review process for any subsequent applications regarding the non-developed, western portion of the site. (T&ES)
36. Maintain a separation of 150 feet between the beginning of street corner radius and any driveway apron radius on arterial and collector roadways, with a minimum of 100 feet permitted, subject to the approval of the Director of T&ES. (T&ES)
37. If the City's existing public infrastructure is damaged during construction, or patch work required for utility installation then the applicant shall be responsible for construction/ installation or repair of the same as per the City of Alexandria standards and specifications and to the satisfaction of Director, Transportation and Environmental Services. (T&ES)
38. A pre-construction walk/survey of the site shall occur with Transportation and Environmental Services Construction & Inspection staff and Code Administration staff to document existing conditions prior to any land disturbing activities. (T&ES) (Code)
39. Show turning movements of standard vehicles in the parking structure and/or parking lots. Show turning movements of the largest delivery vehicle projected to use the loading dock. Turning movements shall meet AASHTO vehicular guidelines and shall be to the satisfaction of the Director of T&ES. (T&ES)
40. The maximum desirable slope on parking ramps to garage entrance/exit shall not exceed 16 percent. For slopes 10 percent and greater, provide trench drains connected to a storm sewer to eliminate or diminish the possibility of ice forming. The slope on a ramp with parking or used for egress shall not exceed 6.5 percent. For non-parking ramps with slopes of 12 percent and greater, 11 feet transition slopes at the top and bottom of the ramp shall be required, and the transition slope shall be half of the ramp slope percentage. Slopes greater than 16 percent must be approved by the Transportation and Environmental Services Department. (T&ES)
41. Wall mounted obstructions at the wall end of a parking space shall extend no more than 24 inches from the wall and shall be at least 48 inches from the garage floor. Spaces with obstructions that exceed this requirement will not be counted as usable parking spaces. (T&ES)

33

- 42. Furnish and install two 4-inch Schedule 40 PVC conduits with pull wires, and junction boxes located at a maximum interval of 300 feet underneath the sidewalks along the Mill Road Frontage. These conduits shall terminate in an underground junction box at each end of the site. The junction box cover shall have the word "TRAFFIC" engraved in it. (T&ES)
43. Asphalt patches larger than 20% of the total asphalt surface, measured along the length of the road adjacent to the property frontage and/or extending to the centerline of the street, will require full curb to curb restoration. (T&ES)
44. Provide and install updated traffic equipment as enhancements to the Mandeville Land and Mill Road intersection. These enhancements shall include, but may not be limited to, additional mast arms, additional required signal heads, pedestrian signals, and necessary conduit installation. The updated traffic equipment and technology shall be shown on the Final Site Plan to the satisfaction of the Director of T&ES. In lieu of providing and installing updated traffic enhancement equipment, the applicant may provide a contribution of \$50,000.00 to the City of Alexandria for the City to complete the upgrades. If the contribution in lieu option is chosen by the applicant, it shall be made prior to release of the final site plan. (T&ES) *
45. Per the discussion during the Supplemental Transportation Memo Scoping Meeting held on Monday, May 06, 2019, the applicant will update scope to include any detailed information that would provide a better understanding of the projected trip generated to/from the site. Once the agreed upon updates are submitted, Traffic Engineering staff will affectively approve the scope with the understanding the outcome of the memo could result in a resubmission of plans to address mitigations or improvements. Any improvements required due to the memo's findings will be set as conditions of the development. The Supplemental Transportation Memo can be submitted no later than the first submittal of the Final Site Plan. (T&ES)

TRANSPORTATION MANAGEMENT PLAN:

LARGE PROJECTS (Tier 2 or 3)

- 46. According to Article XI, Section 11-700 of the City's Zoning Ordinance, a Transportation Management Plan is required to implement strategies to encourage residents and employees to take public transportation, walk, bike or share a ride, as opposed to being a sole occupant of a vehicle. Below are the basic conditions from which other details originate. (T&ES)
47. Prior to any lease/purchase agreements, the applicant shall prepare appropriate language to inform tenants/owners of the transportation management plan special

34

use permit and conditions therein, as part of its leasing/purchasing agreements; such language to be reviewed and approved by the City Attorney's office. (T&ES)

- 48. The applicant shall integrate into the District Transportation Management Program when it is organized. All TMP holders in the established district will be part of this District TMP. The objective of this district is to make optimum use of transportation resources for the benefit of residents and employees through economies of scale. No increase in TMP contributions will be required as a result of participation in the District TMP. (T&ES)
49. An annual TMP fund shall be created and managed by the TMP Coordinator, and the funds shall be used exclusively for the approved transportation activities detailed in the attachment. The annual base assessment rate for this development shall be determined as set forth in section 11-708 (TMP Assessments Schedule and Adjustments). The base assessment rate will be adjusted on an annual basis on July 1 of each year in accordance with the Consumers Price Index (CPI-U) as reported by the United States Department of Labor, Bureau of Labor Statistics. The base assessment rate in effect at the time of the project's first certificate of occupancy permit (CO) is the applicable rate when TMP reporting begins. The TMP shall operate on the fiscal year, July 1 to June 30. (T&ES)
Alternatively, in lieu of establishing an annual TMP fund, WMATA shall continue its standard practice of providing all employees of the office building with access to unlimited Metro fare for all work related and private transportation. This exemption from the TMP fund contribution is only applicable to WMATA as long as they are the tenant of the building, and all other future tenants would be required to comply with the City's TMP requirements above.
50. An on-site TMP Coordinator shall be designated for the entire project prior to release of the first certificate of occupancy. The name, location, email and telephone number of the coordinator will be provided to the City at the time, as well as any changes occurring subsequently. This person will be responsible for implementing and managing all aspects of the TMP and the parking management program for the project. (T&ES) ***
51. The Director of T&ES may require that the funds be paid to the City upon determination that the TMP Coordinator or Association has not made a reasonable effort to use the funds for TMP activities. As so determined, any unencumbered funds remaining in the TMP account at the end of each reporting year may be either reprogrammed for TMP activities during the ensuing year or paid to the City for use in transportation support activities which benefit the site. (T&ES)
52. The TMP Coordinator or Association will submit to the Transit Services Division the following as detailed attachments; biannual fund reports due in July and January

35

of each fiscal year, and modes of transportation survey, and a TMP Coordinator survey both due in July of each fiscal year. (T&ES)

- 53. As set forth in section 11-711(B) in the Ordinance, civil penalties shall be assessed to the governing entity for lack of timely compliance with the conditions of this TMP SUP. If after assessment of three civil penalties, any use continues to fail to comply with a condition of its approved TMP, the use may be required to participate in the Citywide TMP Program, may be subject to increased review and reporting requirements, and may be subject to a staff recommendation for action by the City Council to revoke the TMP SUP pursuant to section 11-205 of the Ordinance. (T&ES)

BUS STOPS AND BUS SHELTERS:

- 54. Show all existing bus stops in the vicinity of the site on the Final Site Plan. (T&ES) (Code)

C. PUBLIC WORKS

WASTEWATER/SANITARY SEWERS:

- 55. The sewer connection fee must be paid prior to release of the site plan. (T&ES) *
56. If a commercial kitchen is constructed, then the kitchen facility shall be provided with an oil & grease separator and the discharge from the separator shall be connected to a sanitary sewer. Submit two originals of the Oil and Grease separator Maintenance Agreement with the City prior to the release of the final site plan. The agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to site plan release. (T&ES) *

UTILITIES:

- 57. Locate all private utilities without a franchise agreement outside of the public right-of-way and public utility easements. (T&ES)
58. All overhead power and communication lines fronting the development all around shall be undergrounded. (T&ES)
59. No transformer and switch gears shall be located in the public right of way. (T&ES)

36

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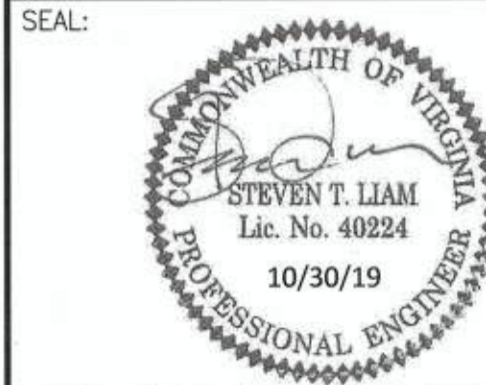


Table with columns: NO., DESCRIPTION, DATE, REV. BY, APPROVED, DATE. Includes a 'REVISION APPROVED BY' section.

2395 MILL ROAD FINAL SITE PLAN CITY OF ALEXANDRIA, VIRGINIA

APPROVED SPECIAL USE PERMIT NO. 2018-0028. DEPARTMENT OF PLANNING & ZONING. DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES. Includes signatures and dates for Director, Chairman, and Date Recorded.

SHEET NAME: DEVELOPMENT CONDITIONS (2 OF 11)

ESI Peer Review

SOLID WASTE:

- 60. If the property is a required user, the development must meet all the minimum street standards for the City to provide solid waste collection service. See Alexandria Virginia Code of Ordinances Title 5 Chapter 1 Solid Waste Control. Collection vehicles must be able to pick up solid waste from private streets without backing up. The containers must be stored inside the units or within an enclosure that completely screens them from view. The official setout location of the containers shall be approved by the Director of T&ES. (T&ES)
- 61. Provide \$1,402 per receptacle to the Director of T&ES for purchase and installation of one (1) Victor Stanley Ironsites Series model SD-42 black receptacle with Dome Lid per block face dedicated to trash collection. The receptacle(s) shall be placed in the public right of way to serve open space and park sites. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. (T&ES) *
- 62. Provide \$1,626 per receptacle to the Director of T&ES for the purchase and installation of one (1) Victor Stanley Ironsites Series Model SD-42 blue receptacle with Dome Lid, approved dome decals, and approved band per block face dedicated to recycling collection. The receptacle(s) shall be placed in the public right of way to serve open space and park sites. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. (T&ES)

D. ENVIRONMENTAL

STORMWATER MANAGEMENT:

- 63. The Virginia Department of Environmental Quality (VDEQ) considers WMATA to be a special or federal entity and has jurisdiction over the approval of the stormwater quality and quantity components of this plan. Prior to plan release, the applicant must submit a copy of the approved VPDES Construction General Permit demonstrating approval of the plan by VDEQ to the City. (SWM)
- 64. Prior to release of the performance bond, the Applicant is required to submit a certification by a qualified professional to the satisfaction of the Director of T&ES that any existing stormwater management facilities adjacent to the project and associated conveyance systems were not adversely affected by construction operations. If maintenance of the facility or systems were required in order to make this certification, provide a description of the maintenance measures performed. (T&ES) ****

37

CONTAMINATED LAND:

- 65. Indicate whether there is any known soil and groundwater contamination present on the plan. The applicant must submit supporting reports for associated environmental investigations or assessments performed to substantiate this determination. (T&ES)
- 66. If environmental site assessments or investigations discover the presence of contamination on site, the final [site plan/demo plan/grading plan] shall not be released, and no construction activity shall take place until the following has been submitted and approved by the Director of T&ES:
 - a. Submit a Site Characterization Report/Extent of Contamination Study detailing the location, applicable contaminants, and the estimated quantity of any contaminated soils and/or groundwater at or in the immediate vicinity of the site.
 - b. Submit a Risk Assessment indicating any risks associated with the contamination.
 - c. Submit a Remediation Plan detailing how any contaminated soils and/or groundwater will be dealt with, including plans to remediate utility corridors. Utility corridors in contaminated soil shall be over excavated by 2 feet and backfilled with “clean” soil. Include description of environmentally sound methods of off-site transport and disposal of contaminated soils and debris (including, but not limited to types of vehicles appropriate for handling specific materials and ensuring vehicle loads are covered).
 - d. Submit a Health and Safety Plan indicating measures to be taken during remediation and/or construction activities to minimize the potential risks to workers, the neighborhood, and the environment. Initial Air Monitoring may be required during site activities to demonstrate acceptable levels of volatiles and/or airborne particles. The determination whether air monitoring is needed must be adequately addressed in the Health and Safety Plan submitted for review.
 - e. The applicant shall screen for PCBs as part of the site characterization if any of the past uses are within the identified high risk category sites for potential sources of residual PCBs, which includes the following SICs: 26&27 (Paper and Allied Products), 30 (Rubber and Misc. Plastics), 33 (Primary Metal Industries), 34 (Fabricated Metal Products), 37 (Transportation Equipment), 49 (Electrical, Gas, and Sanitary Services), 5093 (Scrap Metal Recycling), and 1221&1222 (Bituminous Coal).
 - f. Applicant shall submit three (3) electronic and two (2) hard copies of the above. The remediation plan must be included in the Final Site Plan. (T&ES) *

38

- 67. Should any unanticipated contamination, underground storage tanks, drums or containers be encountered at the site during construction, the Applicant must immediately notify the City of Alexandria Department of Transportation and Environmental Services, Office of Environmental Quality. Should unanticipated conditions warrant, construction within the impacted area shall be stopped until the appropriate environmental reports identified in a. through f. above are submitted and approved at the discretion of the Director of Transportation and Environmental Services. This shall be included as a note on the Final Site Plan. (T&ES) (Code)
- 68. If warranted by a Site Characterization report, design and install a vapor barrier and ventilation system for buildings and parking areas in order to prevent the migration or accumulation of methane or other gases, or conduct a study and provide a report signed by a professional engineer showing that such measures are not required to the satisfaction of Directors of T&ES and Code Administration. The installed vapor barrier and ventilation system must include a passive ventilation system that can be converted to an active ventilation system if warranted. (T&ES)

NOISE:

- 69. All exterior building-mounted loudspeakers shall be prohibited, and no amplified sound shall be audible at the property line. (T&ES)
- 70. Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)
- 71. No vehicles associated with this project shall be permitted to idle for more than 10 minutes when parked. This includes a prohibition on idling for longer than 10 minutes in the loading dock area. The applicant shall post of minimum of two no idling for greater than 10 minutes signs in the loading dock area in plain view. (T&ES)

AIR POLLUTION:

- 72. Control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. (T&ES)

E. CONSTRUCTION MANAGEMENT

- 73. Submit a construction phasing plan to the satisfaction of the Director of T&ES, for review, approval and partial release of Erosion and Sediment Control for the Final Site Plan. All the requirements of Article XIII Environmental Management Ordinance for quality improvement, quantity control, and the development of

39

Storm Water Pollution Prevention Plan (SWPPP) must be complied with prior to the partial release of the site plan. (T&ES) *

- 74. Submit a separate construction management plan to the Directors of P&Z, T&ES and Code Administration prior to Final Site Plan release. The plan shall:
 - a. No street lights shall be removed without authorization from the City of Alexandria.
 - b. If street lights are to be removed from the public right of way, then temporary lights shall be provided until the installation and commissioning of new lights.
 - c. Include an analysis as to whether temporary street or site lighting is needed for safety during the construction on the site and how it is to be installed.
 - d. Provide a detailed sequence of demolition and construction of improvements in the public right of way along with an overall proposed schedule for demolition and construction;
 - e. Include an overall proposed schedule for construction;
 - f. Include a plan for temporary pedestrian circulation;
 - g. Include the location and size of proposed construction trailers, if any;
 - h. Include a preliminary Maintenance of Traffic Plan (MOT) as part of the construction management plan for informational purposes only, to include proposed controls for traffic movement, lane closures, construction entrances and storage of materials.
 - i. Copies of the plan shall be posted in the construction trailer and given to each subcontractor before they commence work. (P&Z) (T&ES)
- 75. Provide off-street parking for all construction workers without charge to the construction workers. The applicant shall be responsible for ensuring that all contractors use the off-street parking provided. For the construction workers who use Metro, DASH, or another form of mass transit to the site, the applicant shall subsidize a minimum of 50% of the fees for mass transit. Compliance with this condition shall be a component of the construction management plan, which shall be submitted to the Department of P&Z and T&ES prior to Final Site Plan release. This plan shall:
 - a. Establish the location of the parking to be provided at various stages of construction, how many spaces will be provided, how many construction workers will be assigned to the work site, and mechanisms which will be used to encourage the use of mass transit.
 - b. Provide for the location on the construction site at which information will be posted regarding Metro schedules and routes, bus schedules and routes.
 - c. If the off-street construction workers parking plan is found to be violated during construction, a correction notice will be issued to the developer. If the violation is not corrected within five (5) days, a “stop work order” will be issued, with construction halted until the violation has been corrected. (P&Z) (T&ES) *

40

- 76. Sidewalks adjacent to the site shall remain open during construction. If sidewalks must be closed, pedestrian access shall be maintained adjacent to the site per Memo to Industry #04-18 throughout the construction of the project. The plan for maintenance of pedestrian access shall be included in the Construction Management Plan for approval by T&ES. (T&ES)
- 77. Bicycle facilities adjacent to the site shall remain open during construction. If a bicycle facility must be closed, Bicycle access shall be maintained adjacent to the site per Memo to Industry #04-18 throughout the construction of the project. The plan for maintenance of bicycle access shall be included in the Construction Management Plan for approval by T&ES. (T&ES)
- 78. No major construction staging shall be allowed within the public right-of-way. The applicant shall meet with T&ES to discuss construction staging activities prior to release of any permits for ground disturbing activities. (T&ES) **
- 79. A “Certified Land Disturber” (CLD) shall be named in a letter to the Division Chief of Construction Management & Inspection prior to any land disturbing activities. If the CLD changes during the project, that change must be noted in a letter to the Division Chief. A note to this effect shall be placed on the Phase I Erosion and Sediment Control sheets on the site plan. (T&ES)
- 80. Prior to commencing clearing and grading of the site, the applicant shall hold a meeting with notice to all adjoining property owners and civic associations to review the location of construction worker parking, plan for temporary pedestrian and vehicular circulation, and hours and overall schedule for construction. The Departments of P&Z and T&ES shall be notified a minimum of 14 calendar days prior to the meeting date, and the meeting must be held before any permits are issued. (P&Z) (T&ES)
- 81. Prior to commencement of landscape installation/planting operations, a pre-installation/construction meeting will be scheduled with the project planner in the Department of P&Z to review the scope of installation procedures and processes. This is in addition to the pre-construction meeting required above. (P&Z)
- 82. Identify a person who will serve as a liaison to the community throughout the duration of construction. The name and telephone number, including an emergency contact number, of this individual shall be provided in writing to residents, property managers and business owners whose property abuts the site and shall be placed on the project sign, to the satisfaction of the Directors of P&Z, and/or T&ES. (P&Z) (T&ES)
- 83. Install a temporary informational sign on the site prior to approval of the Final Site Plan for the project. The sign shall notify the public of the nature of the project and

41

shall include the name and telephone number of the community liaison, including an emergency contact number for public questions regarding the project. The sign shall be displayed until construction is complete. (P&Z) (T&ES)

- 84. Implement a waste and refuse control program during the construction phase of this development. This program shall control wastes such as discarded building materials, concrete truck washout, chemicals, litter or trash, trash generated by construction workers or mobile food vendor businesses serving them, and all sanitary waste at the construction site and prevent offsite migration that may cause adverse impacts to neighboring properties or to the environment to the satisfaction of Directors of T&ES and Code Administration. All wastes shall be properly disposed offsite in accordance with all applicable federal, state and local laws. Provide information on the program in construction management plan. If program is implemented in coordination with green building certification, include documentation as appropriate per the City’s Green Building Policy and conditions herein. (T&ES)
- 85. Temporary construction and/or on-site sales trailer(s) shall be permitted and be subject to the approval of the Director of P&Z. The trailer(s) shall be removed prior to the issuance of a final certificate of occupancy permit. (P&Z) (Code) ***
- 86. Submit a wall check prior to the commencement of construction of the first floor above grade framing for the building(s). The wall check shall include the building footprint, as depicted in the released Final Site Plan, the top-of-slab elevation and the first-floor elevation. The wall check shall be prepared and sealed by a registered engineer or surveyor and submitted to Planning & Zoning. Approval of the wall check by Planning & Zoning is required prior to commencement of framing. (P&Z)
- 87. Submit an as-built development site plan survey, pursuant to the requirements outlined in the initial as-built submission for occupancy portion of the as-built development site plan survey checklist to the Department of Transportation and Environmental Services Site Plan Coordinator prior to requesting a certificate of occupancy permit. The as-built development site plan survey shall be prepared and sealed by a registered architect, engineer, or surveyor. Include a note which states that the height was calculated based on all applicable provisions of the Zoning Ordinance. (P&Z) (T&ES) ***
- 88. Contractors shall not cause or permit vehicles to idle for more than 10 minutes when parked. (T&ES)
- 89. If there are outstanding performance, completion or other bonds for the benefit of the City in effect for the property at such time as it may be conveyed or sold to a party other than the applicant, a substitute bond and associated documents must be provided by that party or, in the alternative, an assignment or other documentation

42

DESIGN ENGINEER / SURVEYOR
Bowman CONSULTING
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Fax: (703) 481-9720
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Bowman Consulting Group, Ltd.
www.bowmanconsulting.com

SEAL:

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA
SHEET NAME: DEVELOPMENT CONDITIONS (3 OF 11)

APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
DIRECTOR: [Signature] DATE: 11/6/19
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.: [Signature] DATE: 11/24/19
CHAIRMAN, PLANNING COMMISSION: [Signature] DATE: 11/6/19
DATE RECORDED: _____
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review

from the bonding company indicating that the existing bond remains in effect despite the change in ownership may be provided. The bond(s) shall be maintained until such time that all requirements are met, and the bond(s) released by the City. (T&ES)

F. CONTRIBUTIONS

90. Condition deleted. (CC)

HOUSING:

91. Condition deleted. (CC)

PUBLIC ART:

92. Per the City's Public Art Policy, adopted December 13, 2014, work with City staff to determine ways to incorporate public art elements on-site, or provide an equivalent monetary contribution to be used toward public art within the Small Area Plan planning area, to the satisfaction of the Directors of RP&CA and P&Z. The in-lieu contribution shall be \$.30 per gross square foot, with a maximum contribution of \$75,000 per building. In the event public art is provided on-site, the public art shall be of an equivalent value. (RP&CA) (P&Z)

a. The next submission shall identify the location, type and goals for public art. Prior to release of the Final Site Plan, the applicant shall have selected the artist, have locations and medium finalized and provide a schedule for the art installation. The applicant is strongly encouraged to concurrently provide information on construction materials and the recommended maintenance regimen. The art shall be installed prior to the issuance of the first Certificate of Occupancy, to the satisfaction of the Directors of P&Z and/or RP&CA. (RP&CA)(P&Z) * **

b. The in-lieu contribution shall be \$.30 per gross square foot, with a maximum contribution of \$75,000 per building. The contribution shall be provided prior to the issuance of the first Certificate of Occupancy. (RP&CA) (P&Z) ***

G. USES AND SIGNS

OFFICE USES:

93. The applicant shall encourage its employees to use public transportation to travel to and from work. The business shall contact Go Alex at goalex@alexandriava.gov for information on establishing an employee transportation benefits program. (T&ES)

43

94. The applicant shall provide information about alternative forms of transportation to access the site, including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. Contact Go Alex at goalex@alexandriava.gov for more information about available resources. (T&ES)

SIGNAGE:

95. Internally illuminated box signs are prohibited. Explore the use of exterior illumination. (P&Z)

96. A freestanding monument sign must comply with Article IX of the Zoning Ordinance. Adjacent plantings should be coordinated with the proposed sign. (P&Z)

44

CITY DEPARTMENT CODE COMMENTS

Legend: C - Code Requirement R - Recommendation S - Suggestion F - Finding

Planning and Zoning (P&Z)

C - 1 As-built documents for all landscape and irrigation installations are required to be submitted with the Site as-built and request for Performance Bond release. Refer to City of Alexandria Landscape Guidelines, Section III A & B. (P&Z) (T&ES) ****

C - 2 Tree conservation and protection plans shall identify all trees to be removed, and all trees to be protected / preserved. Construction methods to reduce disturbance within driplines shall also be identified. An on-site inspection of existing conditions shall be held with the City Arborist and Natural Resources Division Staff prior to the preparation of the Tree Conservation and Protection Plan.

C - 3 The landscape elements of this development shall be subject to the Performance and Maintenance bonds, based on criteria established by the City and available through T&ES. Release of Performance and Maintenance Bonds are subject to inspections by City staff per City Code requirements. A final inspection for landscaping is also required three (3) years after completion. (P&Z) (T&ES) ****

Code Administration (Building Code)

F - 1. The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. A preconstruction conference is recommended for large projects. If there are any questions, the applicant may contact the Code Administration Office, Plan Review Supervisor at 703-746-4200.

C - 1 New construction or alterations to existing structures must comply with the current edition of the Uniform Statewide Building Code (USBC).

C - 2 The developer shall provide a building code analysis with the following building code data on the plan: a) use group; b) number of stories; c) type of construction; d) total floor area per floor; e) height of structure f) non-separated or separated mixed use g) fire protection system requirements.

C - 3 A soils report must be submitted with the building permit application for all new and existing building structures.

C - 4 The most restrictive type of construction shall apply to the structure for height and area limitations for non-separated uses.

45

C - 5 Where required per the current edition Virginia Uniform Statewide Building Code exits, parking, and facilities shall be accessible for persons with disabilities.

C - 6 All proposed buildings where an occupied floor exceeds 75 feet above the lowest level of fire department vehicle access shall meet the Virginia Uniform Statewide Building Code for HIGH-RISE buildings.

C - 7 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to the Department of Code Administration that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.

C - 8 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.

C - 9 A wall location plat prepared by a land surveyor is required to be submitted to the Department of Code Administration prior to any building framing inspection.

Archaeology

F - 1. Archaeological investigations conducted in the immediate vicinity of the project area (on the south side of Mill Road) include: 1) the eighteenth-century West family cemetery [44AX183]; remnants of an eighteenth through nineteenth-century mill race, and the foundations of Cameron Mills [44AX112], and portions of Cameron Farm, a large, sprawling farmstead that dates back to the late eighteenth century [44AX182]. Based on an examination of historic maps, elements of Cameron Farm are likely present north of Mill Road within the project area. Specifically, a large stable that served both the farm and the mill, also a structure used as a schoolhouse appear to have once stood within the project area. Much of the Cameron Farm site has been investigated archaeologically except for the portions of it located north of Mill Road. Therefore, the project area may contain significant archaeological evidence of Cameron Farm.

F - 2. If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.

C - 1. All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

46

Transportation and Environmental Services (T&ES)

F - 1. Since the record drawings, maps, and other documents of the City of Alexandria, State, and Federal agencies show the true north pointing upwards, therefore, the Site Plan shall show the true north arrow pointing upward as is customary; however, for the sake of putting the plan together and/or ease of understanding, the project north arrow pointing upward, preferably east, or west may be shown provided it is consistently shown in the same direction on all the sheets with no exception at all. The north arrow shall show the source of meridian. The project north arrow pointing downward will not be acceptable even if, it is shown consistently on all the sheets. (T&ES)

F - 1. The Final Site Plan must be prepared per the requirements of Memorandum to Industry 02-09 dated December 3, 2009, Design Guidelines for Site Plan Preparation, which is available at the City's website: <http://alexandriava.gov/uploadedFiles/tes/info/Memo%20to%20Industry%20No.%202002-09%20December%203,%202009.pdf>

F - 2. The plan shall show sanitary and storm sewer, and water line in plan and profile in the first final submission and cross reference the sheets on which the plan and profile is shown, if plan and profile is not shown on the same sheet. Clearly label the sanitary and storm sewer, or water line plans and profiles. Provide existing and proposed grade elevations along with the rim and invert elevations of all the existing and proposed sanitary and storm sewer at manholes, and water line piping at gate wells on the respective profiles. Use distinctive stationing for various sanitary and storm sewers (if applicable or required by the plan), and water line in plan and use the corresponding stationing in respective profiles. (T&ES)

F - 3. The Plan shall include a dimension plan with all proposed features fully dimensioned and the property line clearly shown. (T&ES)

F - 4. Include all symbols, abbreviations, and line types in the legend. (T&ES)

F - 5. All storm sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter for storm sewers shall be 18" in the public Right of Way (ROW) and the minimum size storm sewer catch basin lead is 15". The acceptable pipe materials will be Reinforced Concrete Pipe (RCP) ASTM C-76 Class IV. Alternatively, AWWA C-151 (ANSI A21.51) Class 52 may be used if approved by the Director of T&ES. For roof drainage system, Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26 and ASTM 1785-76 Schedule 40 pipes will be acceptable. The acceptable minimum and maximum velocities will be 2.0 fps and 15 fps, respectively. The storm sewers immediately upstream of the first manhole in the public Right of Way shall be owned and maintained privately (i.e., all storm drains not shown within an easement or in a public Right of Way shall be owned and maintained privately). (T&ES)

47

F - 6. All sanitary sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter of sanitary sewers shall be 10 inches in the public Right of Way and sanitary lateral 6 inches for all commercial and institutional developments; however, a 4-inch sanitary lateral will be acceptable for single family residences. The acceptable pipe materials will be Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26, ASTM 1785-76 Schedule 40, Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52, or reinforced concrete pipe ASTM C-76 Class IV (For 12 inch or larger diameters); Class III may be acceptable on private properties. The acceptable minimum and maximum velocities will be 2.5 fps and 10 fps, respectively. Laterals shall be connected to the sanitary sewer through a manufactured "Y" or "T" or approved sewer saddle. Where the laterals are being connected to existing Terracotta pipes, replace the section of main and provide manufactured "Y" or "T", or else install a manhole. (T&ES)

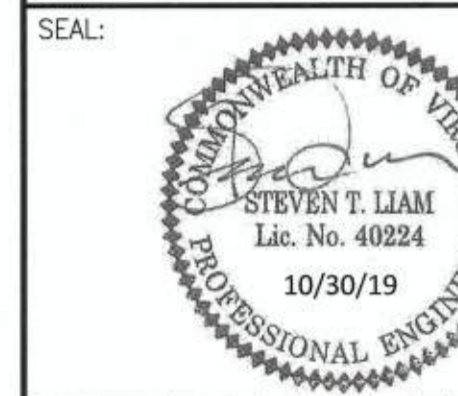
F - 7. Lateral Separation of Sewers and Water Mains: A horizontal separation of 10 feet (edge to edge) shall be provided between a storm or sanitary sewer and a water line; however, if this horizontal separation cannot be achieved then the sewer and water main shall be installed in separate trenches and the bottom of the water main shall be at least 18 inches above of the top of the sewer. If both the horizontal and vertical separations cannot be achieved, then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 and pressure tested in place without leakage prior to installation. (T&ES)

F - 8. Crossing Water Main Over and Under a Sanitary or Storm Sewer: When a water main over crosses or under crosses a sanitary / storm sewer then the vertical separation between the bottom of one (i.e., sanitary / storm sewer or water main) to the top of the other (water main or sanitary / storm sewer) shall be at least 18 inches for sanitary sewer and 12 inches for storm sewer; however, if this cannot be achieved then both the water main and the sanitary / storm sewer shall be constructed of Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 with joints that are equivalent to water main standards for a distance of 10 feet on each side of the point of crossing. A section of water main pipe shall be centered at the point of crossing and the pipes shall be pressure tested in place without leakage prior to installation. Sewers crossing over the water main shall have adequate structural support (concrete pier support and/or concrete encasement) to prevent damage to the water main. Sanitary sewers under creeks and storm sewer pipe crossings with less than 6-inch clearance shall be encased in concrete. (T&ES)

F - 9. No water main pipe shall pass through or come in contact with any part of sanitary / storm sewer manhole. Manholes shall be placed at least 10 feet horizontally from the water main whenever possible. When local conditions prohibit this horizontal separation, the manhole shall be of watertight construction and tested in place. (T&ES)

F - 10. Crossing Existing or Proposed Utilities: Underground telephone, cable T.V., gas, and electrical duct banks shall be crossed maintaining a minimum of 12 inches of separation or clearance with water main, sanitary, or storm sewers. If this separation cannot be achieved,

48



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Table with columns: NO., DESCRIPTION, DATE, REV. BY, APPROVED, DATE

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

DEVELOPMENT CONDITIONS (4 OF 11)
SHEET NAME:

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

Director signature and date: 11/6/19

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

Director signature and date: 11/2/19

CHAIRMAN, PLANNING COMMISSION

Chairman signature and date: 11/1/19

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review

Parks:
R - 2. It is recommended that the applicant choose a style bench that has an armrest in the middle of the bench to deter unwanted sleeping and skateboarding on the benches.

Asterisks denote the following:

- * Condition must be fulfilled prior to release of the Final Site Plan
- ** Condition must be fulfilled prior to release of the building permit
- *** Condition must be fulfilled prior to release of the certificate of occupancy
- **** Condition must be fulfilled prior to release of the bond

footprint of the building(s) and other related factors including the checklist items not previously provided as part of the Stage 1 development special use permit, and in accordance with the Eisenhower East Design Guidelines applicable to the site.

c. During the review of the Stage 2 development special use permit application, the scale, articulation, footprint, massing, and other architectural and/or design components will be reviewed for compliance with the Eisenhower East Design Guidelines and approved in accordance with the Eisenhower East Design Guidelines, subject to the Paragraph d below.

d. In the event that the application of the scale, articulation, footprint, massing, and other architectural and/or design components of Eisenhower East Design Guidelines as part of the review of a Stage 2 development special use permit results in the loss of AGFA on the block(s) under review, the applicant shall be permitted to consider an administrative transfer of an equivalent amount of AGFA to such other block(s) within the approved Concept Plan as the applicant proposes. If there is not agreement regarding the administrative transfer of the AGFA as requested, or the applicant chooses not to so request, the AGFA approved pursuant to the Concept Plan and Stage 1 development special use permit shall be permitted for that block and the City and applicant shall work together on the scale, articulation, footprint, massing, and other architectural and/or design components of Eisenhower East Design Guidelines to configure the final massing.

e. Any other requirement for conformance to the Eisenhower East Small Area Plan and/or the Eisenhower East Design Guidelines hereafter referred to in the conditions for this revised concept plan or any DSUP or TMP SUP approved therewith that affects the development rights approved with the Stage 1 Development Special Use Permit shall mean conformance to the extent not inconsistent with the Concept Plan, TMP SUP #2005-0115; DSUP# 2005-0031; #2005-0032; #2005-0033; #2005-0034; #2005-0035; and #2000-0028. (P&Z)(PC)

7. Each block within the Concept Plan (excluding Blocks # 1, 6, 7, 8, 14, and 15A unless otherwise provided herein) shall obtain approval of a subsequent Stage 2 development special use permit in order to redevelop or develop the site pursuant to the Stage 1 DSUP. If the use, AGFA or number of parking spaces approved in the Stage 1 DSUP for a particular block are amended by a Stage 2 DSUP for that block, to the extent that the amended use, AGFA or number of parking spaces causes an increase in peak am or pm traffic generation in relation to the traffic study prepared by BMI-SG dated October 2005, the applicant shall submit an amendment to the Transportation Management Plan pertaining to the subject of the change to the Stage 1 DSUP. (P&Z)(PC)

- 14. The number of parking spaces within the CDD at all times shall be limited and/or conditioned as follows:
 - a. Structured parking on all development blocks except Blocks 1 and 15A is limited to a maximum of 12,143 parking spaces, unless otherwise defined in this Paragraph.
 - b. New surface parking on all development blocks, except for Block 1, is limited to a maximum of 150 parking spaces on Block 11 and only in conjunction with a grocery store tenant on that Block. See item g for Block 15A.
 - c. Surface and structured parking on Block 1 shall not exceed the surface parking existing on January 1, 2006, plus a maximum of 215 additional structured parking spaces to replace those taken by the construction of Ramp A-1 of the Telegraph Road Interchange.
 - d. Except for those blocks that are governed by DSUP #2000-0028 and Block 1, Block 2, Block 3, Block 15A, Block 24 and Block 25A, all parking structures shall have a minimum of two levels of parking below grade.
 - e. The number of off-street parking spaces within the Concept Plan shall be limited to a maximum number of 12,611 parking spaces (including during interim development).
 - f. On street parking, including the Town Center circle, is excluded from the foregoing maximum number of parking spaces.
 - g. New surface parking on Block 15A of 28 spaces may be permitted until a permanent building can be built. (P&Z)(PC)

B. BUILDINGS - USES:

15. The Allowable Gross Floor Area (AGFA), height, parking and use shall be governed by the following table, which shall also be reflected in the Concept Plan. (PC)

Block	RETAIL	OFFICE	RESIDENTIAL	HOTEL	SUB-TOTAL	GFA Exclusion	USE GFA	PARKING	AGFA TOTAL (Note 2)	Structured Parking ****	Surface Parking	Height (FT)
1	0	0	0	101,000	101,000	0	101,000	0	101,000	215	100	Existing
2	0	682,515	0	0	682,515	21,129	661,386	**	661,386	995	0	280
3	0	193,907	0	0	193,907	6,033	187,874	**	187,874	533	0	210
4	38,950	438,000	0	0	472,950	13,442	459,508	0	459,508	2,201	0	220
5	24,050	0	280,000	0	284,050	9,282	274,768	55,073	329,841	Shared with Block 4	0	220
6A	38,475	0	663,077	0	669,552	34,000	665,552	0	665,552	115,000*****	Note 3	210

CDD Conditions (CDD #2019-0003)

Note: The following CDD conditions have been carried forward from the most recent CDD approval, CDD 2017-0004.

A. GENERAL:

- 1. (DEFINITION) The term "Settlement Agreement" means the "Hoffman Town Center Land Use and Parking Compromise" under original date of December 14, 2004, as amended under date of August 24, 2005. (P&Z)
- 2. (DEFINITION) The term "Hoffman Process Agreement" means that portion of the Settlement Agreement so denominated and setting forth the sequence of submissions/approvals governing the process for approval of the development permits for the Hoffman Property development blocks within the Eisenhower East area. A copy of the Hoffman Process Agreement is attached hereto as Addendum 1. (P&Z)
- 3. (DEFINITION) As used in this document, the phrase "Stage 1 preliminary development special use permit" means that preliminary development special use permit submitted pursuant to the Hoffman Process Agreement as "Preliminary Development Special Use Permit #1". (P&Z)
- 4. (DEFINITION) As used in this document, the phrase "Stage 2 preliminary development special use permit" means that preliminary development special use permit submitted pursuant to the Hoffman Process Agreement as "Preliminary Development Special Use Permit #2". (P&Z)
- 5. Notwithstanding any contrary provisions in the Zoning Ordinance, the amended CDD Concept Plan (CDD# 2011-0004 hereby referred to as the Concept Plan), the amended Transportation Management Plan Special Use Permit (TMP-SUP # 2005-0115), the Stage 1 Development Special Use Permits, (DSUP#2005-0031, DSUP#2005-0032, DSUP#2005-0033, DSUP#2005-0034 and DSUP#2005-0035) shall remain valid until December 31, 2020. (CDD#98-05; Cond. #12)
- 6. The review and approval of the Stage 1 and Stage 2 Development Special Use Permits shall be as follows:
 - a. The use, "Allowable Gross Floor Area" (AGFA), number of parking spaces, levels of underground parking, preliminary mass, and height shall be reviewed and approved as part of the Stage 1 development special use permit for each development block.
 - b. As part of its Stage 2 development special use permit application, the applicant shall submit the final massing, design, scale, articulation, and

8. Block 1 shall be limited to the building configuration existing on January 1, 2006, and any alteration to the existing building (except interior alterations and alterations to the exterior facade) shall be subject to the Eisenhower East Small Area Plan and the Eisenhower East Design Guidelines, except that a parking structure with a maximum of 215 parking spaces may be constructed by Virginia Department of Transportation (VDOT) if necessary for the replacement of those spaces taken for the Stovall ramp realignment. (P&Z)(PC)

9. Prior to submitting a Stage 2 preliminary development special use permit application, the applicant shall submit a conceptual site plan for review by the City at least 90 days prior to submission of the preliminary development special use permit application for each block(s). (P&Z)

10. Each Stage 2 development special use permit application shall be subject to review by the Eisenhower East Design Review Board or successors prior to consideration of the preliminary development special use permit by the Planning Commission and City Council. The applicant shall submit architectural elevations, massing studies and other applicable information deemed necessary by the Director of P&Z for such review as part of the submission materials for review. (P&Z)

11. The applicant may transfer Gross Floor Area (GSF) of a use approved in the Concept Plan and a pro rata share of the Gross Floor Area (GSF) of the parking from that block from one block to another block as part of a Stage 2 development special use permit, subject to approval by the Director of P&Z and subject to the following:

- a. Change in the primary use of the property may be permitted within each CDD during the development approval process provided that the change is consistent with the principles and intent of the EESAP.
- b. A change of use that results in the transfer of an equal amount of square footage from one parcel to another may be done administratively. A change that increases the amount of building area on a parcel shall be made as an amendment to the Master Plan. (P&Z)

12. All proposed and existing above grade utility lines for each block within the Concept Plan (excluding the VEPCO transmission lines) shall be placed below grade with the development and/or redevelopment of each block(s). The cost of locating the utility lines below grade shall be the sole responsibility of the applicant and/or its successors. All proposed and existing above-grade utility lines (excluding the VEPCO transmission lines) shall be located below grade prior to the certificate of occupancy permit for each building or structure. (P&Z) (T&ES)

13. The names of each public street dedicated for public use or a street with a public access easement within the Concept Plan shall require subsequent approval by the Planning Commission. (P&Z)

6B	24,565	351,753****	0	0	376,318	14,252	362,066	0	362,066	0	Note 3	Note 3
6C	7,882	0	0	0	7,882	0	7,882	0	7,882	0	Note 3	Note 3
7*	136,000	0	0	0	136,000	0	136,000	0	136,000	0	Note 3	Note 3
8*	22,175	673,642	0	0	695,817	0	695,817	1,600	697,417	660	0	250
9A	0	0	0	170,000	170,000	8,190	161,810	389,390	551,206	2,172	0	220
9B	30,000	716,142	0	0	746,142	34,658	711,484	67,800	779,284	Shared with Block 9A	0	250
11	54,000	0	660,000	0	714,000	48,000	666,000	11,000	677,000	723	150**	370
12	18,000	0	595,000	0	613,000	35,000	578,000	71,000	649,000	782	0	339
14*	0	0	0	0	0	0	0	Note 3**	Note 3	2,883	Note 3	Note 3
15A	0	425,187	0	0	425,187	16,428	398,759	87,482	486,241	164	24	208
22	0	0	0	0	0	0	0	0	0	0	0	0
24	0	180,000	230,000	0	410,000	9,074	400,926	**	400,926	600	0	200
25A	0	0	180,000	0	180,000	4,160	175,840	**	175,840	370	0	200
TOTAL	390,997	3,655,148	2,588,077	271,000	6,848,222	253,648	6,594,574	633,331	7,229,549	128,227	224	N/A

Note 1: Gross Floor Area (GFA) is defined as the sum of all gross horizontal areas under a roof or roofs. These areas are measured from the exterior faces of walls or from the center-line of party walls. Elevator and stair bulkheads, multi-story atriums and similar volumetric construction, not involving floor space are excluded.

Note 2: AGFA totals shall be applied in accordance with the EESAP.

Note 3: Per approved DSUP# 2000-0028

Note 4: This parking ratio is only for a federal tenant who can meet these ratios.

* This block is an existing use under approved DSUP# 2000-0028 and is not the subject of a Stage 1 DSUP. Any re-development of this block will require submission of an amended or new DSUP.

** GFA of the parking structure does not count towards AGFA.

*** Surface parking on Block 11 is permitted solely in conjunction with a grocery store.

**** Structured parking includes both above and below grade parking.

***** Up to 22,068 NSF of ground-floor only may be used for either office or retail use.

***** With the adaptive reuse of the existing building on Block 6A, above grade parking will not count against the total AGFA.

Within 120 calendar days of approval, the applicant shall submit a revised Concept Plan, reflecting the table approved herein. (PC)

16. The Allowable Gross Floor Area (AGFA) is defined in the EESAP as the sum of all gross horizontal areas under a roof or roofs for all structures, including above-grade parking structures, which shall be measured from the exterior faces of walls or from the center-line of party walls. Elevator and stair bulkheads, multi-story atriums, and similar volumetric construction, not involving floor space are excluded. (P&Z)

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SEAL:
COMMONWEALTH OF VIRGINIA
STEVEN T. LIAM
Lic. No. 40224
10/30/19
PROFESSIONAL ENGINEER

REVISION APPROVED BY		DATE
NO.	DESCRIPTION	DATE

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA
SHEET NAME: DEVELOPMENT CONDITIONS (6 OF 11)

APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
11/6/19
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. 11/2/19
DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION 11/6/19
DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review

remaining 57' for the right of way from WMATA. In the event that WMATA does not provide to the City all or part of the 57' of right of way, the applicant and the City shall revise the Stage 1 DSUP as necessary to reconfigure the surrounding streets and massing on each block to maintain the same use, AGFA, number of parking spaces and levels of underground parking reviewed and approved as part of the Stage 1 development special use permit

k The North/South street to the West of Block 11 and Block 12 (adjoining WMATA and denominated Anchor Road in the Concept Plan) shall be constructed, operational and dedicated prior to the issuance of the first certificate of occupancy for Block 11 or Block 12. The applicant shall dedicate 40 ft. of right of way to this street. The City shall acquire the remaining 26 feet of right of way from WMATA. In the event that WMATA does not provide to the City all or part of the 26' of right of way, the applicant and the City shall revise the Stage 1 DSUP as necessary to reconfigure the surrounding streets and massing on each block to maintain the same use, AGFA, number of parking spaces and levels of underground parking reviewed and approved as part of the Stage 1 development special use permit.

l In the event the City acquires the necessary right of way from WMATA as contemplated herein, the North/South Street East of Block 11 and Block 12 (denominated Port Road in the Concept Plan) shall be constructed, operational prior to a certificate of occupancy for Block 11 or Block 12. The street shall be 66 ft. from Eisenhower Avenue to Dock Lane and 54 feet from Dock Lane to Southern Street.

m The North/South interior street and the street around South Dulany Gardens shall be constructed, operational prior to the issuance of the first certificate of occupancy for Block 24 or Block 25A.

n Southern Road from Port Street to the service drive at the West side of Block 9A shall be constructed, operational and dedicated prior to the issuance of the first certificate of occupancy for Block 9A or 9B, provided the City acquires the necessary right-of-way from WMATA. Southern Road from Port Street to Swamp Fox Road shall be constructed, operational and dedicated prior to the issuance of the first certificate of occupancy for Block 11 or 12, provided the City acquires the necessary right-of-way from WMATA. The applicant shall dedicate 40.5 ft. of right-of-way for this street between the service drive at the West side of Block 9A and the Metro underpass. The applicant shall dedicate 42.6 ft. of right-of-way for this street between the service drive at the West side of Block 9A and the Metro underpass. The applicant shall negotiate with VDOT for the dedication of the remaining right-of-way to achieve a full right of way width of not less than 50 ft. The surface parking lot on block 11 shall comply with the surface parking lot landscaping requirements in Section 11-410(cc)(6) of the Zoning Ordinance, except as may be modified by the Planning

67

c. applicable documentation necessary for the City to accept dedication of the property.
Dedication of the right-of-way required to provide the full right-of-way at Block 25A shall be made at the time of redevelopment of Block 25 and the applicant shall provide the necessary plats, and accompanying applicable documentation necessary for the City to accept dedication of the property. (T&ES) (P&Z) (PC)

26. If the Eisenhower Avenue improvements including but not limited to the Sidewalk Area, travel lanes and median are funded by the City and constructed by the City or a designee, the applicant shall, as a condition to approval of the Stage 2 preliminary development special use permit for Block 9B, Block 12, Block 24 and/or Block 25A, the applicant shall provide a payment to the City equivalent to the actual cost of construction of the improvements that would have been the responsibility of the applicant at the cost incurred at the time of construction. (P&Z) (T&ES) (PC)

27. As part of the submission of the first Stage 2 development special use permit for Blocks 9A, Block 9B, Block 11 or Block 12, whichever occurs first, the applicant shall prepare a plan for the construction of the improvements for the vehicle and bus loop and the eastern portion of Eisenhower Station Park improvements described in Condition #31C. ("Bus Loop Plan"). The applicant shall coordinate with the City and WMATA in that design and to explore the possibility of eliminating and/or relocating the "Kiss and Ride" surface parking lot as part of the Bus Loop Plan. The final design and configuration of the streets, plaza and pedestrian circulation in the Bus Loop Plan shall be approved as part of the Stage 2 development special use permit for either block 9 or blocks 11 and 12. Provided that the City acquires all necessary rights of way from WMATA, the Bus Loop Plan improvements shall be constructed by the applicant, operational and dedicated prior to the issuance of the first certificate of occupancy permit for Blocks 9A, Block 9B, Block 11 or Block 12, whichever occurs first. (P&Z) (T&ES) (PC)

28. As part of the submission of the first Stage 2 development special use permit for Block 9A or 9B, the applicant shall submit a design for the construction of the Southern Street connection along the southern portion of the Block 9A and Block 11, including a connection to Eisenhower Avenue on the East side of Block 11 and Block 12 (denominated Port Street on the Concept Plan). The applicant shall also coordinate with the adjoining property owner for Block 20 to explore the possibility of connecting the Southern Road to Mill Road at the time Southern Street is required to be constructed by the applicant. The connection to Eisenhower Avenue shall be constructed prior to a certificate of occupancy permit is issued either for Block 11 or Block 12. (P&Z) (T&ES) (PC)

69

of the land for Eisenhower Park adjacent to that block and the construction of a pedestrian connection from Eisenhower Avenue to that portion of the Park, consistent with the Eisenhower Park design plan.

i The applicant shall be required to submit, as part of the first Stage 2 DSUP for any block approved hereunder, a permanent easement to the City for parks, open space and playgrounds, on that portion of Tax Map Parcel 079.00-01-01, beginning at a point which is five feet (5') south of the back of the existing curb line of the surface parking lot behind the buildings located on such parcel, to the christopher consultants, Ltd., dated February 24, 2006, titled Proposed Open Space Easement Area Exhibit. Such easement shall contain conditions expressly reserving to the grantor, its successors and/or assigns, all development rights, density (whether floor area, AGFA, or otherwise) and/or any other appurtenant rights that would otherwise be associated with or derived from the land area falling within the bounds of such easement consistent with Condition #87A (12).
ii Construction of the applicable portion of the park shall be completed prior to the certificate of occupancy permit for any development within block 24 and/or 25A, whichever occurs first, provided that construction of the entire park shall be completed before the issuance of a certificate of occupancy permit for any development within the second block to be constructed. (P&Z) (RP&CA) (PC)

31. The applicant shall dedicate land or a perpetual public access easement to the City, on property that is owned by the applicant, which shall provide public access to open space (including, where appropriate, access for bicycle purposes), for the following open spaces and urban squares within the Concept Plan area for Blocks 2, 3, 4, 5, 9A, 9B, 10, 24 and 25A and along the RPA, consistent with the following:

- a. West Side Gardens shall be one or two rectangular shaped urban squares with a minimum of 34,800 sq.ft. located on blocks 2 and/or 3. The primary purpose of this park-open space is to provide a passive open space area lined with street trees, a combination of grassy and hardscape areas and a focal element such as a fountain, monument or statue. The design of the park shall be submitted as part of the Stage 2 development special use permit for Blocks 2 and/or 3. The design of the park shall be prepared and sealed by a Landscape Architect who is certified and licensed to practice in the Commonwealth of Virginia. Construction shall occur in conjunction with the development of Blocks 2 and/or 3, and shall be completed prior to the certificate of occupancy for Blocks 2 and/or 3.
- b. Block 4 and 5 Square shall be a rectangular shaped urban square with a minimum of 10,900 sq.ft. At least 30% of the area should be designed to accommodate informal community gatherings. Construction shall occur in

71

Commission or City Council in the Stage 2 DSUP for Blocks 11 and 12. If the landscape or right-of-way requirements in the Stage 2 DSUP result in fewer than 160 surface parking spaces on Block 11, the applicant may convert up to 35,000 square feet of retail space to residential use on Block 11. As part of the construction of Southern Road, the applicant shall be required to coordinate with VDOT to provide plantings and landscaping within the adjoining VDOT right-of-way. If approved by VDOT, the applicant shall be required to prepare a landscape plan and install landscape screening as approved by the City and VDOT. The landscape plan shall accompany the block within the CDD, which requires the construction of Southern Road and shall be reviewed and approved by the Planning Commission and City Council as part of the Stage 2 development special use permit process for the applicable block.

a Park Road shall be constructed, operational and dedicated from Eisenhower Avenue to the East end of Block 25A prior to the issuance of the first certificate of occupancy for Block 24 or 25A.

p All other road shall be constructed, operational and dedicated (or a public access easement granted) prior to the issuance of the first certificate of occupancy for the block adjoining the road.

q Dimensions of Mill Road shall be as shown on DSUP 2016-0043 Stage 1 Preliminary Plan, as amended. (P&Z) (T&ES) (PC)

24. The preliminary subdivision plats included in the Stage 1 development special use permit application shall be revised to include all sidewalk and streets areas within the area shall be a dedicated for public right-of-way, unless otherwise specified herein. The validity of the subdivision plats shall be concurrent with the Stage 1 development special use permit in compliance with the subdivision regulations of the Zoning Ordinance. (P&Z)

E. PHASING:

25. The applicant shall dedicate the necessary public right-of-way as set forth in Condition 22 and construct all necessary improvements for Eisenhower Avenue at the time of the redevelopment of each block adjacent to Eisenhower Avenue, subject to the following:

a. Upon formal request from the City, the applicant shall dedicate the right-of-way required by Condition 22 from Blocks 9, 12 and 19 and shall provide the necessary plats, and accompanying applicable documentation necessary for the City to accept dedication of the property by the City within 60 days.

b. Dedication of the right-of-way required to provide the full right-of-way at Blocks 22 and 24 shall be made at time of redevelopment of Block 24 and the applicant shall provide the necessary plats, and accompanying

68

29. The first Stage 2 development special use permit application pursuant to the Concept Plan shall be accompanied by an Infrastructure and Open Space Phasing Plan (Phasing Plan), which shall be revised, updated and resubmitted with each subsequent Stage 2 development special use permit application. The Phasing Plan is intended to inform the City regarding the applicant's projected timing and nature of infrastructure and open space construction activities, and to ensure that the construction of the infrastructure and open space is completed in a comprehensive manner for the entire Concept Plan. Each Phasing Plan shall include the following:

- a. A general outline for each block, infrastructure and open space element, including the most up-to-date projection of the times when construction of the different blocks, uses (i.e., office, retail, hotel and residential), open space and infrastructure are likely to commence.
- b. An outline of the events required to coordinate, design and manage the implementation of the infrastructure shown in the CDD Phasing Plan in a comprehensive manner.
- c. Notwithstanding the foregoing, the applicant shall not be bound by the order or phasing in the Phasing Plan. (P&Z)
- d. Condition deleted. (City Council)

F. OPEN SPACE AND LANDSCAPE:

30. The portions of Eisenhower Park located on property owned by the applicant shall be improved and dedicated to the City consistent with the Eisenhower East Small Area Plan and with the following:

- a. Eisenhower Park - The Meadows (Block 22 and Block 31), shall consist of amenities such as a recreational trail and a meadow for active sports and passive recreation in conformance with the Eisenhower East Small Area Plan and the Eisenhower East Design Guidelines.
- b. All improvements shall be installed and completed by the applicant and accepted by the City, prior to the space being dedicated to the City.
- c. Relocate Park Drive to the north consistent with the EESAP alignment.
- d. Dedication of the land required for Eisenhower Park from Block 22 shall take place at the same time as required in these conditions for dedication of the land required for Eisenhower Park from Block 24.
- e. Dedication and construction of Eisenhower Park shall occur in conjunction with the development of each of the adjoining blocks (Block 24, Block 25A), pursuant to the following:
 - i. The Stage 2 development special use permit application for Block 24 and/or Block 25A shall be accompanied by a design plan for Eisenhower Park, which shall be reviewed and approved as part of the Stage 2 DSUP. The approval of a Stage 2 DSUP for either block 24 or 25A shall also require the construction and dedication of that portion

70

conjunction with the development of Blocks 4 and/or 5, and shall be completed prior to the certificate of occupancy for Blocks 4 and/or 5. A structure such as a pavilion may be permitted within the space if approved by the City. The design of the park shall be submitted as part of the Stage 2 development special use permit for Blocks 4 and 5. The design of the park shall be prepared and sealed by a Landscape Architect who is certified and licensed to practice in the Commonwealth of Virginia.

c. Eisenhower Station - shall be an urban plaza and open space area at the Eisenhower Metrorail Station, divided by Swamp Fox Road, with a minimum area of 12,000 sq.ft. on the western portion of the street and 9,200 sq.ft. on the eastern portion of Swamp Fox Road. This space shall be designed as a civic center, with at least 50% of the area suitable to accommodate informal community gatherings and events. As one of the principal focal areas of Eisenhower East, the Eisenhower Station plaza shall be created with the highest quality materials, paving, design and amenities. With the Stage 2 development special use permit application for Blocks 9A and 9B, consideration shall be given to providing a decorative paving material for Swamp Fox Road to visually connect the two areas of open space. The eastern portion of the park shall be constructed with the metro bus loop road which is required to be constructed as part of the first Stage 2 development special use permit for Blocks 11 and 12 or 9A and 9B, whichever occurs first. Final design and construction of the western plaza shall be in conjunction with a Stage 2 development special use permit for Blocks 9A and 9B. The western portion of the park shall be constructed with Block 9B.

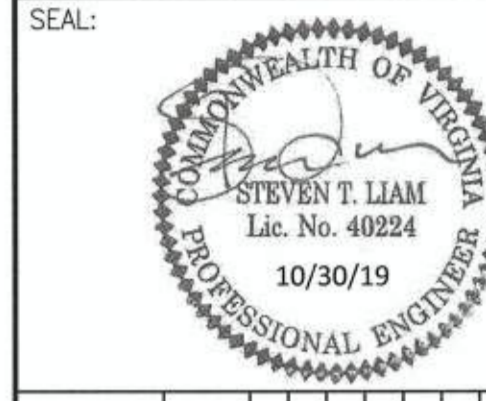
d. South Dulany Gardens - shall be a rectangular shaped urban square with a minimum of 15,300 sq.ft. and surrounded by Dulany Street and Park Drive. The primary purpose of this park-open space is to provide a passive open space area lined with street trees, a combination of grassy an hardscape areas and a focal element such as a fountain, monuments, or statue. The design of the park shall be submitted as part of the Stage 2 development special use permit for Blocks 24 and/or 25A. Construction, will occur in conjunction with the development of Blocks 24 and/or 25A, and shall be completed prior to the certificate of occupancy for Blocks 24 and/or 25A. (P&Z) (RP&CA) (PC)

G. AFFORDABLE HOUSING:

32. The applicant shall make a voluntary monetary housing contribution in accordance with the conclusions of the Report of the Developer Housing Contribution Policy Work Group accepted by the City Council in December 2013. (Housing) (PC)

72

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REVISION APPROVED BY	
NO.	DESCRIPTION

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

SEAL: _____
SCALE: N/A
DATE: OCTOBER, 2019
DRAWN: CA
PLAN STATUS: _____
DATE: _____
DESCRIPTION: _____
DATE: _____
DESCRIPTION: _____
DATE: _____
DESCRIPTION: _____
DATE: _____
DESCRIPTION: _____

APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
Director: [Signature] DATE: 11/6/19
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.: [Signature] DATE: 11/6/19
Director: [Signature] DATE: 11/6/19
CHAIRMAN, PLANNING COMMISSION DATE: 11/6/19
DATE RECORDED: _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

ESI Peer Review

H. TRANSPORTATION MANAGEMENT PLAN:

Note - Conditions 33-34A apply only to development associated with Stage 1 and Stage 2 DSUPs. See separate TMP conditions for Blocks 1, 6, 7, 8, 14, and 15A.

- 33. According to Article XI, Section 11-700 of the City's Zoning Ordinance, a Tier III Transportation Management Plan is required to implement strategies to encourage residents and employees to take public transportation, walk, bike or share a ride, as opposed to being a sole occupant of a vehicle. (T&ES)
 - a. An on-site TMP Coordinator shall be designated for the entire project prior to release of the first certificate of occupancy. The name, location, email and telephone number of the coordinator will be provided to the City at the time, as well as any changes occurring subsequently. This person will be responsible for implementing and managing all aspects of the TMP and the parking management program for the project. (T&ES)
 - b. The applicant shall integrate into the District Transportation Management Program when it is organized. All TMP holders in the established district will be part of this District TMP. The objective of this district is to make optimum use of transportation resources for the benefit of residents and employees through economies of scale. No increase in TMP contributions will be required as a result of participation in the District TMP. (T&ES)
 - c. Condition deleted
 - d. Condition deleted
 - e. Condition deleted
 - f. Condition deleted
 - g. Condition deleted
 - h. Condition deleted
 - i. Condition deleted
 - j. Condition deleted
 - k. Condition deleted
 - l. Condition deleted
 - m. Condition deleted
 - n. An annual TMP fund shall be created and managed by the TMP Coordinator, and the funds shall be used exclusively for the approved transportation activities detailed in the attachment. The annual base assessment rate for this development in March 2017 dollars shall be \$83.70 per residential unit, \$0.21 per square foot of retail space, \$0.26 per square foot of commercial space, \$41.85 per hotel room and \$0.10 per square foot of industrial/warehouse. The base assessment rate will be adjusted on an annual basis on July 1 of each year in accordance with the Consumers Price Index (CPI-U) as reported by the United States Department of Labor, Bureau of Labor Statistics. The base assessment rate in effect at the time of the project's first certificate of occupancy permit (CO) is the applicable rate

73

- when TMP reporting begins. The TMP shall operate on the City's fiscal year, July 1 to June 30. (T&ES)
- o. Condition deleted
- p. Condition deleted
- q. The TMP Coordinator or Association will submit to the Transit Services Division the following as detailed attachments; biannual fund reports due July 15 and January 15 of each fiscal year, and modes of transportation survey, and a TMP Coordinator survey both due by July 15. (T&ES)
- r. Condition deleted
- s. The Director of T&ES may require that the funds be paid to the City upon determination that the TMP Coordinator or Association has not made a reasonable effort to use the funds for TMP activities. As so determined, any unencumbered funds remaining in the TMP account at the end of each reporting year may be either reprogrammed for TMP activities during the ensuing year or paid to the City for use in transportation support activities which benefit the site. (T&ES)
- t. Condition deleted
- u. Condition deleted
- v. Prior to any lease/purchase agreements, the applicant shall prepare appropriate language to inform tenants/owners of the transportation management plan special use permit and conditions therein, as part of its leasing/purchasing agreements; such language to be reviewed and approved by the City Attorney's office. (T&ES)
- w. Condition deleted
- x. Modifications to approved TMP activities shall be permitted upon approval by the Director of T&ES, provided that any changes are consistent with the goals of the TMP.
- y. If the use, AGFA or number of parking spaces approved in the Stage 1 DSUP for a particular block are amended by a Stage 2 DSUP for that block, to the extent that the amended use, AGFA or number of parking spaces causes an increase in peak am or pm traffic generation in relation to the traffic study prepared by BML-SG dated October 2005, the applicant shall submit an amendment to the Transportation Management Plan pertaining to the subject of the change to the Stage 1 DSUP.
- z. The TMP coordinator shall allow City transportation demand management staff or their assigns onto the premises to assist in transportation demand management activities. (T&ES)
- aa. Prior to accepting tenancy or ownership from any occupant other than residential, the owner or tenant shall contact the City's transportation demand management program to discuss an employee transportation strategy. The TMP coordinator shall have the correct contact information for the City's transportation demand management program at all times. (T&ES)

74

- bb. As set forth in section 11-711(B) in the Ordinance, civil penalties shall be assessed to the governing entity for lack of timely compliance with the conditions of this TMP SUP. If after assessment of three civil penalties, any use continues to fail to comply with a condition of its approved TMP, the use may be required to participate in the Citywide TMP Program, may be subject to increased review and reporting requirements, and may be subject to a staff recommendation for action by the City Council to revoke the TMP SUP pursuant to section 11-205 of the Ordinance. (P&Z) (T&ES) (PC) (City Council)
- 34. The applicant shall prepare a parking management plan with each stage 2 preliminary development special use permit to the satisfaction of the Director of P&Z and T&ES, which shall at a minimum include the following:
 - a. Each building shall contribute to and participate in the management of parking assets within the development, as appropriate for the use of the building.
 - b. Depicts the reallocation of surface parking spaces and the resulting impacts on the adjoining blocks.
 - c. Single occupancy vehicle (SOV) parking at fair market rates. In determining fair market rates, comparable rates should be provided for garages located within two blocks of transit with comparable land use density.
 - d. Reserved, conveniently located, and free vanpool parking spaces.
 - e. Reserved, conveniently located, and discounted carpool parking spaces.
 - f. Planning and implementation of special strategies related to major event parking relating to the requirements of any hotels or community activities within the concept plan.
 - g. Parking rates for the parking within the parking structure shall be consistent with market rates of comparable buildings located in adjoining developments within the City of Alexandria, except that free parking may be provided for retail patrons.
 - h. All office employees shall be required to pay market rates for parking; no parking may be provided free or at reduced rates or with costs reimbursed by the employer unless that employer provides an equivalent benefit to all employees who utilize transit options to commute, i.e., if an employer provides a \$100 parking space to an employee free of cost, that employer must also offer a pretax benefit for transit of \$100 to all transit users. Spaces defined as "short-term" parking shall be solely utilized for use by visitors and retail use and shall include all appropriate signage. (P&Z)(PC) (CDD 98-02; Cond. #11)
 - i. All residential parking, both condo and rental, shall be unbundled. Spaces shall be sold at comparable market rates.

75

- k. Any parking provided in excess of the maximums as governed by the City's Zoning Ordinance or Small Area Plan (whichever is lower) may be reduced without the provision of a DSUP.
- 34A. The following Legal/Procedural conditions shall apply to the TMP SUP:
 - 1. The TMP SUP or any amendment thereto shall not include a requirement for the properties to be part of a special taxing district. (Settlement Agreement Condition 10)
 - 2. The TMP SUP or any amendment thereto shall not include a requirement for vehicular connection between Grist Mill Place and Grist Mill Road (Settlement Agreement Condition #4)
 - 3. Except as otherwise provided in conditions #23, #25, #27 and #28 of the Concept Design Plan (2005-0002), all property dedicated for right of way shall be dedicated as part of the physical redevelopment of the block where the property is located, shortly prior to the issuance of the certificate of occupancy for the first building on such block. (Settlement Agreement condition #5)
 - 4. Except as otherwise provided in condition #25 of the Concept Design Plan (2005-0002), the dedication and/or acquisition of right-of-way required to widen Eisenhower Avenue shall only be required of/from the applicant/land owner upon the physical redevelopment of each block adjacent to Eisenhower Avenue pursuant to the Stage 1 DSUP for each such block, prior to the issuance of a certificate of occupancy for the first building constructed on such block.
 - 5. Notwithstanding anything to the contrary contained herein or in the Concept Plan or EESAP, no parking ratios shall apply.

CONCEPT PLAN CONDITIONS PREVIOUSLY DELETED

- 35. Condition deleted (formerly cond. #4 of CDD 98-0002)
- 36. Condition deleted
- 37. Condition deleted (formerly cond. #5 of CDD 98-0002)
- 38. Condition deleted (formerly cond. #6 of CDD 98-0002)
- 39. Condition deleted (formerly cond. #7 of CDD 98-0002)
- 40. Condition deleted (formerly cond. #1 of CDD 98-0002)
- 41. Condition deleted (formerly cond. #2 of CDD 98-0002)

76

- 42. Condition deleted (formerly cond. #3 of CDD 98-0002)
- 43. Condition deleted (formerly cond. #8 of CDD 98-0002)
- 44. Condition deleted (formerly cond. #9 of CDD 98-0002)

I. GENERAL STAGE 1 PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT CONDITIONS (DSUP #2005-0031, 0032, 0033, 0034 AND 0035); (AMENDED BY DSUP #20146-0043)

45A. The Allowable Gross Floor Area (AGFA), height, parking and use shall be governed by the following table, which shall also be reflected in the Concept Plan. (PC)

Block	RETAIL	OFFICE	RESIDENTIAL	HOTEL	SUB-TOTAL	GFA Exclusion	USE GFA	PARKING GFA	AGFA TOTAL (Note 2)	Structured Parking ***	Surface Parking	Height (FT)	
1	0	0	0	101,000	101,000	0	101,000	0	101,000	215	100	Existing	
2	0	882,515	0	0	882,515	21,129	661,386	**	661,386	885	Note 4	0	260
3	0	193,907	0	0	193,907	6,033	187,874	**	187,874	533	0	0	210
4	38,950	436,000	0	0	472,950	13,442	459,508	0	459,508	2,281	0	0	220
5	24,050	0	260,000	0	284,050	9,282	274,768	55,073	329,841	Shared with Block 4	0	0	220
4/5	255,421	0	844,554	0	1,099,975	48,927	1,051,048	622,008	1,704,300*	1,590	Note 5	0	220
5A	0	0	0	170,000	170,000	8,190	161,810	389,398	551,206	2,172	0	0	220
6B	30,000	716,142	0	0	746,142	34,658	711,484	67,800	779,284	Shared with Block 6A	0	0	250
11	54,000	0	860,000	0	914,000	48,000	866,000	11,000	877,000	723	150**	0	370
12	18,000	0	595,000	0	613,000	35,000	578,000	71,000	649,000	782	0	0	339
22	0	0	0	0	0	0	0	0	0	0	0	0	0
24	0	180,000	230,000	0	410,000	9,074	400,926	**	400,926	600	0	0	200
25A	0	0	180,000	0	180,000	4,160	175,840	**	175,840	379	0	0	200
TOTAL	357,421	2,208,564	2,500,554	271,000	4,910,539	215,171	4,695,368	1,181,202	5,876,570	7,989	250	N/A	

Note 1: Gross Floor Area (GFA) is defined as the sum of all gross horizontal areas under a roof or roofs. These areas are measured from the exterior faces of walls or from the center-line of party walls. Elevator and stair bulkheads, multi-story atriums and similar volumetric construction, not involving floor space are excluded.
Note 2: AGFA totals shall be applied in accordance with the EESAP.
Note 3: Per approved DSUP# 2000-0028
Note 4: This parking ratio is only for a federal tenant who can meet these ratios.

77

Note 5: Per EESAP, with the provision of an 85,000 sq. ft. minimum regional destination grocery anchor and 58,100 sq. ft. minimum ground floor retail, Blocks 4 and 5 may be combined into one development block without the mid-block street connection identified in the plan, with above grade parking and modified ratios permitted.
* This block is an existing use under approved DSUP# 2000-0028 and is not the subject of a Stage 1 DSUP. Any redevelopment of this block will require submission of an amended or new DSUP.
** GFA of the parking structure does not count towards AGFA.
*** Surface parking on Block 11 is permitted solely in conjunction with a grocery store.
**** Structured parking includes both above and below grade parking.
AGFA includes 35,054 sf of loading area on Level P3.

- 45B. The Stage 1 Development Special Use Permits as amended herein, (DSUP2005-0031, DSUP 2005-0032, DSUP 2005-0033, DSUP 2005-0034, DSUP 2005-0035, and DSUP 2014-0027), shall remain valid until December 31, 2020. (PC)
- 45. Condition deleted
- 46. The subdivision plat shall be revised to include all sidewalks within the area to be dedicated for public right-of-way as required by the EESAP not within a public access easement. (P&Z)
- 47. Underground parking shall not be permitted under areas to be dedicated for open space or areas to be dedicated for public streets. (P&Z)
- 48. As part of the Stage 2 development special use permits, install pedestrian crossing improvements at all intersections. (T&ES)
- 49. All open space and landscape information shall be prominently located in the General Notes and Tabulations Section of each submission, and referenced on appropriate drawing sheets as part of Stage 2 DSUP. (RP&CA)
- 50. Landscape plan shall comply with the most current and up to date edition of the Eisenhower East Small Area Plan (EESAP) to the extent the EESAP is not inconsistent with the Concept Plan or the Stage 1 DSUP's approved therewith and Design Guidelines for Eisenhower East as produced by the City of Alexandria, Virginia. Landscape plans shall be prepared and sealed by a Landscape Architect who is certified and licensed to practice in the Commonwealth of Virginia. (RP&CA)
- 51. Open Space requirements shall be provided with each future submission for each block/development site and at a minimum, include compliance with the most current and up to date edition of the Eisenhower East Small Area Plan and Design Guidelines for Eisenhower East elements associated with pedestrian

78

DESIGN ENGINEER / SURVEYOR

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SEAL:

STEVEN T. LIAM
Lic. No. 40224
10/30/19
PROFESSIONAL ENGINEER

NO.	DESCRIPTION	DATE	APPROVED BY

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: DEVELOPMENT CONDITIONS (9 OF 11)

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

Harold Rose, Jr. 11/6/19
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. _____

[Signature] 4/26/19
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

ESI Peer Review

areas including sidewalks, crosswalks, depressed curbs, street and site lighting, site furnishings, signals and signs that shall be located and coordinated to maximize accommodation of street and on-site plantings. Horizontal and vertical location of all associated service, footings and foundations shall be adjusted to maximize accommodation of street and on-site plantings. (RP&CA)

- 52. All pedestrian facilities and public spaces shall comply with applicable ADA accessibility standards and guidelines. (T&ES)
- 53. Condition deleted
- 54. Condition deleted
- 55. Condition deleted
- 56. Condition deleted
- 57. On future plan submissions, pertinent information from the TMP plan shall be incorporated into each of the preliminary plans for staff evaluation of transportation amenities and requirements. With the preliminary submission for a Stage II DSUP for Block 2, the applicant shall submit a request to amend the TMP to the standards in place at the time of the application. (T&ES) (T&ES)
- 58. Condition deleted
- 59. Condition deleted
- 60. Condition deleted
- 61. All private streets and alleys must comply with the City's Minimum Standards for Private Streets and Alleys. (T&ES)
- 62. Condition deleted
- 63. Provide bearings and distances on the new road alignment. (T&ES)
- 64. Condition deleted
- 65. Condition deleted
- 66. Condition deleted
- 67. Condition deleted
- 68. Condition deleted

79

- 69. The project site lies within the Timber Branch Watershed thus stormwater quantity controls shall be designed to demonstrate that post development stormwater runoff does not exceed 90 percent of the existing runoff quantities for both the 2-year and 10-year storm events. (T&ES)
- 70. Condition deleted
- 71. Condition deleted
- 72. Condition deleted
- 73. Condition deleted
- 74. Condition deleted
- 75. The Applicant shall be responsible for maintaining storm water Best Management Practices (BMPs) until activation of the homeowner's association (HOA), if applicable, or until sale to a private owner. Prior to transferring maintenance responsibility for the BMPs to the HOA or owner, the Applicant shall execute a maintenance service contract with a qualified private contractor for a minimum of three years, and transfer the contract to the HOA or owner. A copy of the contract shall also be placed in the BMP Operation and Maintenance Manual. Prior to release of the performance bond, a copy of the maintenance contract shall be submitted to the City. (T&ES)
- 76. Due to the close proximity of the site to the Metrorail and CSX tracks the following conditions shall be included in the development requirements:
 - a. Applicant shall prepare a noise study identifying the levels of noise that residents of the project will be exposed to at the present time, and 10 years into the future in a manner consistent with the Noise Guidance Book used by the Department of Housing and Urban Development (HUD).
 - b. Identify available options to minimize noise exposure to future residents at the site, particularly in those units closest to the Metrorail and the CSX tracks, including: triple-glazing for windows, additional wall/roofing insulation, installation of resilient channels between interior gypsum board and wall studs, installation of a berm or sound wall and any other special construction methods to reduce sound transmission. If needed, the applicant shall install some combination of the above to the satisfaction of the Directors of P&Z and T&ES.
 - c. The noise study shall be submitted and approved prior to final site plan approval. (T&ES)
- 77. The Applicant shall present a disclosure statement to potential buyers disclosing the following to the satisfaction of the Director of P&Z and the City Attorney:

80

- a. That Metrorail tracks and other railway operations are located within the immediate vicinity of the project, are permitted to continue indefinitely, and will generate truck traffic, including empty garbage trucks emanating odors, on the public streets surrounding the project.
- b. That Eisenhower Avenue is a major six-lane arterial and that future traffic is expected to increase significantly as development along Eisenhower Avenue continues. (T&ES)
- 78. All exterior building mounted loudspeakers are prohibited. If a restaurant use is proposed, the use of loudspeakers or musicians outside is prohibited. If fireplaces are utilized in the development, the Applicant is required to install gas fireplaces to reduce air pollution and odors. Animal screens must be installed on chimneys. Kitchen equipment shall not be cleaned outside, nor shall any cooking residue be washed into any street, alley, or storm sewer. No material may be disposed of by venting into the atmosphere. (T&ES)
- 79. The Applicant shall control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. (T&ES)
- 80. Due to historic uses at the site and potential for contamination, the following condition shall be included:
 - a. The Applicant shall design and install a vapor barrier and ventilation system for buildings and parking areas in order to prevent the migration or accumulation of methane or other gases, or conduct a study and provide a report signed by a professional engineer showing that such measures are not required to the satisfaction of Directors of T&ES and Code Enforcement. (T&ES)
 - b. For firefighting reasons it is recommended that all stairs extend thru the roof so that door access to the roof is provided. (Code Enforcement)
 - c. The internal streets which are located over the underground parking structure shall conform to H-20 loading requirements. (Code Enforcement)
- 81. Condition deleted
- 82. Condition deleted
- 83. If units will be sold as individual units and a homeowner's association (HOA) established the following two conditions shall apply:
 - a. The Applicant shall furnish the Homeowner's Association with an Owner Operation and Maintenance Manual for all Best Management Practices (BMPs) used on site. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings

81

- and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including any mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City.
- b. The Developer shall furnish each home purchaser with a brochure describing the storm water BMP(s) installed on the site, outlining the responsibilities of the homeowners and the Homeowner's Association (HOA) with respect to maintenance requirements. Upon activation of the HOA, the Developer shall furnish five copies of the brochure per unit to the HOA for distribution to subsequent homeowners. (T&ES)
- c. Otherwise the following condition applies:
 - i. The Developer shall furnish the owners with an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) on the project. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City. (T&ES)
- 84. Condition deleted
- 85. Condition deleted
- 86. Condition deleted
- 87. Condition deleted

82

IA. LEGAL PROCEDURAL MATTERS:

- 87A: The following legal/procedural conditions apply to and be approved with all of the DSUPs as applicable:
 - 1. Existing uses and approvals on the subject property shall be allowed to continue until the redevelopment of the block pursuant to the Stage 2 DSUP and such uses and approvals shall not be invalidated by the approval of this Stage 1 DSUP. Changes in use of existing buildings shall be permitted, subject to compliance with the underlying zoning district. Nothing in the Stage 1 DSUP, the Stage 2 DSUP or any amendments thereto shall affect the vested rights status of the existing approval on

- Block numbers 6, 7, 8 and 14 (DSUP #2000-0028) (Settlement Agreement Condition #8)
- 3. The city and the applicant agree that the Stage 1 DSUP, the Stage 2 DSUP or any amendment thereto shall not include a requirement for the properties to be part of a special taxing district. (Settlement Agreement Condition #10)
- 4. The city and the applicant agree that the Stage 1 DSUP, the Stage 2 DSUP or any amendment thereto shall not include a requirement for vehicular connection between Grist Mill Place and Grist Mill Road (Settlement Agreement Condition #4)
- 5. Except as otherwise provided in Conditions #23, #25, #27 and #28 of Concept Design Plan #2005-0002, the city and the applicant agree that the Stage 1 DSUP, the Stage 2 DSUP or any amendment thereto shall not include a requirement for dedication of right of way on property that is not the subject of the DSUP and all property dedicated for right of way shall be dedicated as part of the physical redevelopment of the block where the property is located and shortly prior to the issuance of the certificate of occupancy for the first building on such block. (Settlement Agreement condition #5)
- 6. Except as otherwise provided in Conditions #27 and #30 of the Concept Design Plan (2005-0002), the city and the applicant agree that the Stage 1 DSUP, the Stage 2 DSUP or any amendment thereto shall not include a requirement for dedication of open space on property that is not the subject of the DSUP and all property dedicated for open space shall be dedicated as part of the redevelopment of the block where the property is located and prior to the issuance of the certificate of occupancy for the first building on such block.
- 7. The city and the applicant agree that changes in use or modifications to existing buildings (facades or interiors not increasing floor area) shall be authorized prior to the approval of the Stage 2 Development Special Use Permit and shall not require any dedication of right of way or open space. (Settlement Agreement Condition #5)
- 8. The city and the applicant agree that the Stage 1 DSUP, the Stage 2 DSUP or any amendment thereto shall not include a requirement for a monetary contribution to the Eisenhower East Open Space Fund. (Settlement Agreement Condition #10)
- 9. Except as otherwise provided in Conditions #25 of Concept Design Plan #2005-0002 the dedication and/or acquisition of all right-of-way required to widen Eisenhower Avenue shall only be required of/from the applicant/land owner at the time of the physical redevelopment of each block adjacent to Eisenhower Avenue pursuant to the Stage 1 DSUP, prior to the issuance of a certificate of occupancy for the first building constructed on such block.

83

- 10. Subject to the maximum parking limits contained in the Concept Plan, no parking ratios shall be applicable.
- 11. The city and the applicant agree that should the applicant need to locate a government tenant on blocks 2 and 3, such as DoD, in connection with responding to a market opportunity or relocating existing Hoffman tenants, the applicant and City will work in good faith to provide for an alternate development scheme on this site to accommodate the security needs of such tenant (Settlement Agreement Condition #7).
- 12. The city and the applicant agree that the underlying zoning on the 13.29 acre parcel owned by Hoffman Family, LLC., Tax Map #79.02-01-01, (Parcel 79.02) would provide for density at a 1.0 FAR with a site plan and exclusions from FAR for above grade parking. Development at the underlying zoning level would not require dedication or construction of areas shown as new parks and streets in the EESAP. Development at the underlying zoning level will be located so as not to preclude construction of areas shown in the EESAP as new parks and streets. Upon any adoption of a resolution by City Council authorizing the condemnation of land or buildings on Parcel 79.02 for parks or streets, this restriction precluding development on areas planned for streets and parks shall cease to be effective. Any such resolution condemning all or any portion of Parcel 79.02 and all valuation proceedings thereafter will consider Parcel 79.02 as having an underlying zoning of 1.25 FAR. Above grade parking built on this parcel would be appropriately screened by buildings or otherwise and meet any applicable design guidelines of the EESAP. (Settlement Agreement Condition #2) (PC)

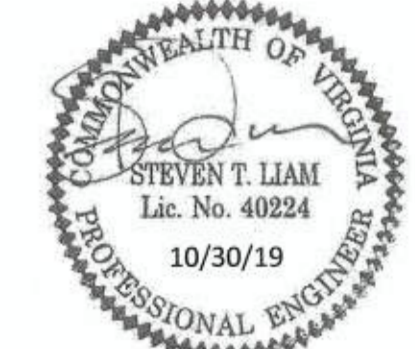
84

J. BLOCK 2 AND BLOCK 3 (DSUP #2005-0031)

Block 2

- 88. The grading on the southern portion of the site shall be as level with Eisenhower Avenue to the extent possible to provide a wide sidewalk, landscaping and open space on Eisenhower Avenue to the extent possible. (P&Z)
- 89. The sidewalk connection on Pershing Avenue on the southern portion of the block shall be extended to the west to connect with the reconfigured Telegraph Road sidewalk to the satisfaction of the Director of P&Z and T&ES as part of the Stage 2 development special use permit. (P&Z)
- 90. As part of Stage 2 DSUP submission, eliminate the "free-right" hand turn at the intersection of Pershing Avenue and Stovall Street as required by EESAP. The area gained by the elimination of the "free-right" shall be used entirely to increase the size of the adjoining park open space on Block 2. (P&Z)

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SEAL:


NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

DEVELOPMENT CONDITIONS (10 OF 11)

SHEET NAME:

APPROVED
SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
 11/6/19
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No.  11/6/19
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI
Peer Review

91. The parking structure shall be located entirely outside the right-of-way for Taylor Drive, unless a subsequent vacation of public right-of-way is approved by the Planning Commission and City Council. (P&Z)
92. Revise narrative on Infrastructure Phasing Plan to address the following:
 - a. Discuss potential utility abandonment or relocation. Note that any modification to the existing utility infrastructure shall be to the satisfaction of the Director of Transportation and Environmental Services.
 - b. Discuss when utilities will be constructed. (T&ES)
93. Stormwater Management Narrative implies that a waiver of the Stormwater Management requirements will be requested. Provide a written waiver request as outlined in Memorandum to Industry No. 2002-0001, dated January 4, 2002. (T&ES)
94. The proposed buildings are shown over existing storm drain easement. No construction will be allowed over an existing sewer line and/or easement. Clarify whether utilities will be abandoned or relocated. (T&ES)
95. The proposed buildings are shown in locations of existing utilities. Provide information regarding treatment of these utilities and Coordinate with the respective utility companies. Clarify whether utilities will be abandoned or relocated. (T&ES)
96. Provide proposed grading along sidewalks and show how the proposed grades tie into the existing grades. Ensure conformance with the ADA requirements for persons with disabilities. (T&ES)
97. Clarify how proposed 28' contour ties into the existing contour at the western side of the parking garage. The applicant shall examine the grading for the overall site as part of Stage 2 DSUP. (T&ES)
98. Provide Emergency Vehicle Easements (EVE) on the roadways between the parking structure and the highrise structures and the highrise structures and Stovall Street. (Code Enforcement)
99. The proposed parking structure is under 50 feet in height. Ladder truck access is not required. Should revisions to the design increase the height of the structure over 50 feet, ladder truck access to the 2 longest sides will be required. (Code Enforcement)

Block 3

100. An additional setback may be required on the western portion of the site to provide screening for the proposed parking structure. (P&Z)

85

101. Provide an Emergency Vehicle Easement (EVE) on the roadway between the parking structure and the highrise structure. (Code Enforcement)
102. The proposed parking structure is under 50 feet in height. Ladder truck access is not required. Should revisions to the design increase the height of the structure over 50 feet, ladder truck access to the 2 longest sides will be required. (Code Enforcement) C- 18. The internal streets which are located over the underground parking structure shall conform to H-20 loading requirements. (Code Enforcement)

K. BLOCKS 4 AND 5 (DSUP #2005-0032)

103. The open space at the southwest portion of block 5 shall be subdivided as a separate parcel. As part of the Stage 2 DSUP for Block 5, explore ways to locate some of the proposed ground level open space on the eastern portion of the block to the open space on the southwestern portion of the site to provide a larger consolidated area of open space. (P&Z)
104. As part of the submission of the Stage 2 preliminary development special use permit for Blocks 4 and 5, the applicant shall explore alternatives to minimize the presence of the proposed loading dock on the eastern portion of the block or explore alternatives to relocate the loading dock to another location-street to minimize its visibility to the satisfaction of the Director of P&Z. (P&Z)
105. The proposed buildings are shown over existing storm drain easement which is to be vacated. Clarify whether utilities will be abandoned or relocated. (T&ES)
106. Remove the existing traffic barricades shown on plan sheet #6. It appears that the barricades are to be removed. (T&ES)
107. Clearly indicate the location of existing sandfilter #1 depicted on the existing conditions plan sheet #5 on the site plan sheet #6. (T&ES)
108. The existing total site area is indicated as 7.54 ac. and the proposed total site is depicted as 6.03 ac. Provide information regarding inter parcel exchange of land and indicate where the deficit or surplus of land has been allocated. (T&ES)
109. Clearly indicate the location of existing tree pit depicted on the existing conditions plan sheet #5 on the site plan sheet #6. (T&ES)
110. Provide additional grading information regarding the existing cross walk on Mandeville Lane as part of Stage 2 DSUP and provide ADA requirements at this location. (T&ES)

86

111. The zoning tabulation provided on sheet 2 indicates that there is structured parking associated with the proposed buildings. Identify the location of such parking and if parking is contained within the buildings, provide information regarding the number of underground parking levels. (T&ES)
112. Provide Emergency Vehicle Easements (EVE) on the roadways between the Blocks 4 and 5. (Code Enforcement)
113. The roadway barricades on Mandeville Lane restrict ladder truck access to Block 4. Barricades impair ladder truck access and shall be resolved to the satisfaction of the Director of Code Enforcement prior to DSP#2 submission. (Code Enforcement)
- 113A. The building face to building face width on the north-south service drive between blocks 4 and 5 shall be a 66', however public access easement right of way shall be 54'. (PC)

L. BLOCKS 9A AND 9B (DSUP #2005-0033)

Blocks 9A and 9B

114. Clarify the location of the proposed retaining wall shown on sheet 7 is not clear. Also show grading on either side of the retaining wall. (T&ES)
115. The applicant shall underground all existing overhead utilities and all proposed utilities for the development shall be made via underground system. (T&ES)
116. The existing total site area is indicated as 4.87Ac. and the proposed total site is depicted as 4.91 Ac. Provide information regarding inter parcel exchange of land and indicate where the deficit or surplus of land has been allocated. (T&ES)
117. The zoning tabulation provided on sheet 2 indicates that there is structured parking associated with the proposed buildings. Identify the location of such parking and if parking is contained within the buildings, provide information regarding the number of underground parking levels. (T&ES)
118. The multi-level vehicle bridges which cross between buildings on lots 9A and 9B prevent ladder truck access. This issue requires resolution as part of Stage 2 DSUP submission. (Code Enforcement)

87

119. Multi-level parking garages obstruct fire access to residential, hotel and office towers. This issue requires resolution as part of Stage 2 DSUP submission. (Code Enforcement)
120. Provide Emergency Vehicle Easements (EVE) on the roadways between the parking structure and the high rise structures and the high rise structures and Stovall Street. (Code Enforcement)

Block 9A

121. Provide Emergency Vehicle Easements (EVE) on the roadways between the structures in Blocks 9A and 9B. (Code Enforcement)

Block 9B

122. The proposed elevated walkways between the buildings shall not be approved as part of this application. Any future elevated walkways will require all applicable approvals by the Planning Commission and City Council as part of subsequent approvals. (P&Z)

M. BLOCKS 11 AND 12 (DSUP # 2005-0034)

123. The design and type of screening on the southern portion of the surface parking lot on block 11 shall be submitted and approved as part of the Stage 2 development special use permit for Blocks 11 and 12. (P&Z)
124. The surface parking lot shall provide internal landscape islands consistent with the City's Landscape Guidelines, one landscape island for each eleven parking spaces. (P&Z)
125. As part of the Stage 2 development special use permit for Block 11, the applicant shall explore the possibility of locating or consolidating some of the garage and loading areas to minimize the impacts on the adjoining public streets. (P&Z)
126. The existing features shown on sheet 5 & 6 are not legible. Provide a clearer plans with future submissions. (T&ES)
127. The existing total site area is indicated as 6.42 Ac. and the proposed total site is depicted as 5.98 Ac. Provide information regarding inter parcel exchange of land and indicate where the deficit or surplus of land has been allocated. (T&ES)
128. The zoning tabulation provided on sheet 2 indicates that there is structured parking associated with the proposed buildings. Identify the location of such

88

- parking and if parking is contained within the buildings, provide information regarding how many levels of underground parking. (T&ES)
129. Minimize the amount of curb cuts for the proposed building on Block 11, which shows three proposed loading docks and two garage entrances. (T&ES)
130. Clearly indicate the treatment of existing sandfilter depicted on the existing conditions plan sheet #5, it appears that the vault would be removed. Clarify whether it will be relocated or a new one will be provided. (T&ES)

Block 11

131. Provide Emergency Vehicle Easements (EVE) on Dock, Port, Southern and Anchor Streets. (Code Enforcement)
132. Provide information on overhead power lines as to whether they will remain overhead or be undergrounded. Overhead lines in proximity to proposed location of Block 11 structure eliminates ladder truck access that cannot be considered for the South building face. (Code Enforcement)

N. BLOCKS 24 AND 25A (DSUP # 2005-0035)

133. There is a label on the existing conditions plan for Ex. 10" San. (RCD), can you clarify what this abbreviation means. (T&ES)
134. The existing features shown on sheet 5, 6 & 7 are not legible. Provide clearer plans with future submissions. (T&ES)
135. The existing total site area is indicated as 16.26 Ac. and the proposed total site is depicted as 13.29 Ac. Provide information regarding inter parcel exchange of land and indicate where the deficit or surplus of land has been allocated. (T&ES)
136. The zoning tabulation provided on sheet 2 indicates that there is structured parking associated with the proposed buildings. Identify the location of such parking and if parking is contained within the buildings, provide information regarding how many levels of underground parking. (T&ES)
137. Ensure that the drainage divides shown on sheet 13 forms a closed loop. (T&ES)
138. Clearly indicate the location of all proposed sandfilters depicted on the drainage area map sheet #13. (T&ES)

89

139. There is an existing 20' sanitary sewer easement shown in the location of the proposed building on Block 24 and 25A. Indicate whether the easement is to be vacated or relocated. (T&ES)
140. There is a 22' existing emergency easement and 10' VAWC easement shown in the location of the proposed building on Block 24 and 25A. Indicate whether the easement is to be vacated or relocated. (T&ES)
141. Provide Emergency Vehicle Easements (EVE) on the roadways between the structures in Blocks 24 and 25A. In addition, provide a fire apparatus turn around at the end of the loading access roads in both land blocks. Block 25A may substitute an access point at the end of the loading dock access road near Eisenhower Avenue in lieu of a turn around. (Code Enforcement)

Block 25A

142. Eliminate parallel service drive on the eastern portion of the property along Hoofs Run Drive and provide access directly from Hoofs Run Drive configure the street and building on the southern portion of the site to accommodate the adjoining park. (P&Z)
143. Realign the street on the southern portion of the property (Park Drive) to conform to the alignment shown in the EESAP. (P&Z)

O. BLOCK 15A (DSUP # 2018-0028)

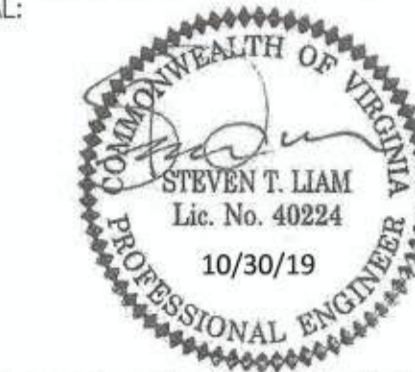
144. The structure garage parking shall be designed and constructed for possible future conversion to habitable space.
 145. The applicant will provide public access for open space purposes on parcels identified as 072.04-03-08 and 072.04-03-12. The public access will be provided through an agreement with the City consistent with Federal regulations, including but not limited to FTA Circular 5010.1E, to be mutually agreed upon by the City and WMATA and will be approved and provided prior to the release of certificate of occupancy permit for the office building.
- The public access will be for use of passive and/or active open space, entertainment and/or comparable uses for use by the public. The City and/or designee party will be responsible for the design, construction and maintenance of the open space improvements on the designated parcels. The design and construction of the open space will be reviewed by WMATA and will be subject to all applicable WMATA standards and requirements. (P&Z, RPCA)

90

DESIGN ENGINEER / SURVEYOR

Bowman CONSULTING

Bowman Consulting Group, Ltd.
13461 Sunrise Valley Drive, Suite 500
Herndon, Virginia 20171
www.bowmanconsulting.com
Phone: (703) 464-1000
Fax: (703) 481-9720



REVISION APPROVED BY		DATE	
NO.	DESCRIPTION	DATE	APPROVED

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: DEVELOPMENT CONDITIONS (11 OF 11)

APPROVED
SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

[Signature] DIRECTOR DATE 11/6/19
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

[Signature] CHAIRMAN, PLANNING COMMISSION DATE 11/6/19

DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

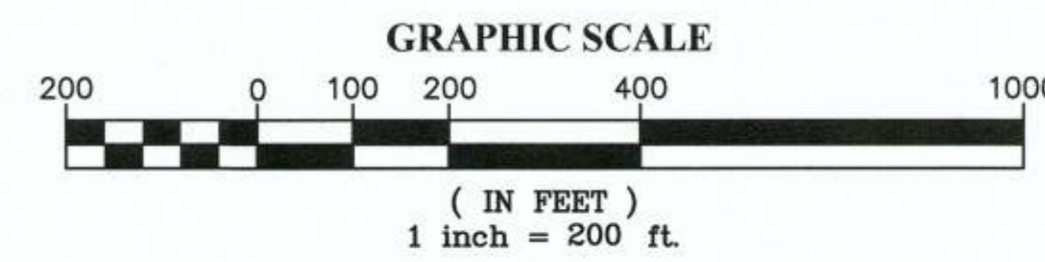
ESI Peer Review

ADJACENT OWNER INFORMATION
(CITY OF ALEXANDRIA DATA, 01/24/2018)

1. EXTRA SPACE PROPERTIES 102 LLC
100 TELEGRAPH ROAD
ALEXANDRIA, VA
T.M. 072.02-01-02
ZONE: OCM (50) USE: COMMERCIAL BUILDING
2. DOVE STREET HOLDINGS LLC
25 DOVE STREET
ALEXANDRIA, VA
T.M. 072.02-01-03
ZONE: OCM (50) USE: COMMERCIAL BUILDING
3. MII LLC
2438 DUKE STREET
ALEXANDRIA, VA
T.M. 072.02-01-04
ZONE: OCM (50) USE: VACANT LAND COMMERCIAL
4. MII LLC
20 DOVE STREET
ALEXANDRIA, VA
T.M. 072.02-01-05
ZONE: OCM (50) USE: AUTOMOTIVE CENTER
5. DAREZZO REAL ESTATE NO 1 LLC
26 DOVE STREET
ALEXANDRIA, VA
T.M. 072.02-01-06
ZONE: OCM (50) USE: AUTO SALES
6. AITCHESON REAL ESTATE INC
100 DOVE STREET
ALEXANDRIA, VA
T.M. 072.02-01-07
ZONE: OCM (50) USE: DISTRIBUTION WAREHOUSE
7. AITCHESON REAL ESTATE INC
2412 DUKE STREET
ALEXANDRIA, VA
T.M. 072.02-01-08
ZONE: OCM (50) USE: VACANT LAND/COMMERCIAL
8. 2350 DUKE STREET ASSOCIATES, LC
2387 DUKE STREET
ALEXANDRIA, VA
T.M. 072.02-01-09
ZONE: OCM (50) USE: COMMERCIAL WAREHOUSE
9. 2350 DUKE STREET ASSOCIATES, LC
2350 DUKE STREET
ALEXANDRIA, VA
T.M. 072.02-01-10
ZONE: OCM (50) USE: COMMERCIAL WAREHOUSE
10. J.T. MARTYN JR. AND E.F. CANNON
2324 DUKE STREET
ALEXANDRIA, VA
T.M. 072.02-01-13
ZONE: OCM (50) USE: AUTOMOTIVE CENTER
11. UNITED STATES POSTAL SERVICE
2226 DUKE STREET
ALEXANDRIA, VA
T.M. 072.02-01-14.C
ZONE: OCM (50) USE: U.S. POST OFFICE
12. WASHINGTON METRO AREA TRANSIT AUTHORITY (WMATA)
108 TELEGRAPH ROAD
ALEXANDRIA, VA
T.M. 071.02-02-01
ZONE: UT USE: WMATA
13. CITY OF ALEXANDRIA
2355 MILL ROAD
ALEXANDRIA, VA
T.M. 072.02-02-10
ZONE: OCM (100) USE: CITY GOVERNMENT BUILDINGS
14. WASHINGTON METRO AREA TRANSIT AUTHORITY (WMATA)
2393 MILL ROAD
ALEXANDRIA, VA
T.M. 072.02-02-19
ZONE: UT USE: WMATA TRACKS
15. WASHINGTON METRO AREA TRANSIT AUTHORITY (WMATA)
2365 MILL ROAD
ALEXANDRIA, VA
T.M. 072.04-02-20
ZONE: UT USE: WMATA TRACKS
16. MHF ALEXANDRIA V LLC
2345 MILL ROAD
ALEXANDRIA, VA
T.M. 072.04-02-19
ZONE: CDD-2 USE: EXTENDED STAY HOTEL
17. HOFFMAN FAMILY, LLC
2425 MILL ROAD
ALEXANDRIA, VA
T.M. 072.02-02-12
ZONE: CDD-2 USE: VACANT LAND COMMERCIAL
18. HOFFMAN BUILDING II, LLC
2460 MILL ROAD
ALEXANDRIA, VA
T.M. 072.04-03-28
ZONE: CDD-2 USE: SURFACE PARKING/COMMERCIAL
19. HOFFMAN FAMILY, LLC
2410 MILL ROAD
ALEXANDRIA, VA
T.M. 072.04-03-25
ZONE: CDD-2 USE: SURFACE PARKING/COMMERCIAL
20. TOWN CENTER GARAGE, LLC
2380 MILL ROAD
ALEXANDRIA, VA
T.M. 072.04-03-26
ZONE: CDD-2 USE: TOWN CENTER GARAGE
21. CARLYLE OVERLOOK, LLC
2318 MILL ROAD
ALEXANDRIA, VA
T.M. 072.04-0A-00
ZONE: CDD-2 USE: OFFICIAL BUILDING/RETAIL
22. CARLYLE PLACE ASSOCIATES LLC
2251 EISENHOWER AVENUE
ALEXANDRIA, VA
T.M. 072.04-03-21
ZONE: CDD-2 USE: HI-RISE RESIDENTIAL
23. EISENHOWER RESIDENTIAL LP
2351 EISENHOWER AVENUE
ALEXANDRIA, VA
T.M. 072.04-03-23
ZONE: CDD-2 USE: HI-RISE RESIDENTIAL
24. USGBF NSF LLC
2415 EISENHOWER AVENUE
ALEXANDRIA, VA
T.M. 072.04-03-27
ZONE: CDD-2 USE: OFFICE BUILDING
25. HOFFMAN FAMILY, LLC
206 SWAMP FOX ROAD
ALEXANDRIA, VA
T.M. 072.04-03-19
ZONE: CDD-2 USE: AMC HOFFMAN CENTER 22
THEATER & SURFACE PARKING
26. HOFFMAN BUILDING II LLC
200 STOVALL STREET
ALEXANDRIA, VA
T.M. 072.04-03-29
ZONE: CDD-2 USE: OFFICE BUILDING/SURFACE PARKING
27. 2461 EISENHOWER ACQUISITIONS LLC
2461 EISENHOWER AVENUE
ALEXANDRIA, VA
T.M. 072.04-03-30
ZONE: CDD-2 USE: OFFICE BUILDING/SURFACE PARKING
28. HOFFMAN FAMILY LLC
315 STOVALL STREET
ALEXANDRIA, VA
T.M. 072.04-0A-08
ZONE: CDD-2 USE: VACANT/SURFACE PARKING
29. HOFFMAN MANAGEMENT INC
312 TAYLOR DRIVE
ALEXANDRIA, VA
T.M. 072.03-04-09
ZONE: CDD-2 USE: VACANT LAND/COMMERCIAL



 CDD #2 AREAS



DESIGN ENGINEER / SURVEYOR

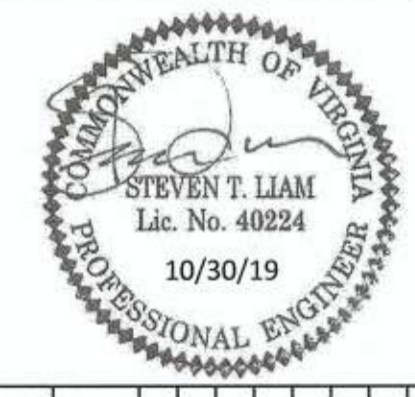
Bowman CONSULTING
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13461 Sunrise Valley Drive, Suite 500
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www.bowmanconsulting.com

Phone: (703) 464-1000
Fax: (703) 461-9720

SCALE: 1"=200'
DATE: OCTOBER, 2019
DRAWN: CA

DATE	DESCRIPTION	DATE	PLAN STATUS
10/30/19	FINAL SUBMISSION		

SEAL:



NO.	DESCRIPTION	DATE	REV.	BY	APPROVED	DATE

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: CONTEXTUAL PLAN

APPROVED
SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

Attanulla Fore KM 11/6/19
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. _____

Abel 11/6/19
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

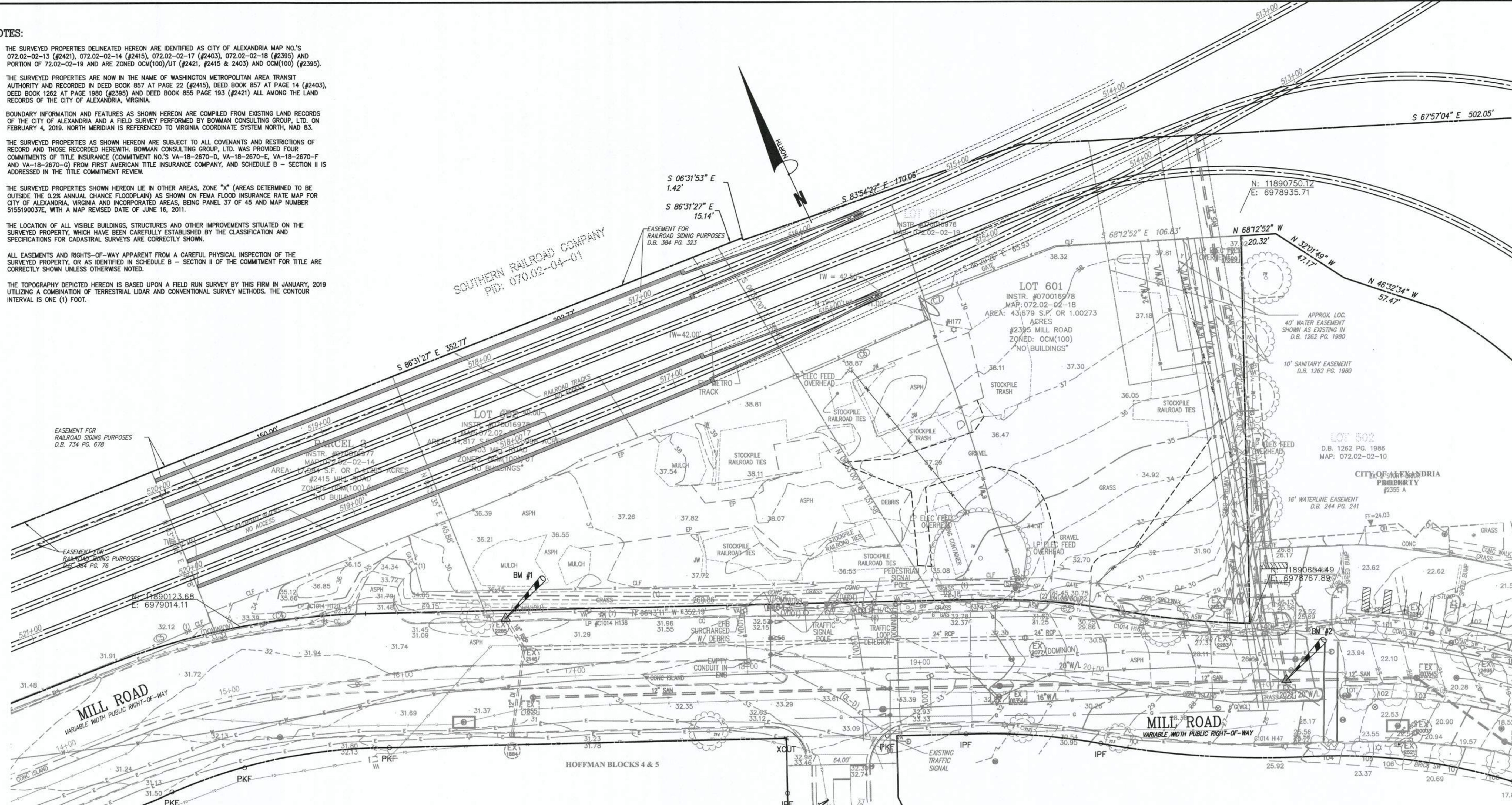
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

NOTES:

- THE SURVEYED PROPERTIES DELINEATED HEREON ARE IDENTIFIED AS CITY OF ALEXANDRIA MAP NO.'S 072.02-02-13 (#2421), 072.02-02-14 (#2415), 072.02-02-17 (#2403), 072.02-02-18 (#2395) AND PORTION OF 72.02-02-19 AND ARE ZONED OCM(100)/UT (#2421, #2415 & 2403) AND OCM(100) (#2395).
- THE SURVEYED PROPERTIES ARE NOW IN THE NAME OF WASHINGTON METROPOLITAN AREA TRANSIT AUTHORITY AND RECORDED IN DEED BOOK 857 AT PAGE 22 (#2415), DEED BOOK 857 AT PAGE 14 (#2403), DEED BOOK 1282 AT PAGE 1980 (#2395) AND DEED BOOK 855 PAGE 193 (#2421) ALL AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.
- BOUNDARY INFORMATION AND FEATURES AS SHOWN HEREON ARE COMPILED FROM EXISTING LAND RECORDS OF THE CITY OF ALEXANDRIA AND A FIELD SURVEY PERFORMED BY BOWMAN CONSULTING GROUP, LTD. ON FEBRUARY 4, 2019. NORTH MERIDIAN IS REFERENCED TO VIRGINIA COORDINATE SYSTEM NORTH, NAD 83.
- THE SURVEYED PROPERTIES AS SHOWN HEREON ARE SUBJECT TO ALL COVENANTS AND RESTRICTIONS OF RECORD AND THOSE RECORDED HERewith. BOWMAN CONSULTING GROUP, LTD. WAS PROVIDED FOUR COMMITMENTS OF TITLE INSURANCE (COMMITMENT NO.'S VA-18-2670-D, VA-18-2670-E, VA-18-2670-F AND VA-18-2670-G) FROM FIRST AMERICAN TITLE INSURANCE COMPANY, AND SCHEDULE B - SECTION II IS ADDRESSED IN THE TITLE COMMITMENT REVIEW.
- THE SURVEYED PROPERTIES SHOWN HEREON LIE IN OTHER AREAS, ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP FOR CITY OF ALEXANDRIA, VIRGINIA AND INCORPORATED AREAS, BEING PANEL 37 OF 45 AND MAP NUMBER 5155190037E, WITH A MAP REVISED DATE OF JUNE 16, 2011.
- THE LOCATION OF ALL VISIBLE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SURVEYED PROPERTY, WHICH HAVE BEEN CAREFULLY ESTABLISHED BY THE CLASSIFICATION AND SPECIFICATIONS FOR CADASTRAL SURVEYS ARE CORRECTLY SHOWN.
- ALL EASEMENTS AND RIGHTS-OF-WAY APPARENT FROM A CAREFUL PHYSICAL INSPECTION OF THE SURVEYED PROPERTY, OR AS IDENTIFIED IN SCHEDULE B - SECTION II OF THE COMMITMENT FOR TITLE ARE CORRECTLY SHOWN UNLESS OTHERWISE NOTED.
- THE TOPOGRAPHY DEPICTED HEREON IS BASED UPON A FIELD RUN SURVEY BY THIS FIRM IN JANUARY, 2019 UTILIZING A COMBINATION OF TERRESTRIAL LIDAR AND CONVENTIONAL SURVEY METHODS. THE CONTOUR INTERVAL IS ONE (1) FOOT.

SOUTHERN RAILROAD COMPANY
PID: 070.02-04-01



STORM TABLE

EX 1933 TOP=28.77 INV=21.85 (18" RCP FRM #1934) INV=23.11 (RECESSED TO UNK)	EX 2145 TOP=31.15 INV=23.85 (18" RCP FRM #2285) INV=23.75 (12" DI FRM #1884) INV=23.65 (12" DI FRM #1884) INV=23.69 (24" RCP TO #2077)	EX 2072 TOP=29.25 INV=24.52 (18" RCP FRM #2255) INV=24.55 (18" RCP FRM #1900) INV=24.50 (24" RCP TO #1934)	EX 2284 TOP=29.25 INV=25.60 (18" RCP TO #1924)	EX 2285 TOP=29.20 INV=25.10 (15" RCP FRM #2287) INV=25.00 (18" RCP FRM #1924) INV=24.95 (18" RCP TO UNK)	EX 2287 TOP=29.66 INV=25.36 (15" RCP FRM #2288) INV=27.06 (12" DI FRM UNK) INV=25.26 (15" RCP TO #2255)	EX 1884 TOP=30.35 INV=26.30 (12" DI TO #2145) INV=26.25 (12" DI TO #2145)
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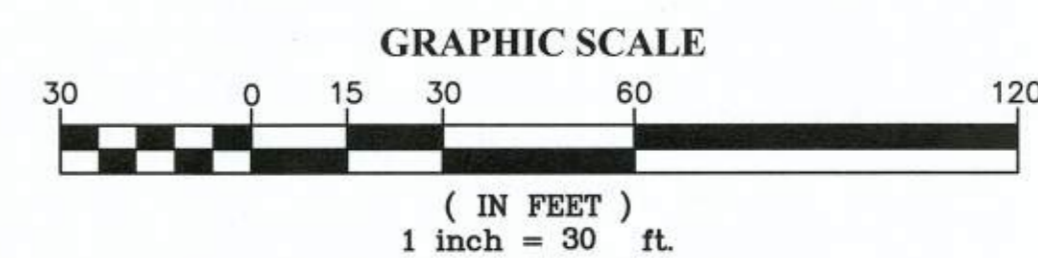
SANITARY TABLE

EX 1855 TOP=31.50 INV=21.85 (12" PVC FRM UNK) INV=21.80 (12" PVC TO #003544)	EX 003544 TOP=32.78 INV=20.78 (12" PVC FRM #1855) INV=20.68 (12" PVC TO #2072)	EX 007928 TOP=25.78 INV=16.88 (12" RCP FRM #1599) INV=15.88 (12" PVC FRM #003544) INV=15.28 (12" PVC TO #003545)	EX 007936 TOP=17.01 INV=5.42 (12" PVC FRM #007930) INV=4.80 (24" RCP FRM UNK) INV=4.72 (24" RCP TO #007929)	EX 007930 TOP=18.45 INV=5.83 (12" PVC FRM #2296) INV=5.75 (12" PVC TO #007936)	EX 2296 TOP=18.52 INV=5.94 (12" PVC FRM #2293) INV=6.03 (12" PVC TO #007930)	EX 2293 TOP=13.97 INV=6.40 (12" PVC FRM #2292) INV=6.27 (12" PVC TO #2296)	EX 2291 TOP=15.74 INV=6.88 (12" PVC FRM #2291) INV=6.74 (12" PVC TO #2293)	EX 007962 TOP=16.43 INV=3.45 (24" RCP FRM #007927) INV=3.28 (24" RCP TO #007962)	EX 007927 TOP=17.86 INV=3.63 (24" RCP FRM #007934) INV=3.55 (24" RCP TO #007926)	EX 007934 TOP=17.43 INV=3.77 (24" RCP FRM #007935) INV=3.75 (24" RCP TO #007927)
---------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	73.45'	461.00'	9°07'44"	N 59°26'42" W	73.37'
C2	87.87'	444.00'	11°20'21"	N 60°33'01" W	87.73'
C3	155.66'	440.00'	20°16'13"	N 76°21'18" W	154.85'
C4	87.96'	440.00'	11°27'14"	N 71°56'48" W	87.81'
C5	67.70'	440.00'	8°48'59"	N 82°04'55" W	67.64'
C6	82.89'	3050.00'	1°33'26"	S 88°44'59" E	82.89'
C7	19.37'	3039.00'	0°21'55"	S 89°42'33" E	19.37'
C8	234.41'	250.00'	53°43'25"	N 09°22'25" W	225.92'

ARCHAEOLOGY NOTES

- THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, FRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.



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www.bowmanconsulting.com

SEAL:
STEVEN T. LIAM
Lic. No. 40224
10/30/19
PROFESSIONAL ENGINEER

NO.	DESCRIPTION	DATE	REV. BY	APPROVED

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

EXISTING CONDITIONS

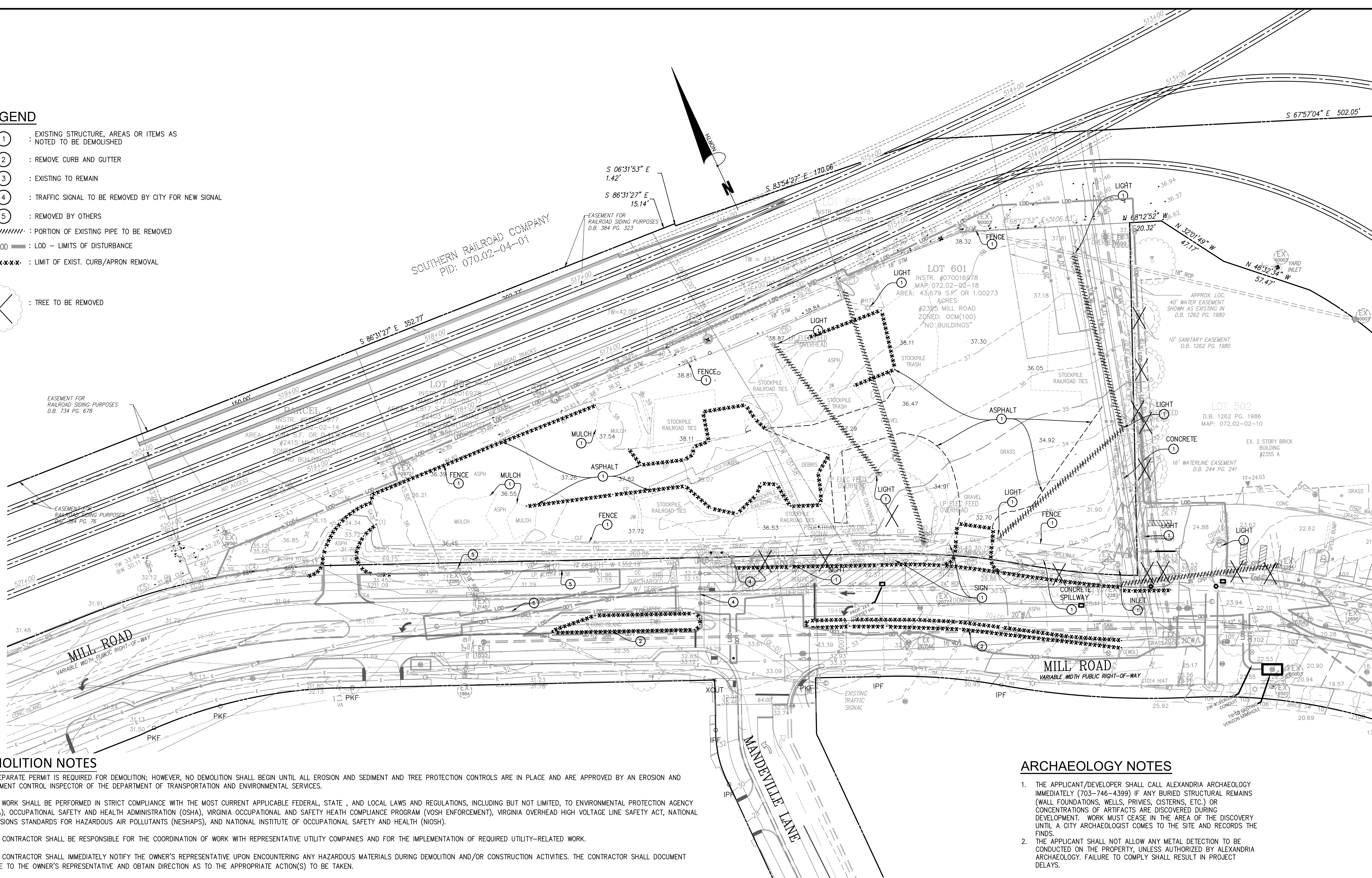
SHEET NAME:

APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
DIRECTOR
CHAIRMAN, PLANNING COMMISSION
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review

LEGEND

- ① : EXISTING STRUCTURE, AREAS OR ITEMS AS NOTED TO BE DEMOLISHED
- ② : REMOVE CURB AND GUTTER
- ③ : EXISTING TO REMAIN
- ④ : TRAFFIC SIGNAL TO BE REMOVED BY CITY FOR NEW SIGNAL
- ⑤ : REMOVED BY OTHERS
- : PORTION OF EXISTING PIPE TO BE REMOVED
- LOD --- : LOD - LIMITS OF DISTURBANCE
- ***** : LIMIT OF EXIST. CURB/APRON REMOVAL
- ⊗ : TREE TO BE REMOVED



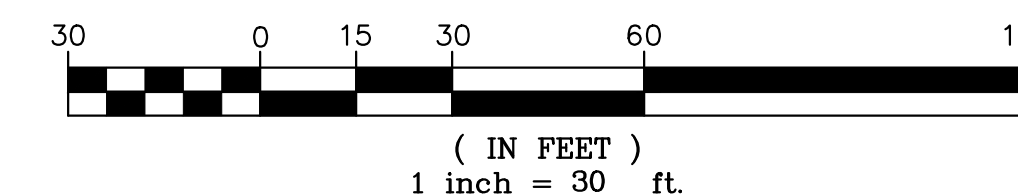
DEMOLITION NOTES

- A SEPARATE PERMIT IS REQUIRED FOR DEMOLITION; HOWEVER, NO DEMOLITION SHALL BEGIN UNTIL ALL EROSION AND SEDIMENT AND TREE PROTECTION CONTROLS ARE IN PLACE AND ARE APPROVED BY AN EROSION AND SEDIMENT CONTROL INSPECTOR OF THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED, TO ENVIRONMENTAL PROTECTION AGENCY (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT, NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHAPS), AND NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEALTH (NIOSH).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PURVEYORS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
- PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- THE CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH APPROVED MATERIALS / CLEAN FILL AS PER THE REQUIREMENTS OF VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT).
- THE CONTRACTOR SHALL PROTECT AND PREVENT DAMAGE TO EXISTING ON-SITE UTILITY DISTRIBUTION FACILITIES THAT ARE TO REMAIN. ACTIVE UTILITY DISTRIBUTION FACILITIES ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE SHUT OFF AT THE SERVICE MAIN WITH THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT THE SAME AND FORWARD THE INFORMATION TO THE RESIDENT ENGINEER / OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- THE CONTRACTOR SHALL COORDINATE WITH WMATA STAFF REGARDING DISPOSAL OF EXISTING MATERIAL ONSITE OR POSSIBLE REUSE IN THE PROJECT OR SALVAGE OFFSITE. STATE ALL ONSITE MATERIALS IS TO BE REMOVED WITHIN THE LOD; IF NOT THE CASE, IDENTIFY SPECIFIC ITEMS TO BE REMOVED OR REMAIN (I.E. RAIL TIES, SHIPPING CONTAINERS, ETC.).
- ALL WELLS TO BE DEMOLISHED IN THIS PROJECT, INCLUDING MONITORING WELLS MUST BE CLOSED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS. CONTACT ENVIRONMENTAL HEALTH SPECIALIST AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-838-4400 EXT 267/255.

ARCHAEOLOGY NOTES

- THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

GRAPHIC SCALE



Bowman CONSULTING
 DESIGN ENGINEER / SURVEYOR
 Bowman Consulting Group, Ltd.
 13461 Sunrise Valley Drive, Suite 500
 Herndon, Virginia 20171
 Phone: (703) 464-1000
 Fax: (703) 461-9720
 www.bowmanconsulting.com

SEAL:

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE
1	EAST TRANSFORMER YARD	02/06/2020	STL/CITY OF ALEXANDRIA	02/07/2020
2	STORM SEWER REVISION	02/06/2020	STL/CITY OF ALEXANDRIA	02/07/2020

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: DEMOLITION PLAN

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

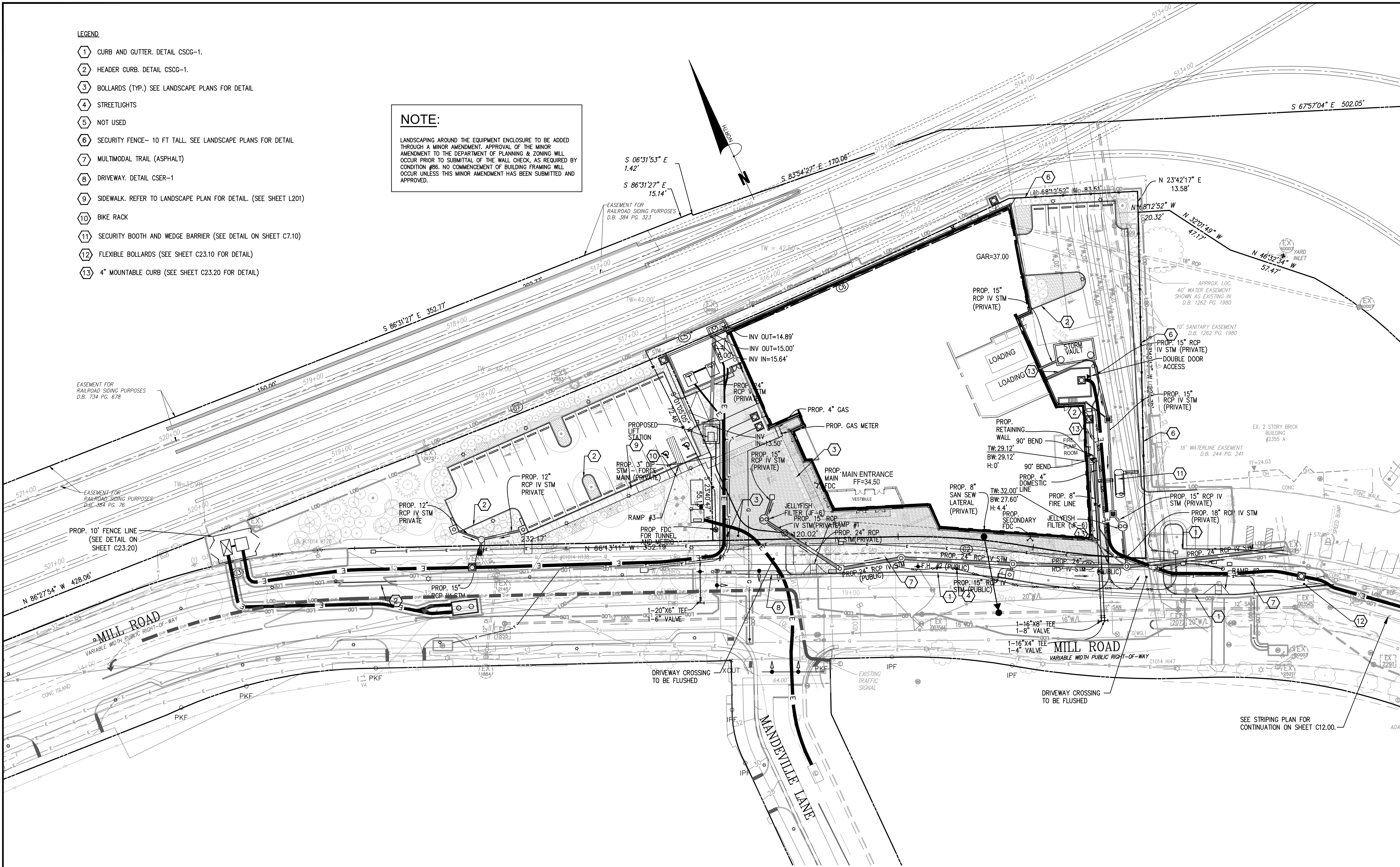
DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. 3.26.20
 DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

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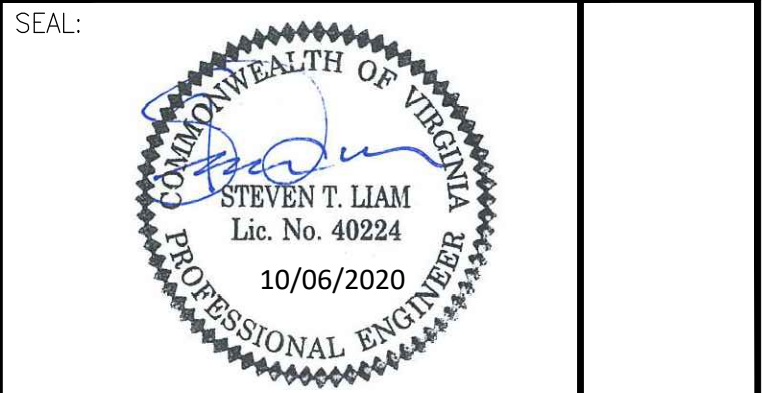
- LEGEND:**
- 1 CURB AND GUTTER. DETAIL CSCG-1.
 - 2 HEADER CURB. DETAIL CSCG-1.
 - 3 BOLLARDS (TYP.) SEE LANDSCAPE PLANS FOR DETAIL
 - 4 STREETLIGHTS
 - 5 NOT USED
 - 6 SECURITY FENCE- 10 FT TALL. SEE LANDSCAPE PLANS FOR DETAIL
 - 7 MULTIMODAL TRAIL (ASPHALT)
 - 8 DRIVEWAY. DETAIL CSER-1
 - 9 SIDEWALK. REFER TO LANDSCAPE PLAN FOR DETAIL. (SEE SHEET L201)
 - 10 BIKE RACK
 - 11 SECURITY BOOTH AND WEDGE BARRIER (SEE DETAIL ON SHEET C7.10)
 - 12 FLEXIBLE BOLLARDS (SEE SHEET C23.10 FOR DETAIL)
 - 13 4" MOUNTABLE CURB (SEE SHEET C23.20 FOR DETAIL)

NOTE:
 LANDSCAPING AROUND THE EQUIPMENT ENCLOSURE TO BE ADDED THROUGH A MINOR AMENDMENT. APPROVAL OF THE MINOR AMENDMENT TO THE DEPARTMENT OF PLANNING & ZONING WILL OCCUR PRIOR TO SUBMITTAL OF THE WALL CHECK, AS REQUIRED BY CONDITION #86. NO COMMENCEMENT OF BUILDING FRAMING WILL OCCUR UNLESS THIS MINOR AMENDMENT HAS BEEN SUBMITTED AND APPROVED.



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 www.bowmanconsulting.com

DATE: SEPTEMBER, 2020
 PLAN STATUS: DRAIN: CA
 SCALE: 1"=30'



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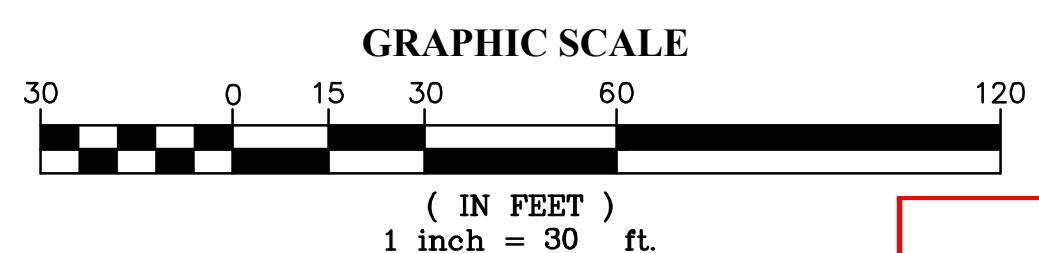
NO.	DESCRIPTION	DATE	APPROVED
1	EAST TRANSFORMER YARD	07/06/2020	STL/24 CITY OF ALEXANDRIA
2	STORM SEWER REVISION	07/06/2020	STL/24 CITY OF ALEXANDRIA
3	PHONOLITHIC SIGNAGE	06/19/2020	
4	DRY UTILITY PLAN	10/06/2020	

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: FINAL DEVELOPMENT SITE PLAN

ARCHAEOLOGY NOTES

- THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

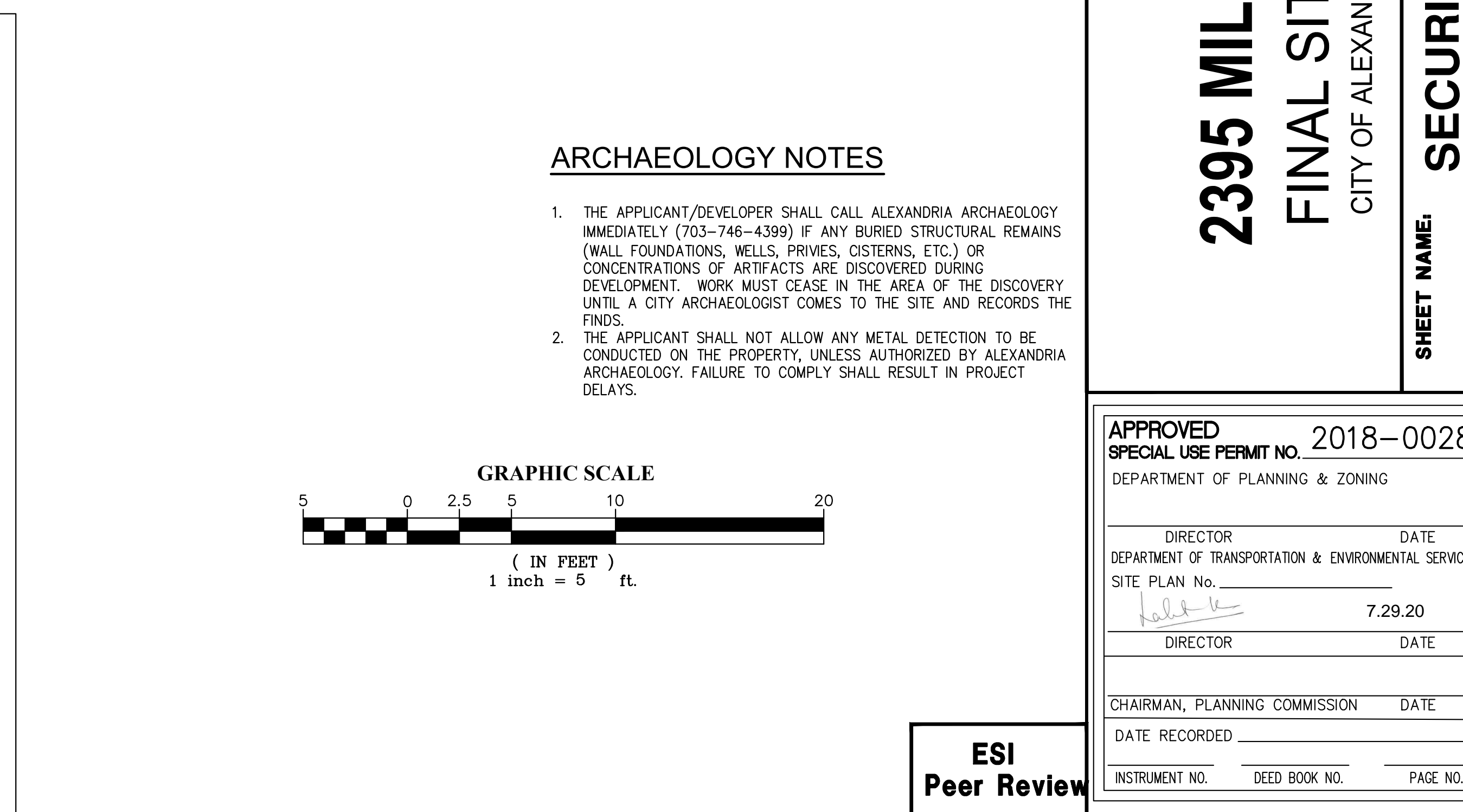
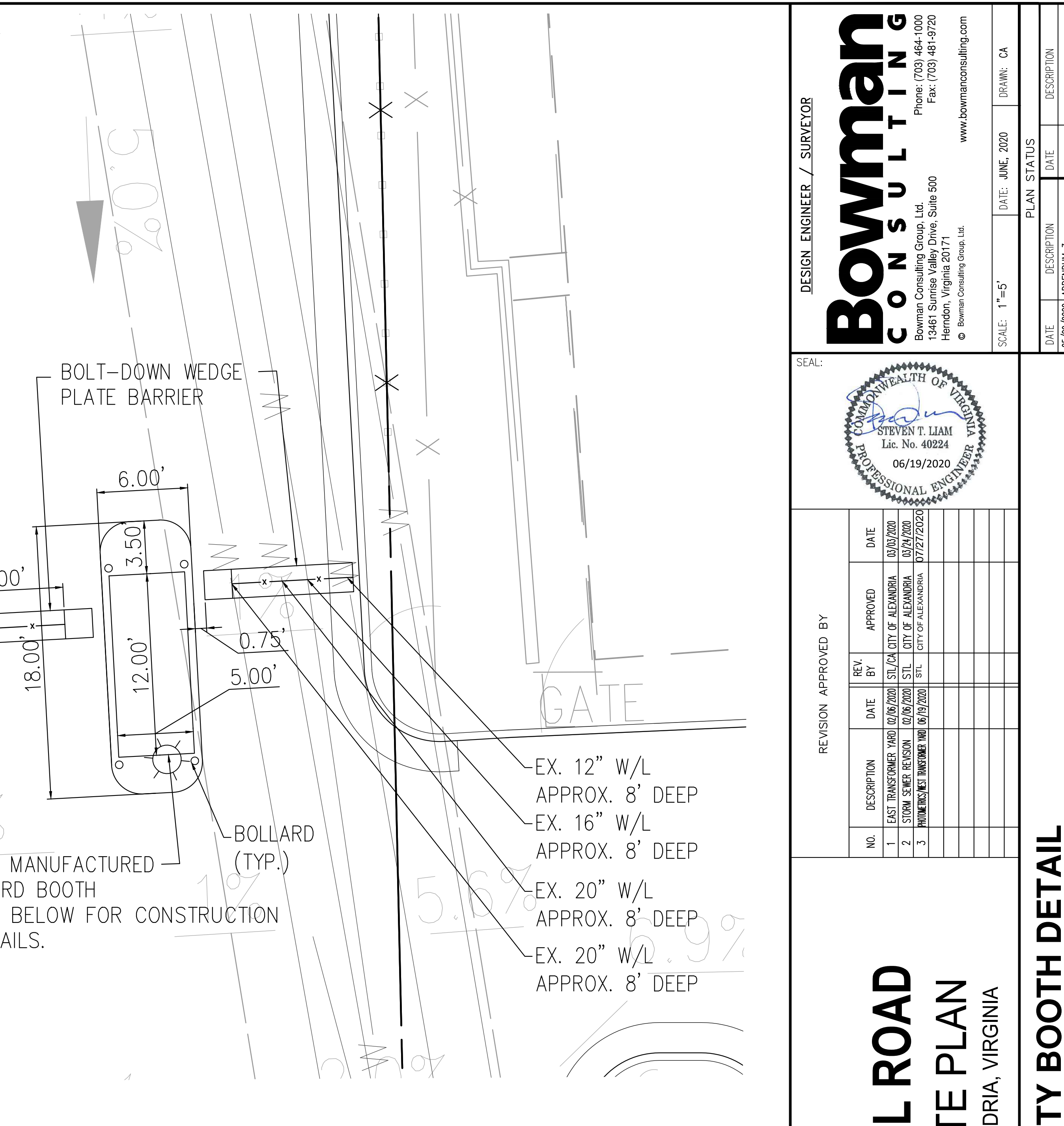
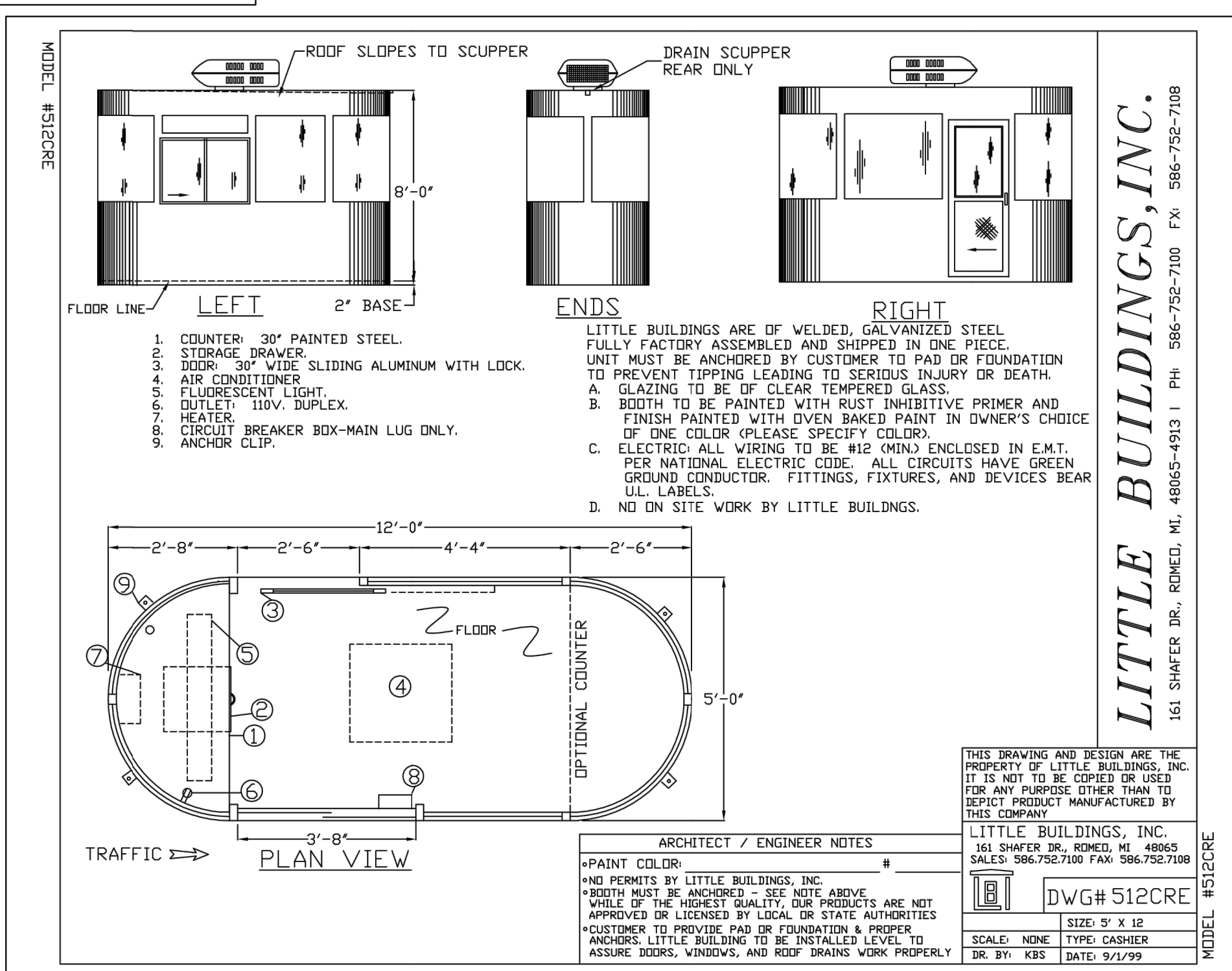
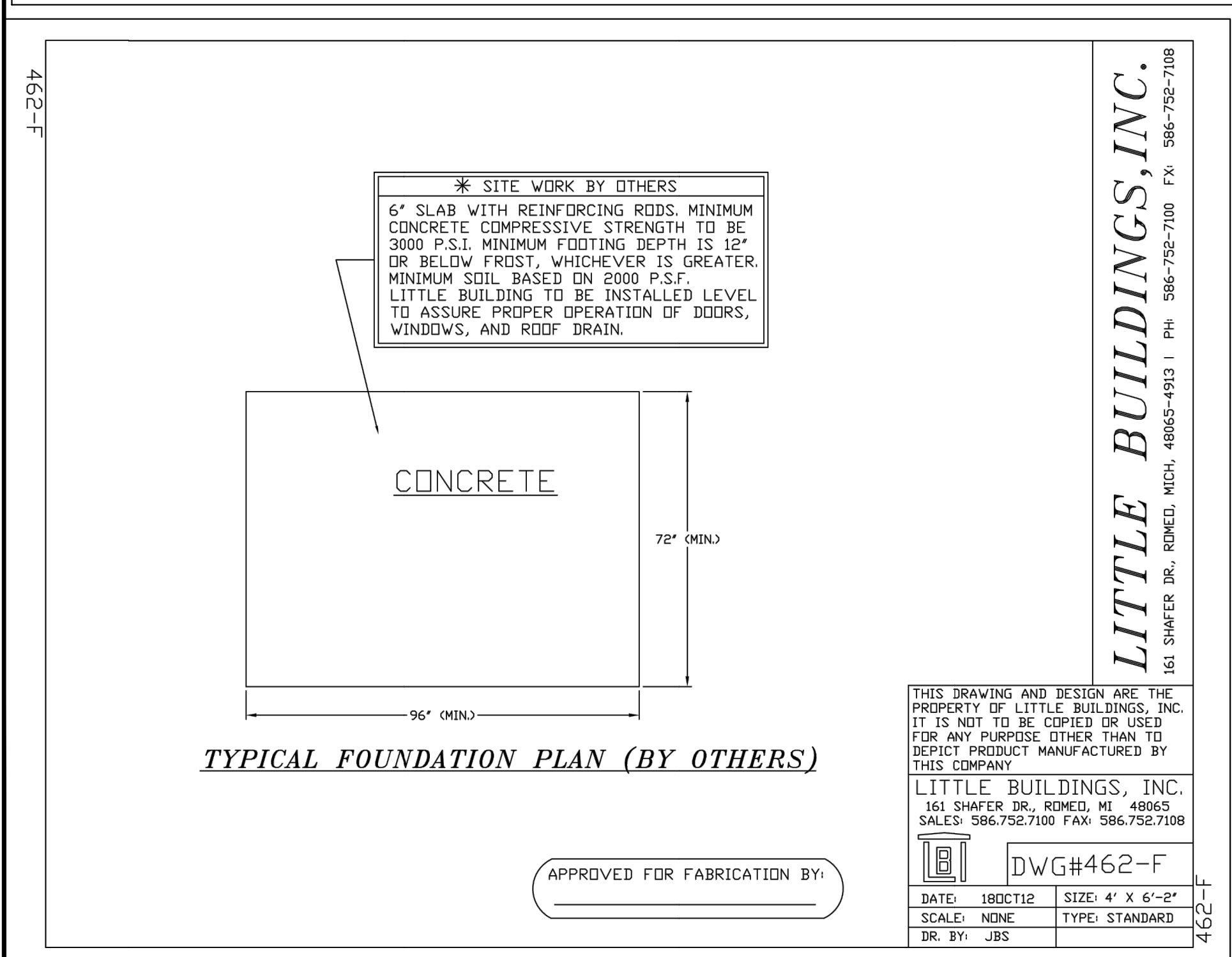
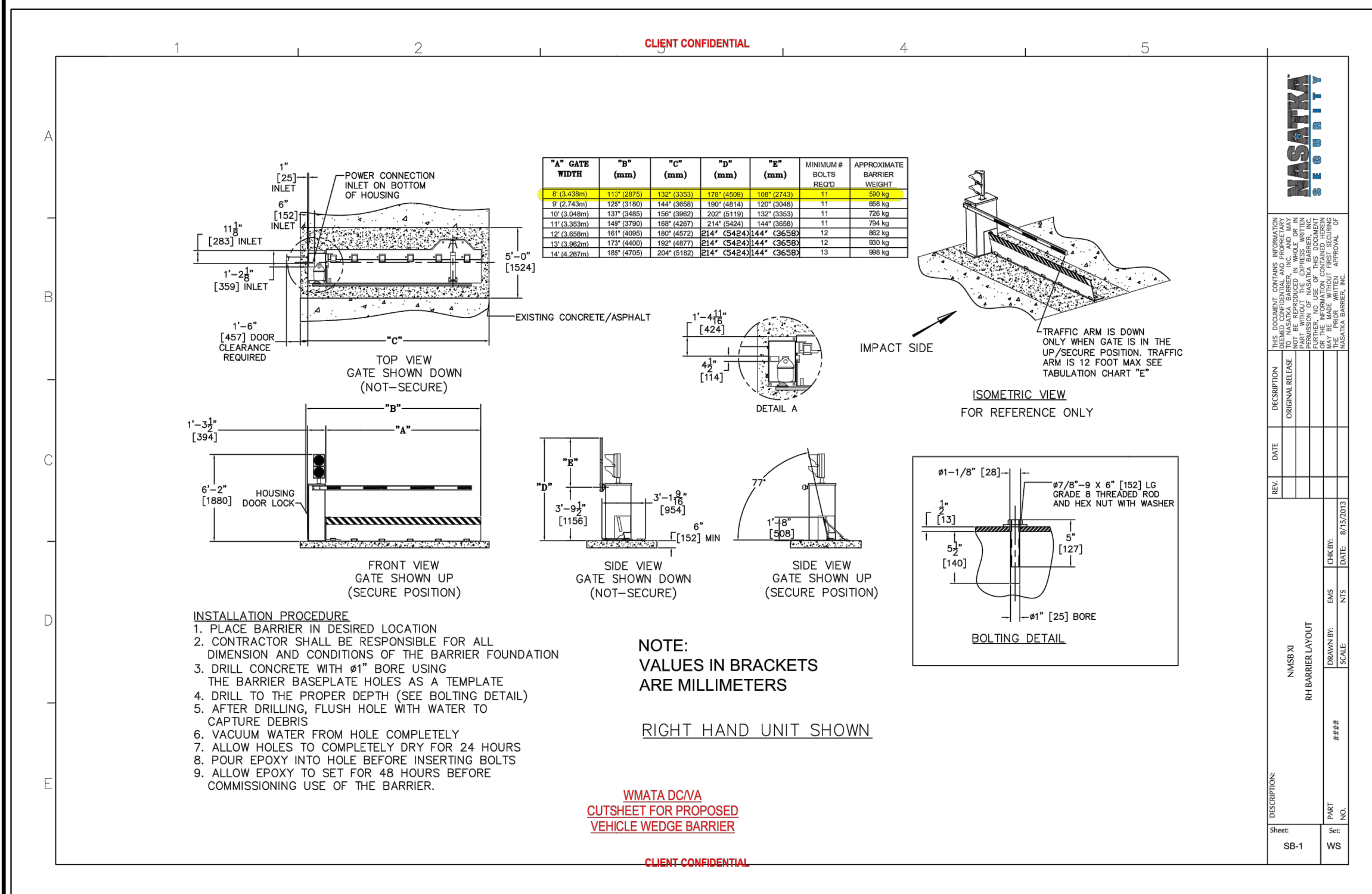
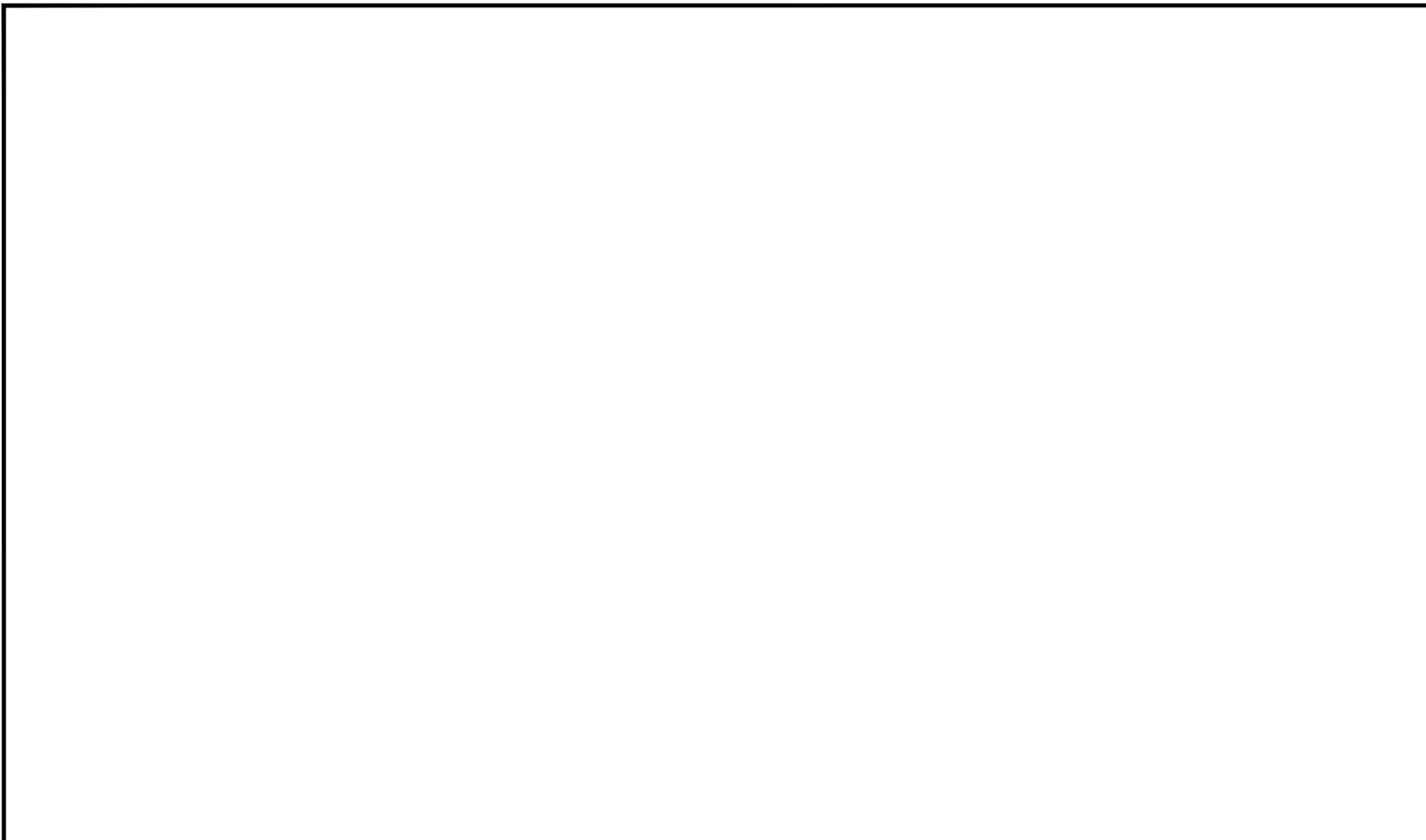


RELEASED
 TRANSPORTATION & ENVIRONMENTAL SERVICES
 BRIAN DOFFLEMYER
 DEVELOPMENT REVIEW MANAGER
 DATE: 10/23/2020
 STAFF: navdeep.kaur

ESI
Peer Review

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE	
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION	DATE	
DATE RECORDED		
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.



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Fax: (703) 461-1920

SCALE: 1"=5'
DATE: JUNE, 2020
DRAWN: CA

PLAN STATUS: DATE DESCRIPTION
05/29/2020 ADDENDUM 3
06/19/2020 ADDENDUM 4

SEAL:

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE
1	EAST TRANSFORMER YARD	02/06/2020	STL/CITY OF ALEXANDRIA	03/02/2020
2	STATION NUMBER REVISION	02/06/2020	STL/CITY OF ALEXANDRIA	03/02/2020
3	PHILADELPHIA TRUCKING YARD	06/19/2020	STL/CITY OF ALEXANDRIA	07/27/2020

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SECURITY BOOTH DETAIL

SHEET NAME: SECURITY BOOTH DETAIL

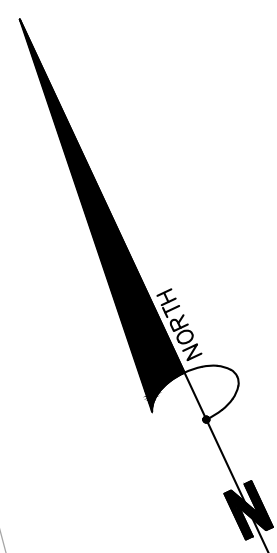
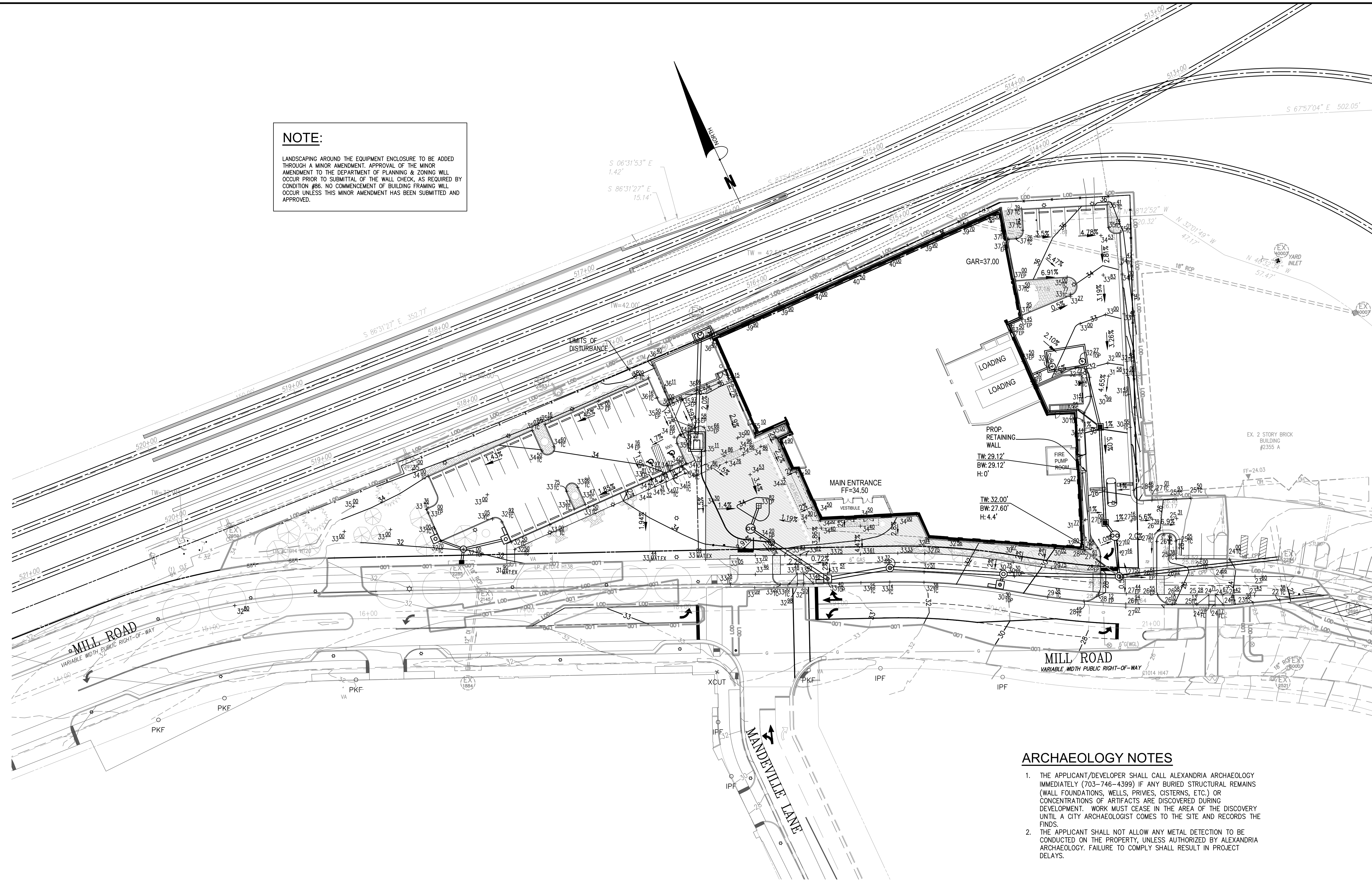
APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 7.29.20
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

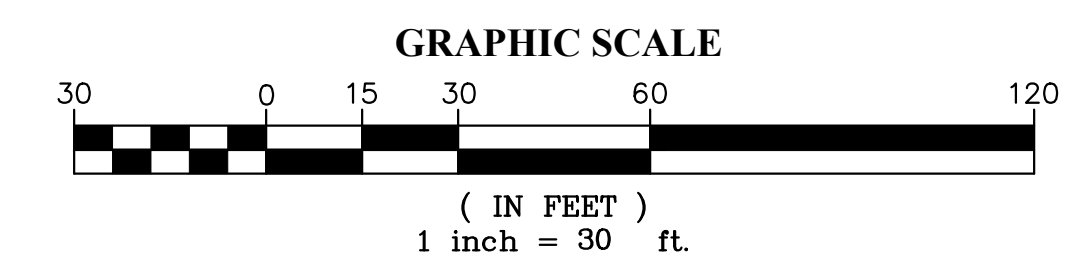
ESI Peer Review

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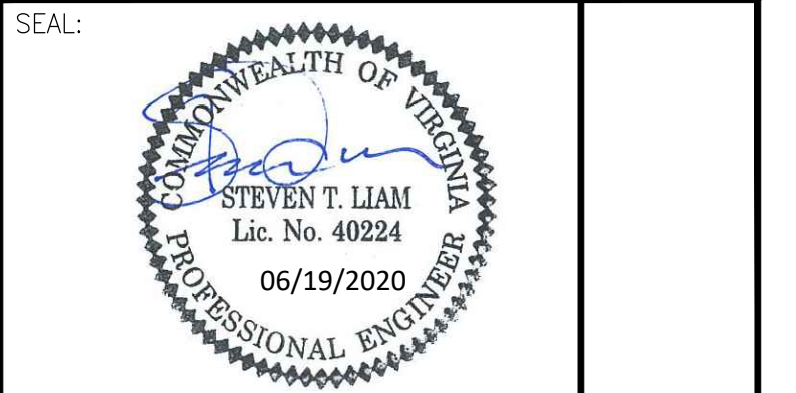
ARCHAEOLOGY NOTES

1. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
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SCALE: 1"=30'
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 DRAWN: CA
 PLAN STATUS: DATE DESCRIPTION DATE DESCRIPTION
 05/29/2020 ADDENDUM 3
 06/19/2020 ADDENDUM 4



REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE
1	EAST TRANSFORMER YARD	02/06/2020	STELLA CITY OF ALEXANDRIA	02/07/2020
2	SOUTH SIDE REVISION	02/06/2020	STELLA CITY OF ALEXANDRIA	02/07/2020
3	PHOTOMOUNTS UNIFORMITY	06/19/2020	STELLA CITY OF ALEXANDRIA	07/27/2020

**2395 MILL ROAD
 FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA**

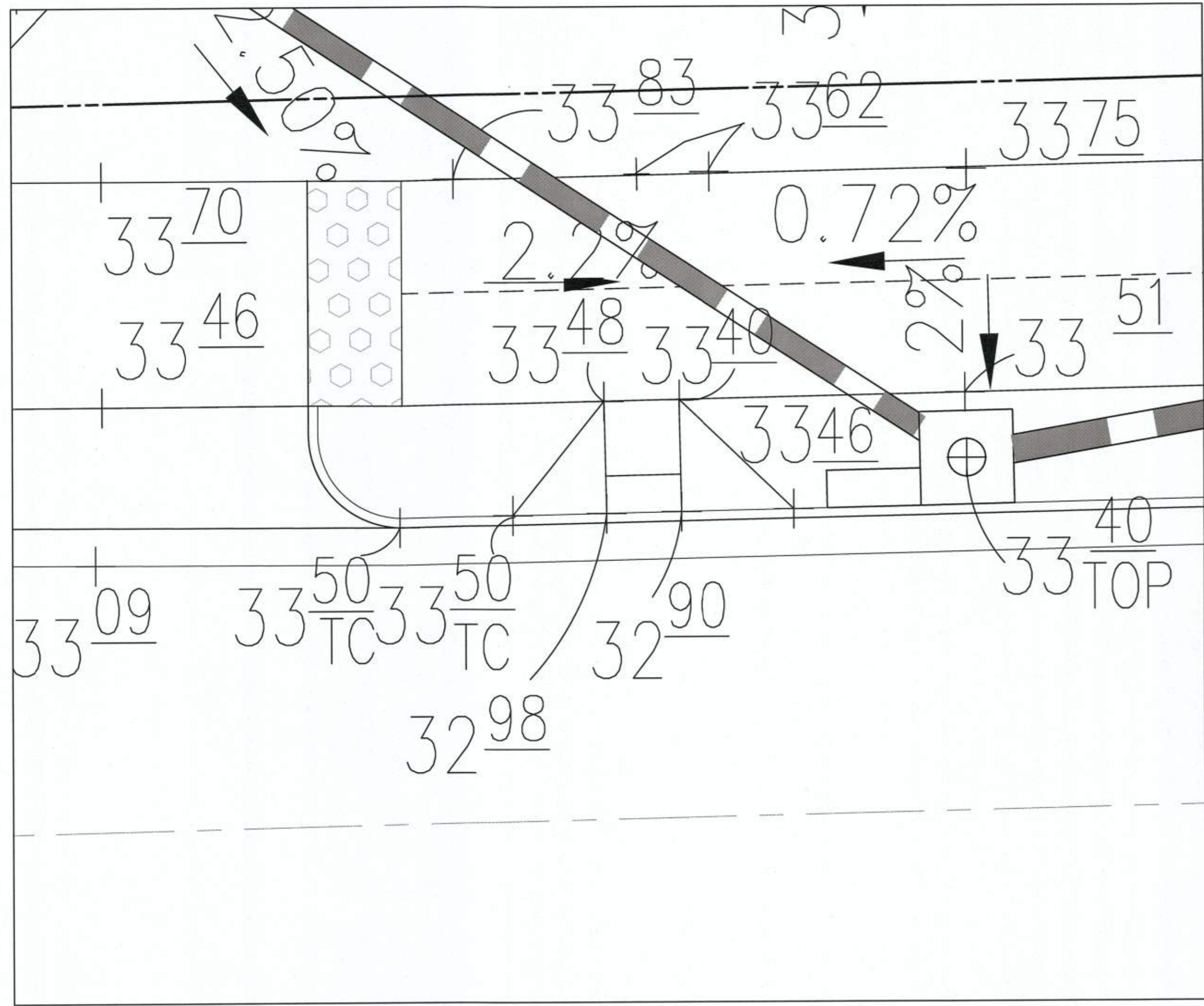
SHEET NAME: GRADING PLAN

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

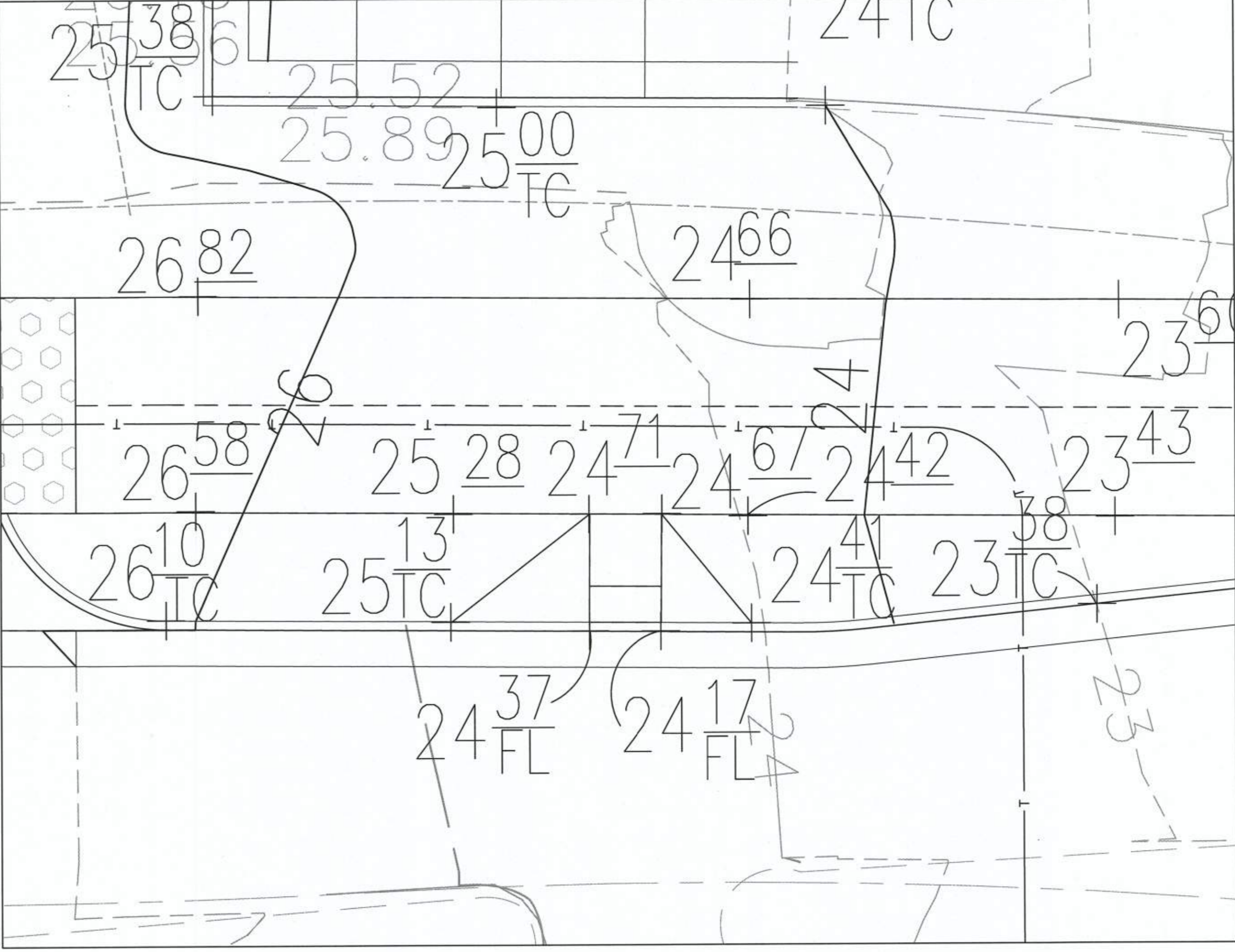
DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. 7.29.20
 DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

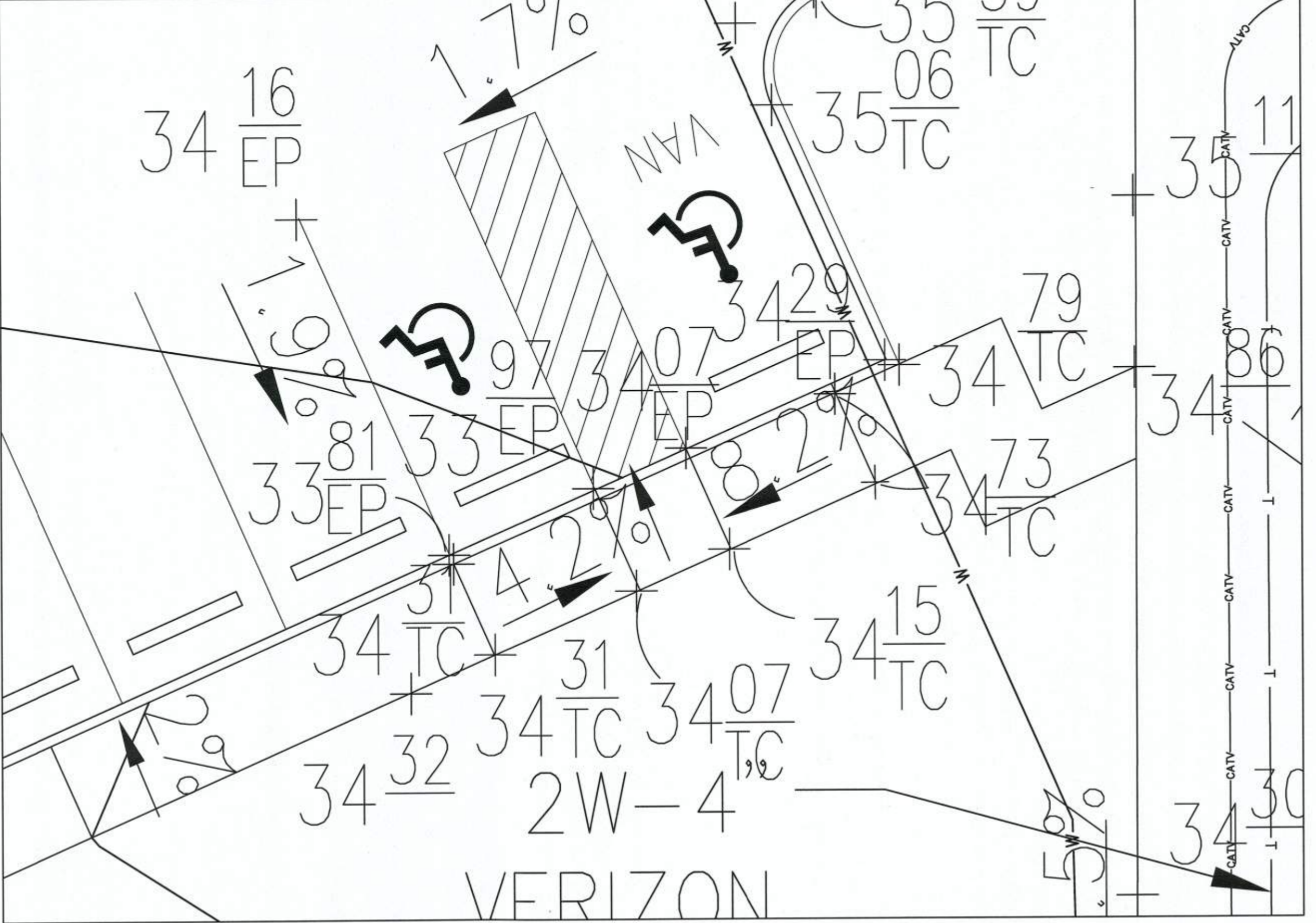
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ADA RAMP #1
SCALE: 1"=5'

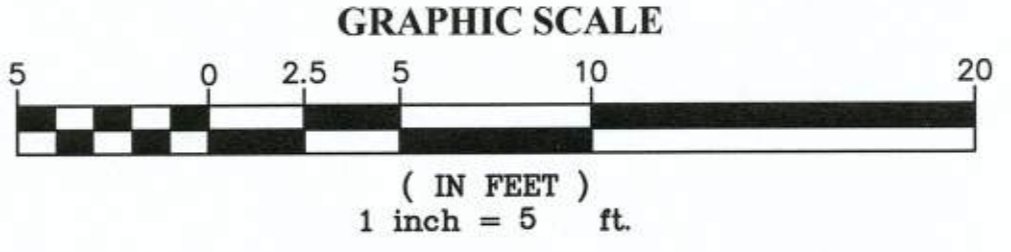


ADA RAMP #2
SCALE: 1"=5'



ADA RAMP #3
SCALE: 1"=5'

SEE SHEET C7.00 FOR RAMP LOCATION



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DATE	DESCRIPTION	DATE	PLAN STATUS
10/30/19	MTAR SUBMISSION		

DATE: OCTOBER, 2019
 DRAWN: CA
 SCALE: 1"=5'

SEAL:

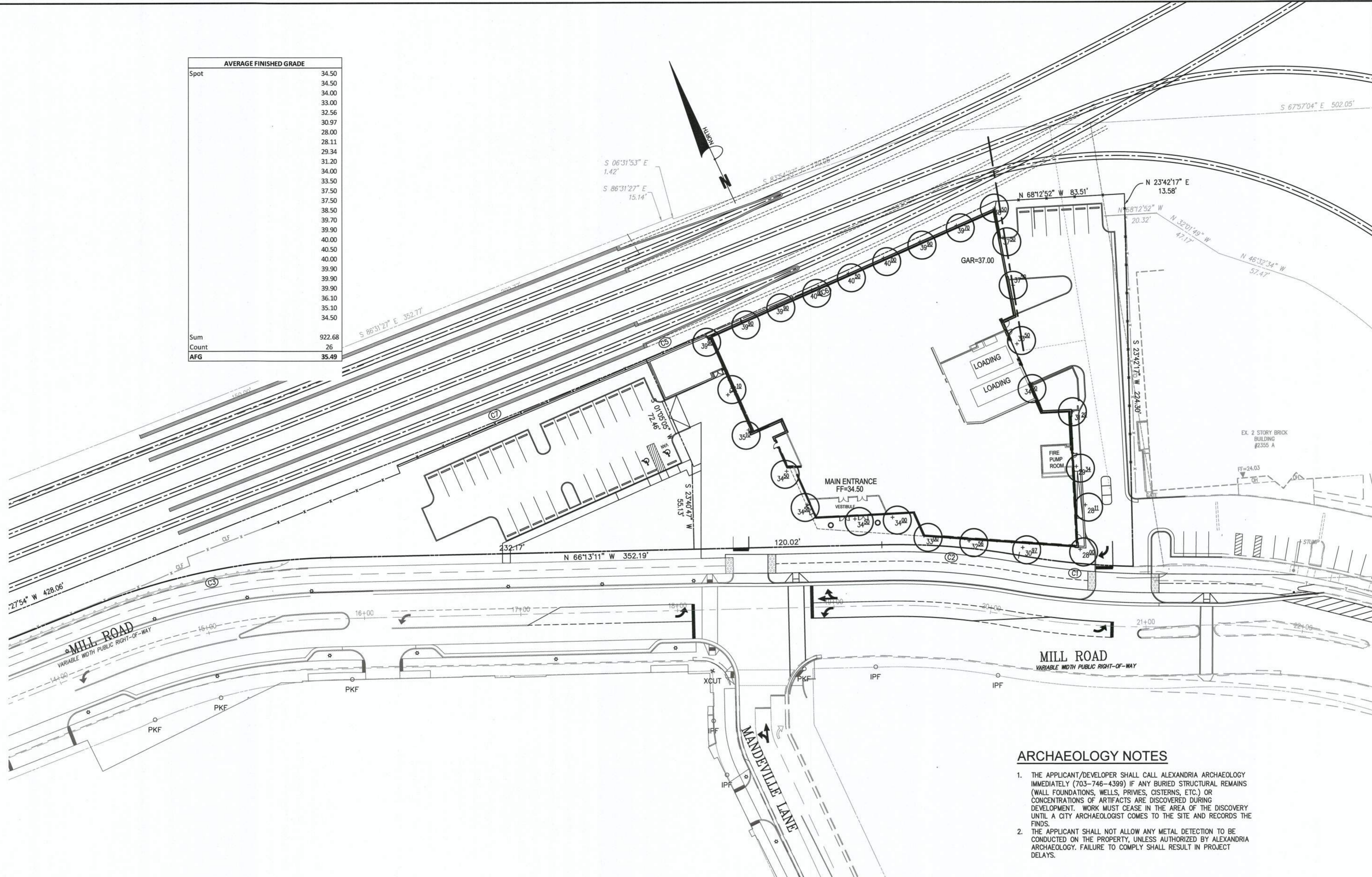
NO.	DESCRIPTION	DATE	APPROVED BY	DATE

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: ADA RAMP GRADING

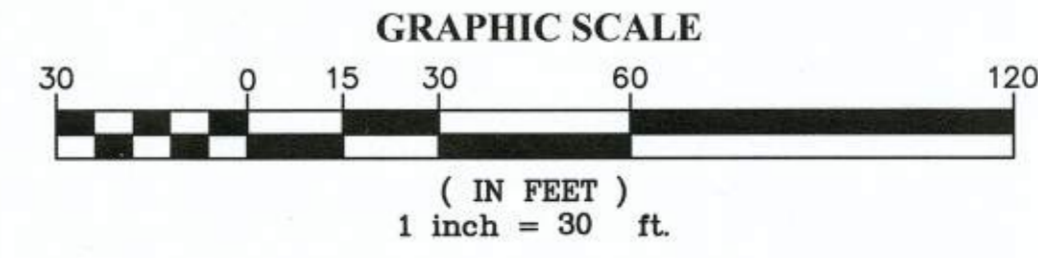
APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR: *Adrianne Fox KM* DATE: 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. *11/24/19* DATE: 11/24/19
 CHAIRMAN, PLANNING COMMISSION: *William H. Haddock* DATE: 11/6/19
 DATE RECORDED: _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

AVERAGE FINISHED GRADE	
Spot	34.50
	34.50
	34.00
	33.00
	32.56
	30.97
	28.00
	28.11
	29.34
	31.20
	34.00
	33.50
	37.50
	38.50
	39.70
	39.90
	40.00
	40.50
	40.00
	39.90
	39.90
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Sum	922.68
Count	26
AFG	35.49



NOTE:
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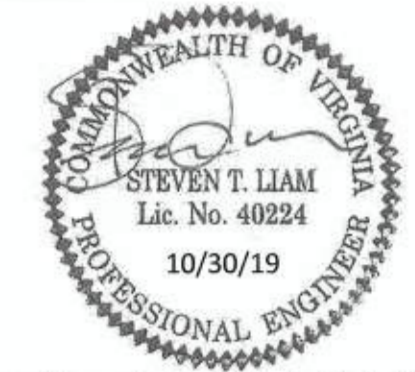
- ARCHAEOLOGY NOTES**
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 DATE: OCTOBER, 2019
 DRAWN: CA

PLAN STATUS: DATE DESCRIPTION DATE DESCRIPTION
 10/30/19 M/LAR SUBMISSION



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NO.	DESCRIPTION	DATE	APPROVED

**2395 MILL ROAD
 FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA**

AVERAGE FINISHED GRADE PLAN

SHEET NAME:

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

[Signature] FOR UM 11/6/19
 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. *[Signature]* 11/2/19
 DIRECTOR DATE

[Signature] 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

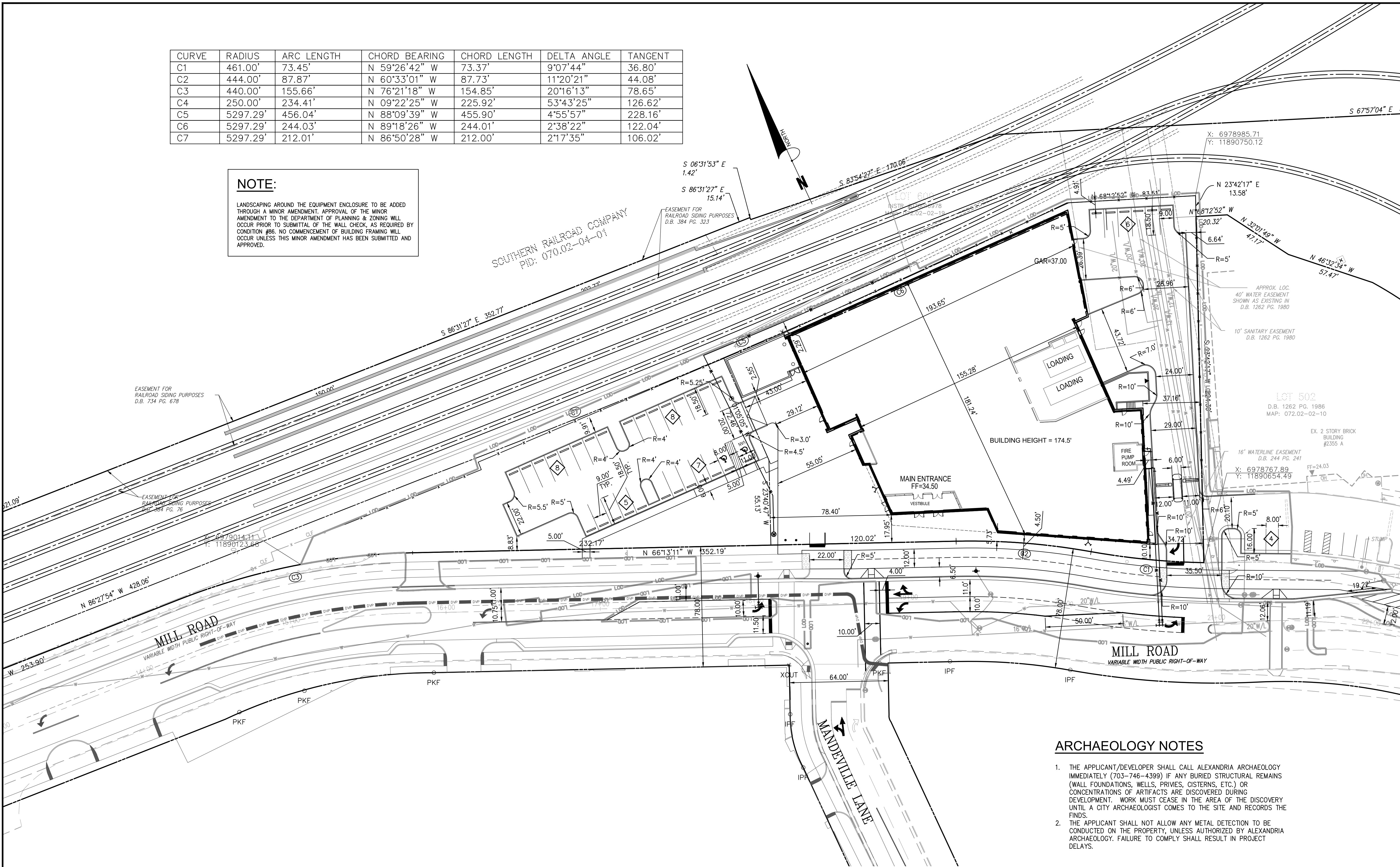
ESI Peer Review

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE	TANGENT
C1	461.00'	73.45'	N 59°26'42" W	73.37'	9°07'44"	36.80'
C2	444.00'	87.87'	N 60°33'01" W	87.73'	11°20'21"	44.08'
C3	440.00'	155.66'	N 76°21'18" W	154.85'	20°16'13"	78.65'
C4	250.00'	234.41'	N 09°22'25" W	225.92'	53°43'25"	126.62'
C5	5297.29'	456.04'	N 88°09'39" W	455.90'	4°55'57"	228.16'
C6	5297.29'	244.03'	N 89°18'26" W	244.01'	2°38'22"	122.04'
C7	5297.29'	212.01'	N 86°50'28" W	212.00'	2°17'35"	106.02'

NOTE:

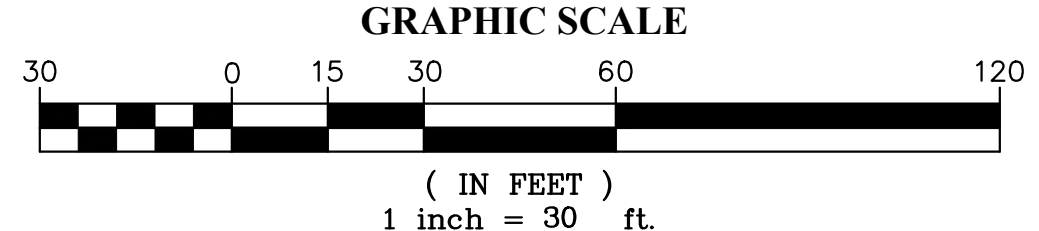
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SOUTHERN RAILROAD COMPANY
P.D. 070.02-04-01



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DATE: JUNE, 2020
DRAWN: CA

SCALE: 1"=30'

PLAN STATUS: DATE DESCRIPTION DATE DESCRIPTION
05/29/2020 ADDENDUM 3
06/19/2020 ADDENDUM 4

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REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED
1	EAST TRANSFORMER YARD	07/06/2020	STL/CITY OF ALEXANDRIA
2	EAST TRANSFORMER YARD	07/06/2020	STL/CITY OF ALEXANDRIA
3	PHILADELPHIA TRANSFORMER YARD	07/27/2020	STL/CITY OF ALEXANDRIA

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: DIMENSION PLAN

APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 7.29.20
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

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STORM SEWER TABLE

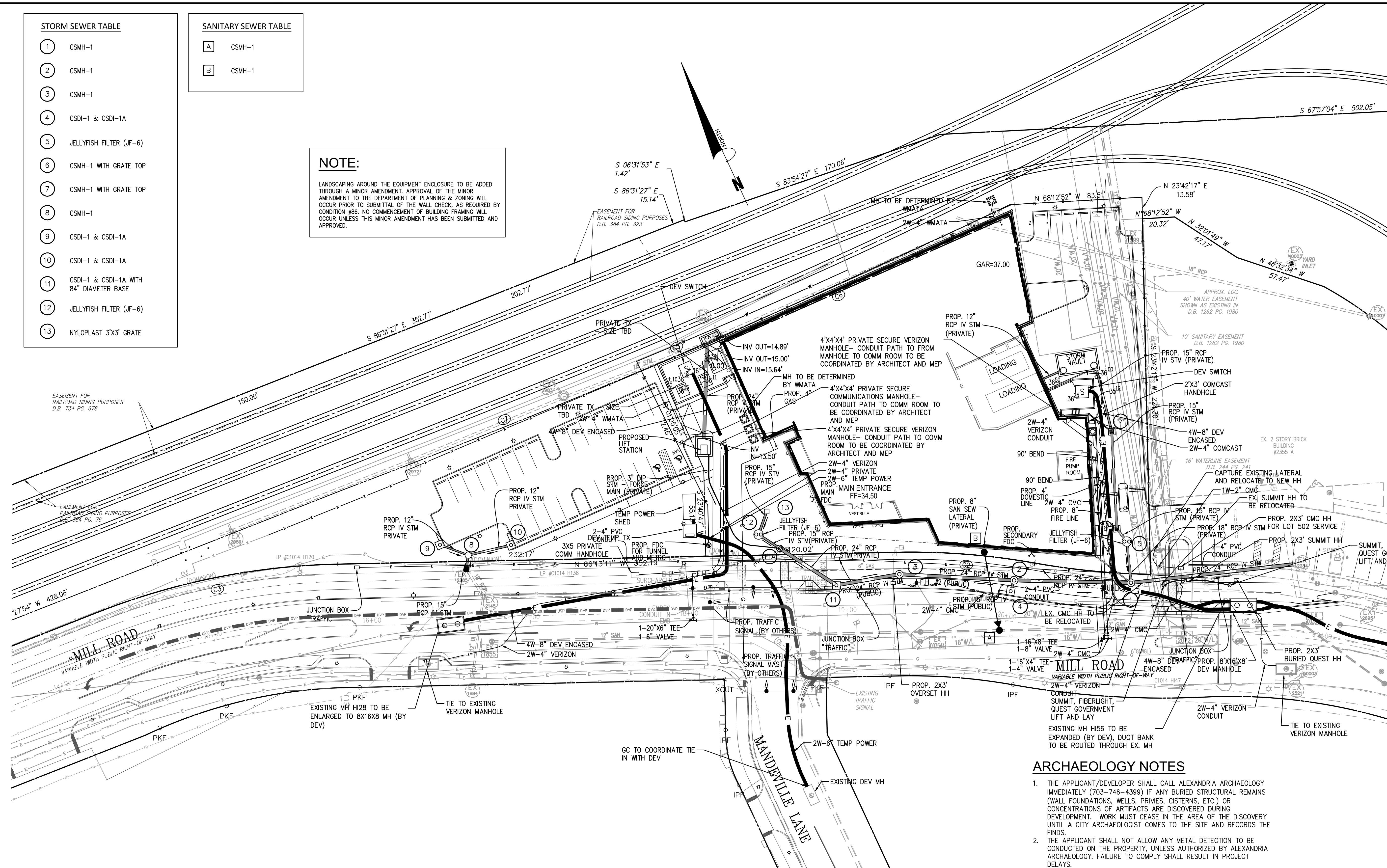
- 1 CSMH-1
- 2 CSMH-1
- 3 CSMH-1
- 4 CSDI-1 & CSDI-1A
- 5 JELLYFISH FILTER (JF-6)
- 6 CSMH-1 WITH GRATE TOP
- 7 CSMH-1 WITH GRATE TOP
- 8 CSMH-1
- 9 CSDI-1 & CSDI-1A
- 10 CSDI-1 & CSDI-1A
- 11 CSDI-1 & CSDI-1A WITH 84" DIAMETER BASE
- 12 JELLYFISH FILTER (JF-6)
- 13 NYLOPLAST 3'X3' GRATE

SANITARY SEWER TABLE

- A CSMH-1
- B CSMH-1

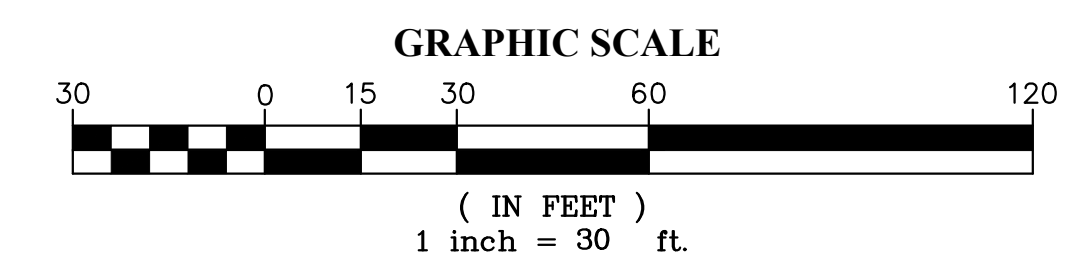
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UTILITY CONTACTS

- | | | | |
|-----------------|-------------------------------------------------------------------------------------------------------------------|---------------------------|------------------------------------------------------------------------------------------------------------|
| 1. ELECTRIC: | VIRGINIA POWER
c/o KEN HOLMES
907 WEST GLEBE ROAD
ALEXANDRIA, VA. 22305
(703) 838-2437 | 4. TELEPHONE: | VERIZON
c/o VAL FISHER
2980 FAIRVIEW PARK N., 6th FLOOR
FALLS CHURCH, VA. 22042
(703) 204-5068 |
| 2. NATURAL GAS: | WASHINGTON GAS
c/o STEPHEN LINCOLN
6801 INDUSTRIAL ROAD
SPRINGFIELD, VA. 22151
(703) 750-5953 | 5. TELE/CATV/HS INTERNET: | COMCAST
c/o BRIAN SHADE
3900 WHEELER AVENUE
ALEXANDRIA, VIRGINIA 22304
(703) 567-4449 |
| 3. WATER: | VIRGINIA AMERICAN WATER CO.
c/o STEVE CHEN
2223 DUKE STREET
ALEXANDRIA, VIRGINIA 22314
(703) 706-3864 | 6. SANITARY/STORM SEWER: | CITY OF ALEXANDRIA
301 KING STREET
ALEXANDRIA, VIRGINIA 22304
(703) 746-4357 |

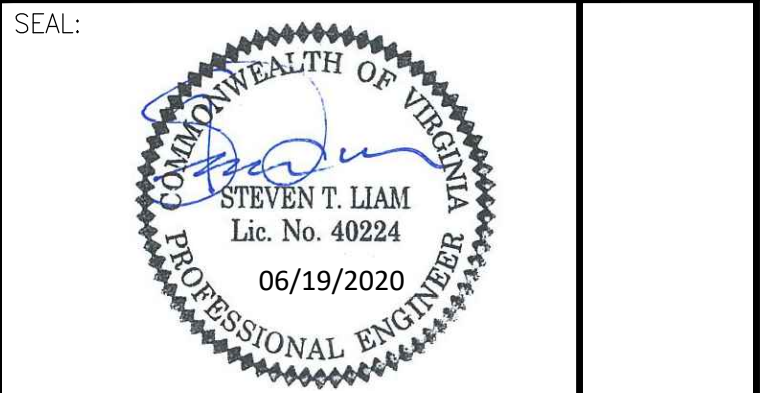
NOTES

1. SEE WATER PROFILE ON SHEET C10.10
2. SEE STORM SEWER PROFILE ON SHEETS C10.10 AND C10.20.
3. SEE SANITARY SEWER PROFILE ON SHEET C10.10.
4. WATER METERS ARE LOCATED INTERIOR TO BUILDINGS

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DATE: 06/19/2020
SCALE: 1"=30'
DRAWN: CA
DATE: JUNE, 2020

DATE	DESCRIPTION	DATE	DESCRIPTION
05/29/2020	ADDENDUM 3		
06/19/2020	ADDENDUM 4		



REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE
1	EAST TRANSFORMER YARD	07/06/2020	STL/AL	07/06/2020
2	STORM SEWER REVISION	07/06/2020	STL	07/06/2020
3	PHILADELPHIA TRANSFORMER YARD	06/19/2020	STL	07/27/2020

**2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA**

UTILITY PLAN

SHEET NAME:

APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

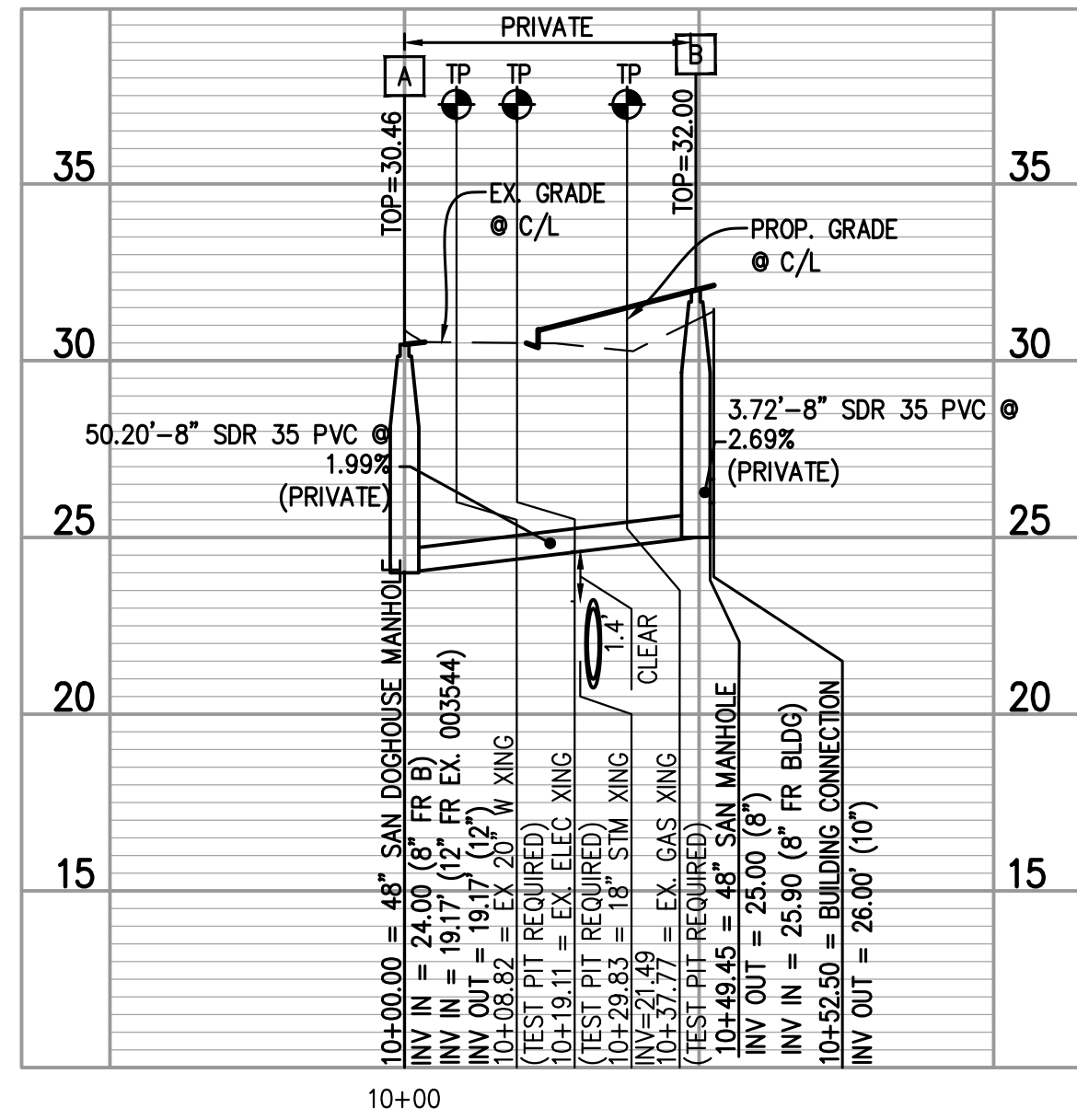
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No.	7.29.20
DIRECTOR	DATE

CHAIRMAN, PLANNING COMMISSION DATE

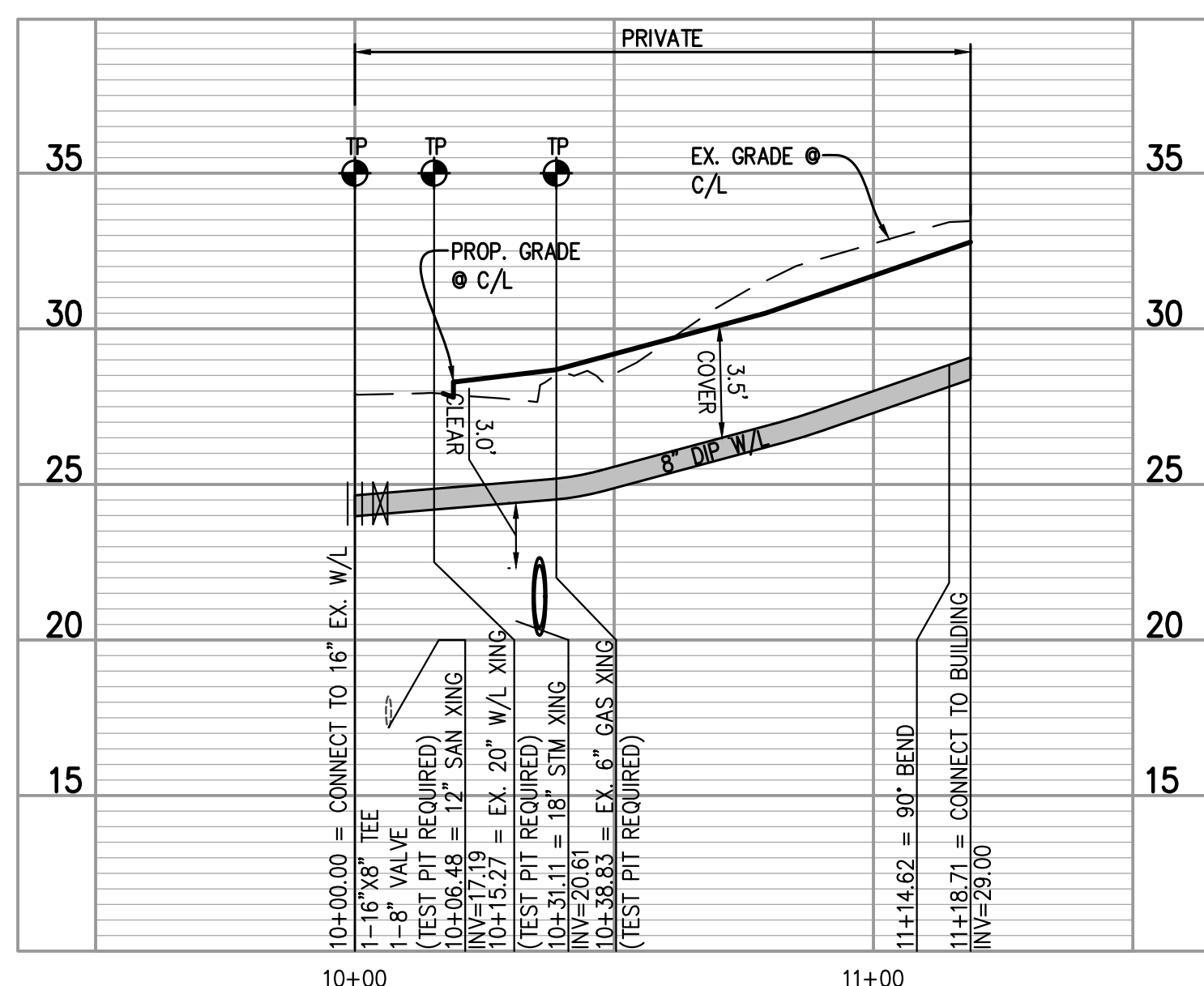
DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

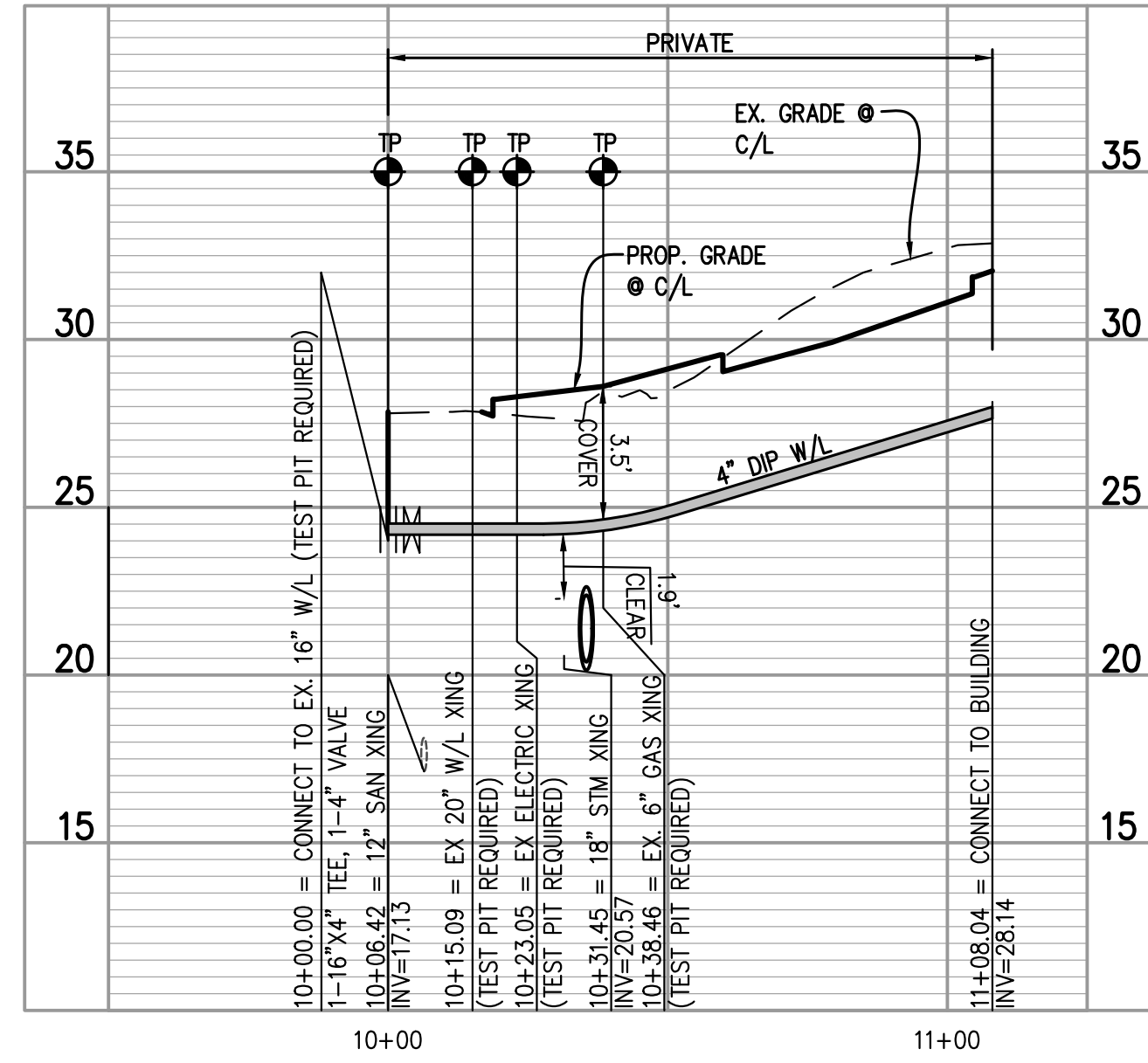
**ESI
Peer Review**



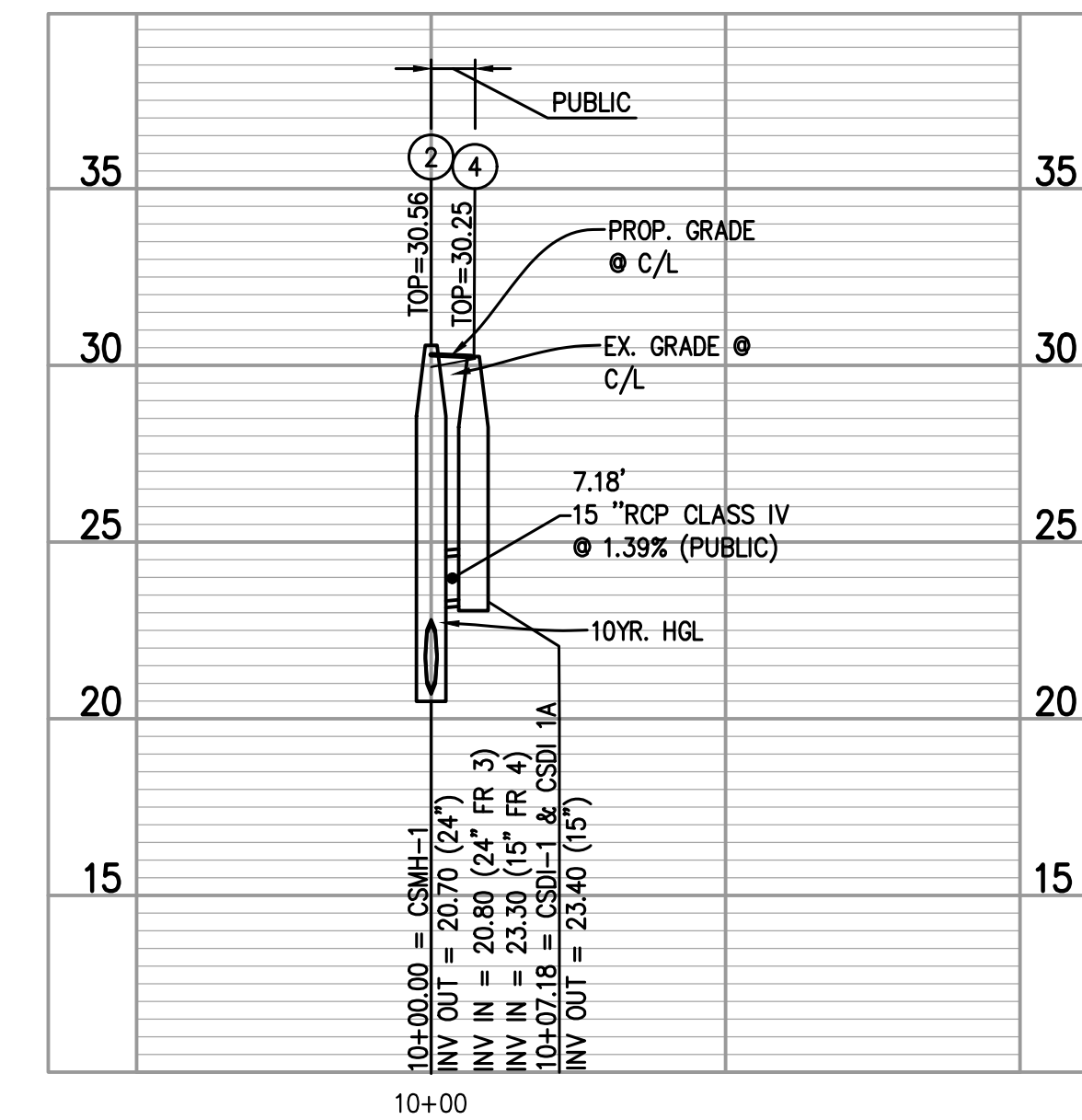
SANITARY SEWER LATERAL PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



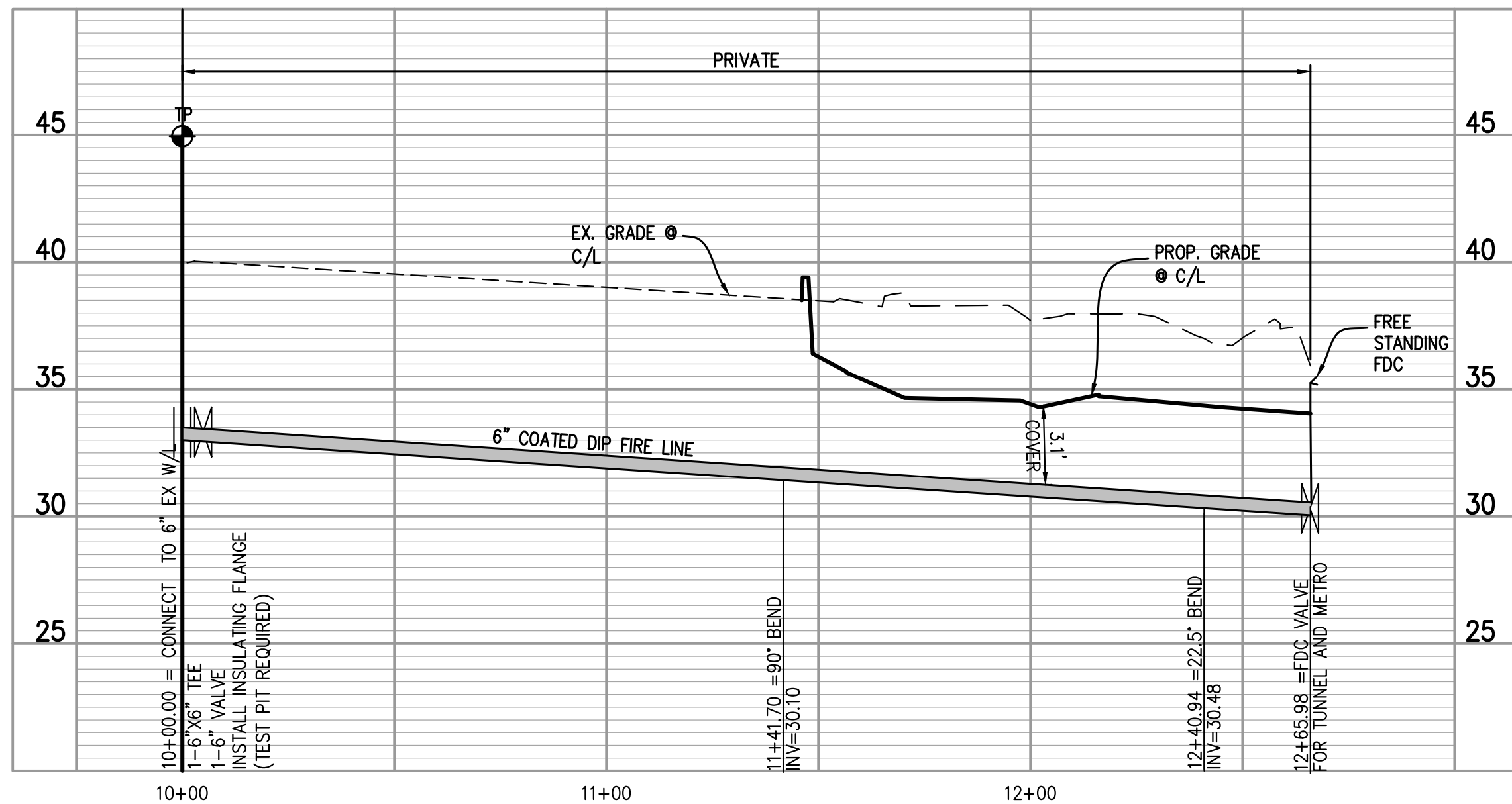
FIRE LINE PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



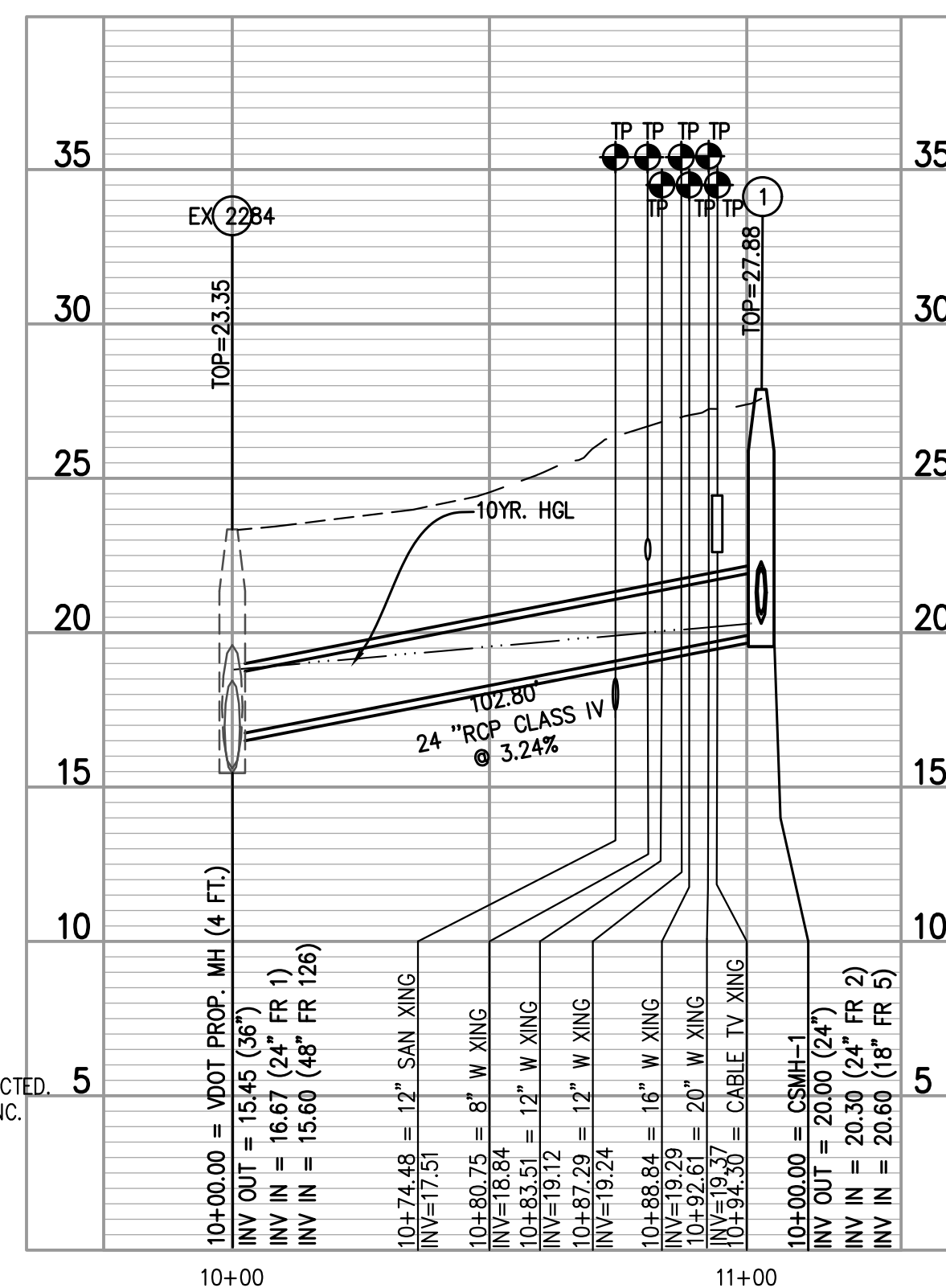
DOMESTIC SERVICE PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



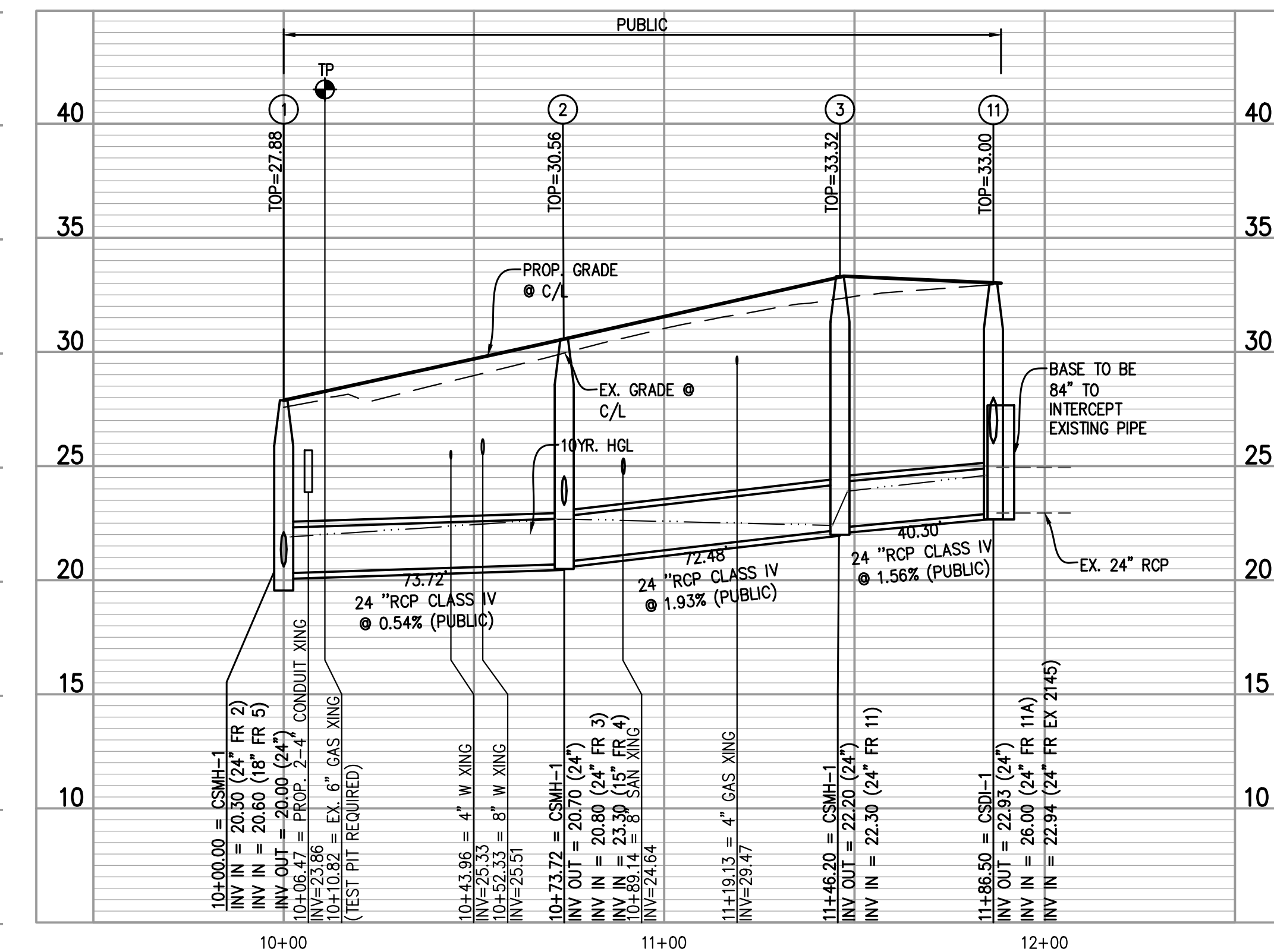
STORM SEWER PROP 2 TO PROP 4 PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



FIRE LINE A PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



STORM EX 2284 TO 1 PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



STORM SEWER PROP. 1 TO PROP. 12 PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'

- NOTES**
- SEE UTILITY PLAN FOR PLAN VIEW ON SHEET C10.00.

- FIRE STAND PIPE NOTES**
- ALL JOINTS AT TO BE RESTRICTED.
 - PIPE TO BE COATED WITH ZINC.

DESIGN ENGINEER / SURVEYOR

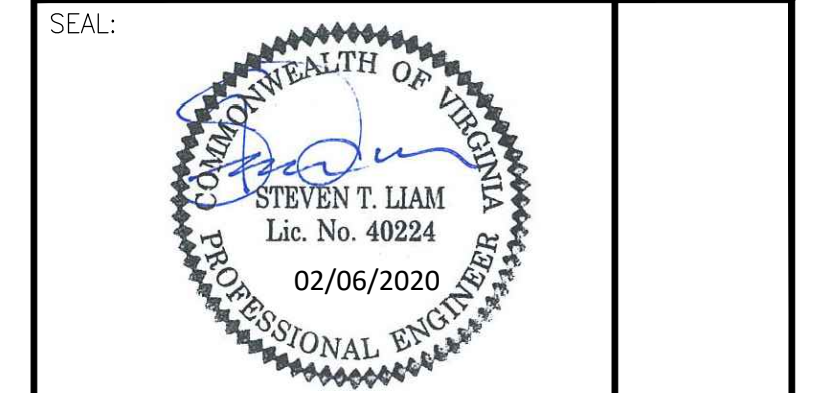
Bowman CONSULTING

Bowman Consulting Group, Ltd.
 13467 Sunrise Valley Drive, Suite 500
 Herndon, Virginia 20171
 Phone: (703) 464-1000
 Fax: (703) 461-9720
 www.bowmanconsulting.com

DATE: FEBRUAR, 2020
 DRAWN: CA

DATE	DESCRIPTION	DATE	DESCRIPTION
10/20/19	UTILITY SUBMISSION		

SCALE: 1"=30'



REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED
1	EAST TRANSFORMER YARD (07/06/2020) STL/CITY OF ALEXANDRIA	03/07/2020	
2	STORM SEWER REVISION (07/06/2020) STL/CITY OF ALEXANDRIA	03/07/2020	

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

UTILITY PROFILES

SHEET NAME: UTILITY PROFILES

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

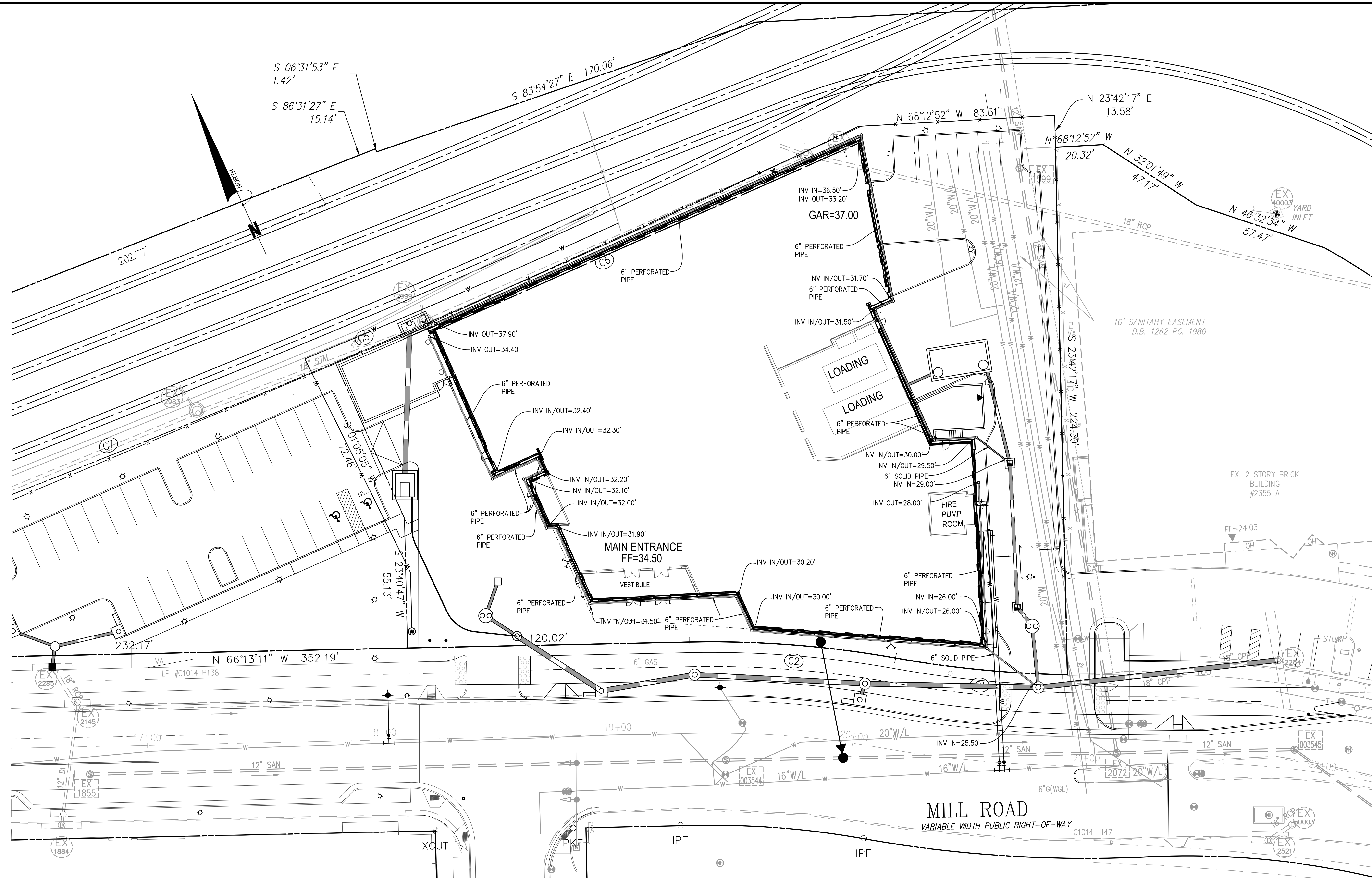
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No.	
<i>John V.</i>	3.26.20
DIRECTOR	DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

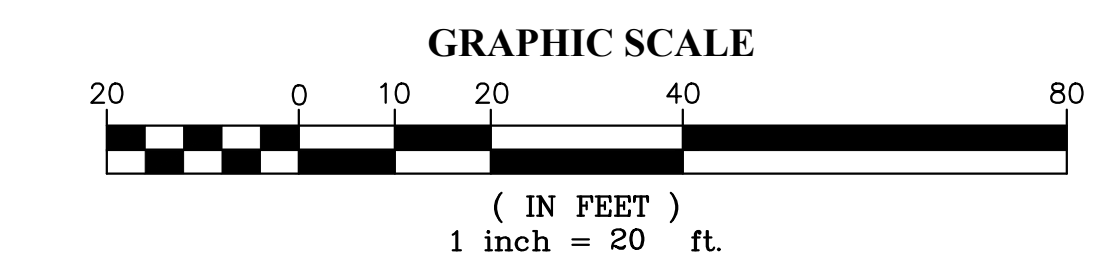
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review



ARCHAEOLOGY NOTES

1. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
2. THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

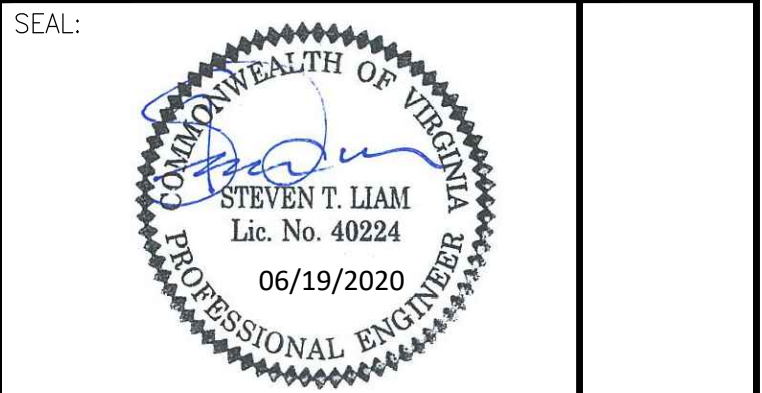


**ESI
Peer Review**

Bowman CONSULTING
 DESIGN ENGINEER / SURVEYOR
 Phone: (703) 464-1000
 Fax: (703) 464-1920
 Bowman Consulting Group, Ltd.
 13461 Sunrise Valley Drive, Suite 500
 Herndon, Virginia 20171
 © Bowman Consulting Group, Ltd.
 www.bowmanconsulting.com

DATE: JUNE, 2020
 DRAWN: CA
 SCALE: 1"=30'

DATE	DESCRIPTION	DATE	DESCRIPTION
05/29/2021	ADDENDUM 3		
06/19/2020	ADDENDUM 4		



NO.	DESCRIPTION	DATE	APPROVED
1	EAST TRANSFORMER YARD	07/06/2020	STL/AL CITY OF ALEXANDRIA
2	2 STORM SEWER REVISION	07/06/2020	STL/AL CITY OF ALEXANDRIA
3	PHILADELPHIA STREET	07/27/2020	STL/AL CITY OF ALEXANDRIA

**2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA**

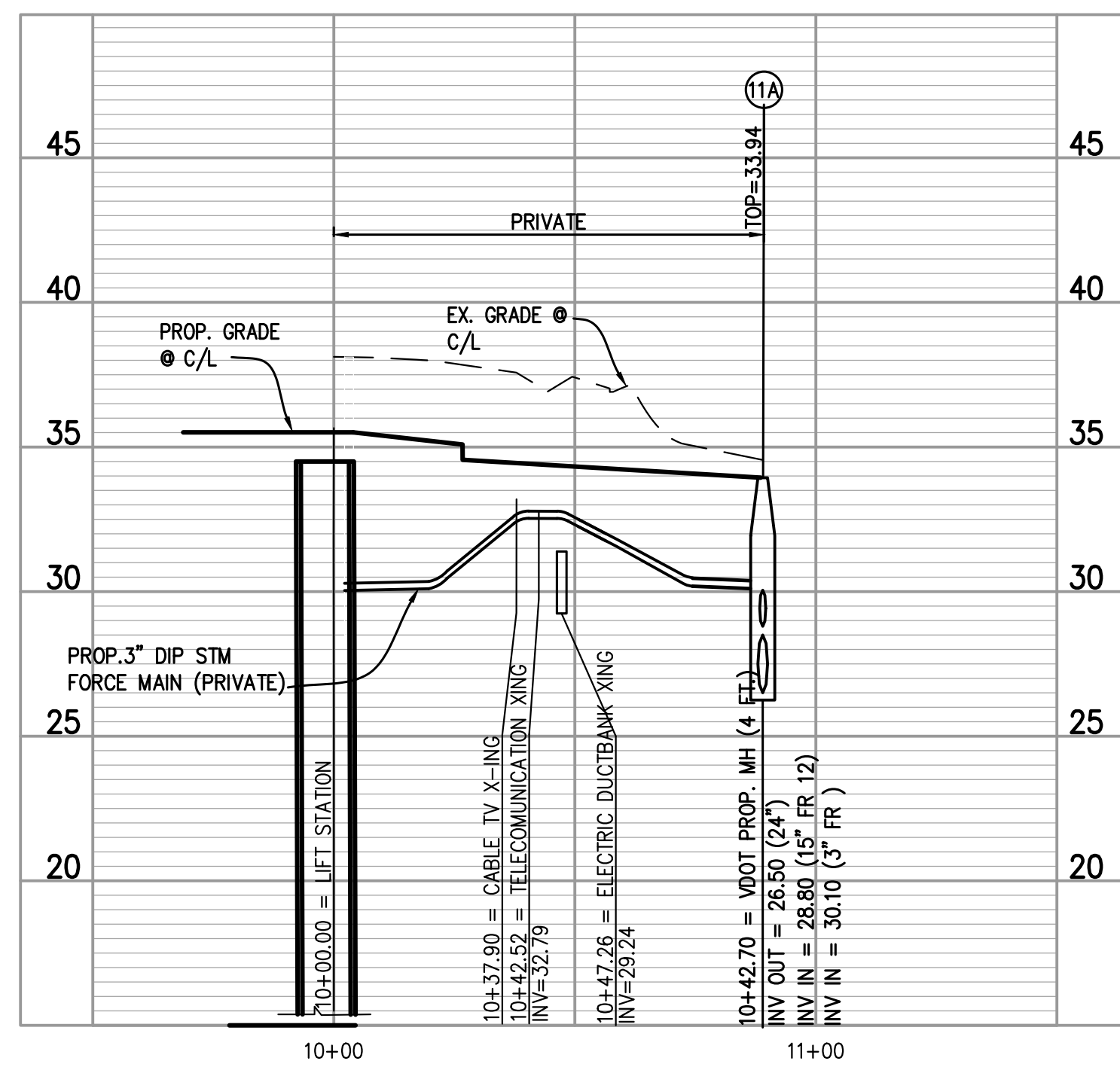
FOUNDATION DRAIN PLAN

SHEET NAME:

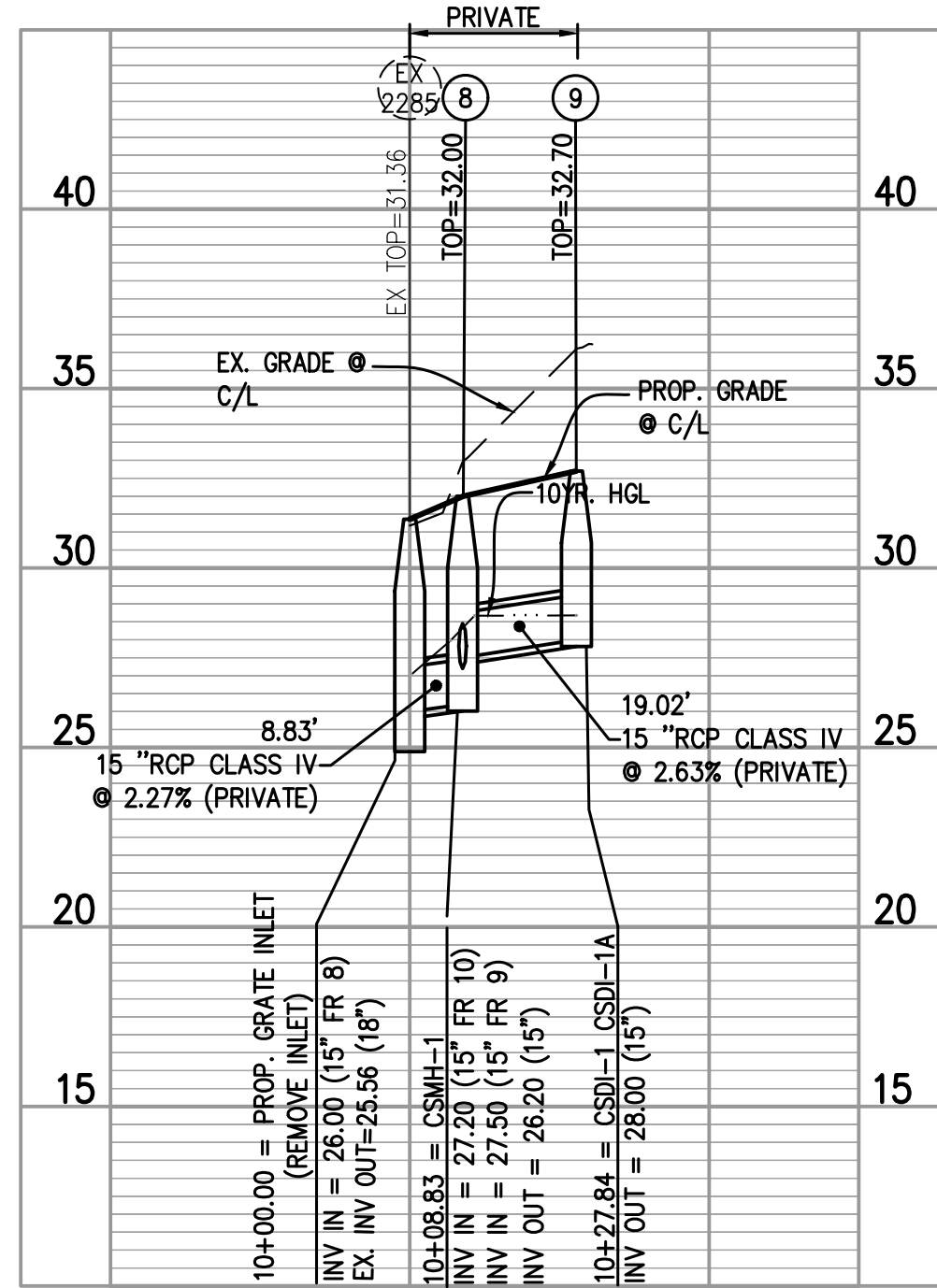
APPROVED 2018-0028
 SPECIAL USE PERMIT NO.
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. 7.29.20
 DIRECTOR DATE

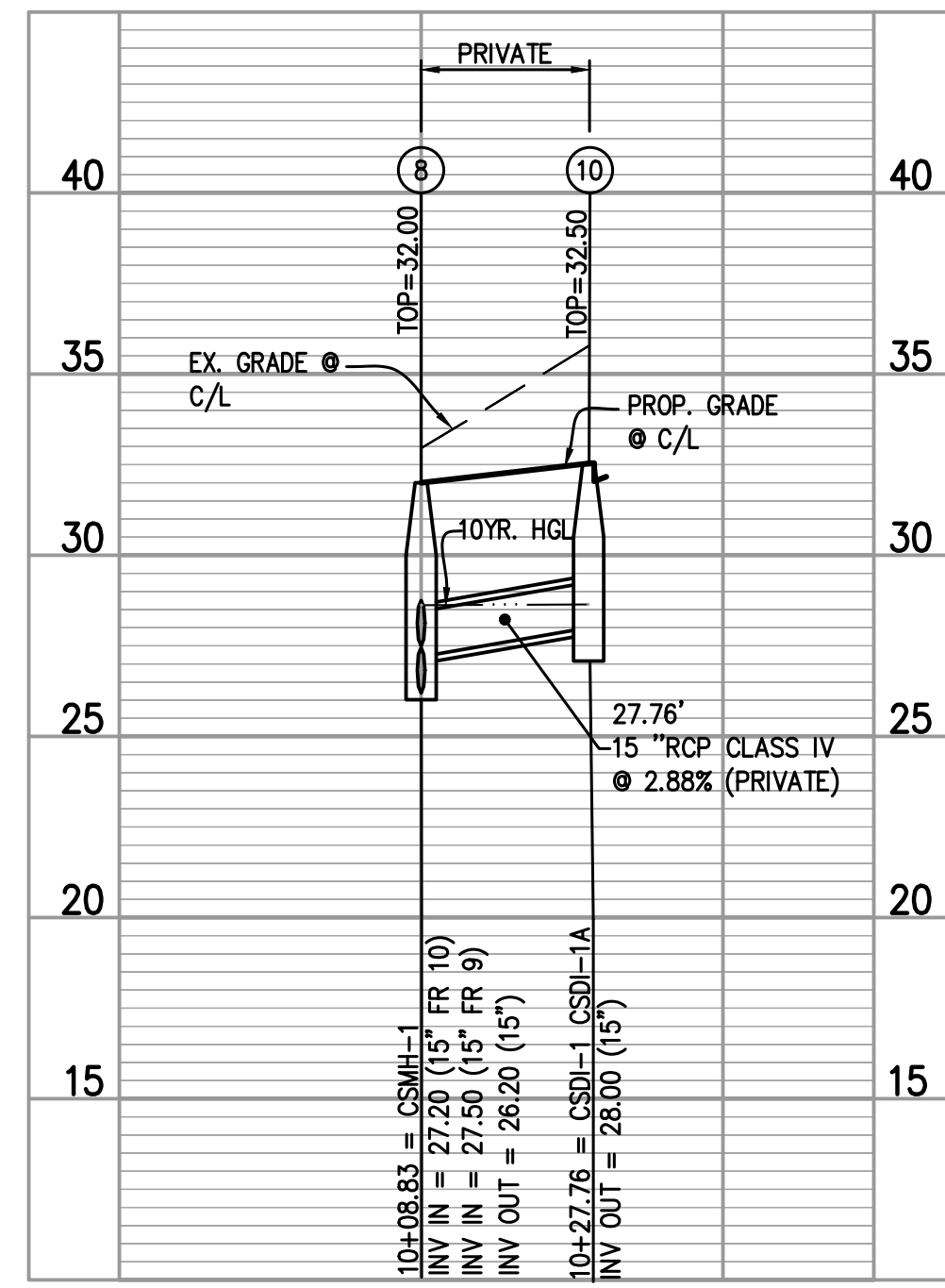
CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.



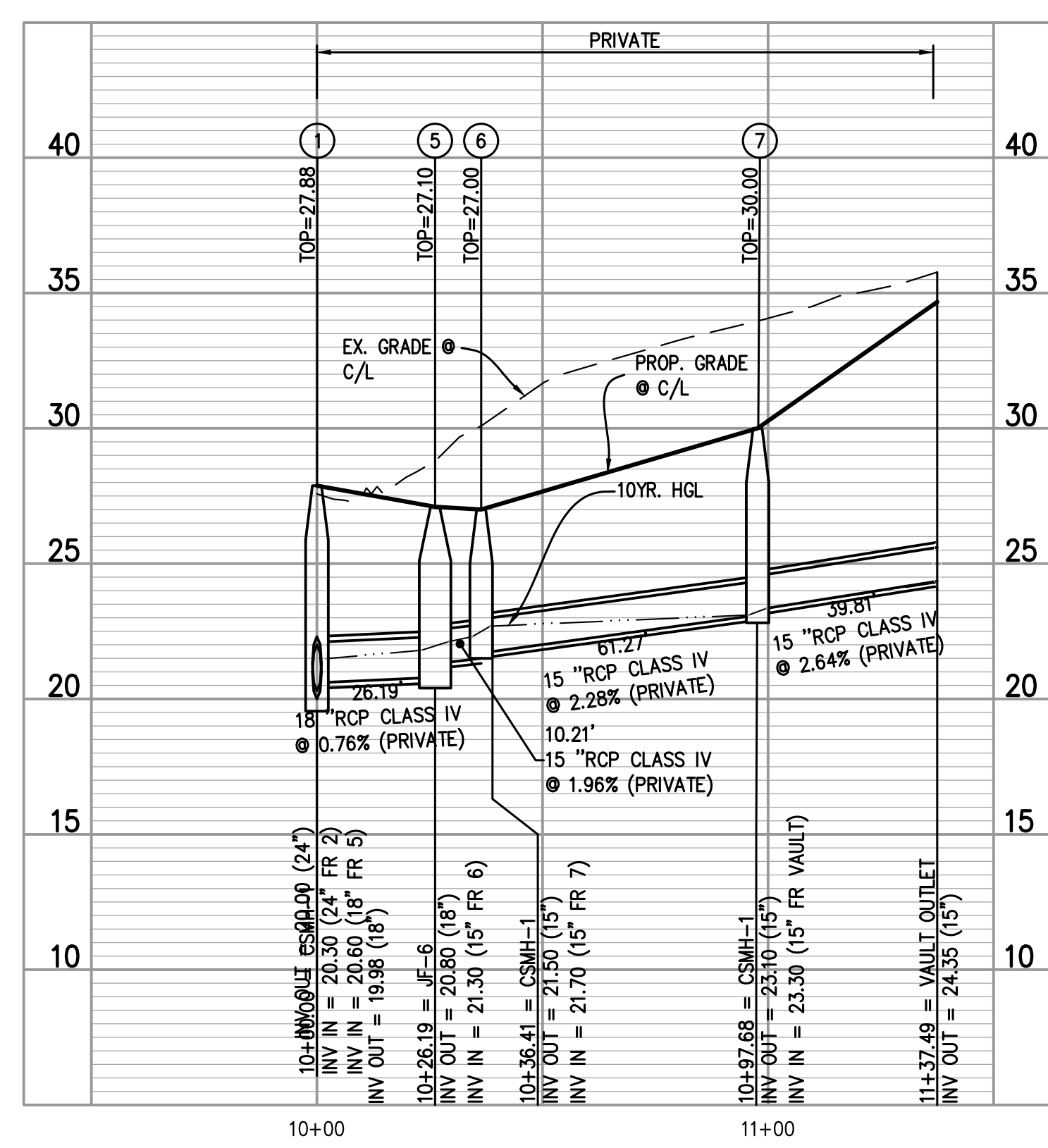
3 INCH DIP STORM (1) PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



STORM SEWER PROP EX. 2285 TO PROP 9 PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



STORM SEWER PROP 8 TO PROP 10 PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



STORM SEWER PROP. 1 TO VAULT PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'

POST DEVELOPMENT STORM WATER INLET COMPUTATIONS

STR. NUMBER	TYPE	LENGTH	AREA	DRAINAGE			Q	Qc	Qt	S	Sx	Manning	T	W	Sw	W/T	Sw/Sx	Eo	a	Sw'	Se	Length for	L/Lt	E	d	h	d/h	Q	Qb	T		
				C	CA	In./Hr.																									C.F.S.	C.F.S.
4	CSDI-1	10.0	0.210	0.84	0.18	9.00	1.59	0.00	0.0388	0.0111	0.015	4.00	2.00	0.0625	0.500	3.49	1.000	2.00	0.083	0.0736	10.00	1.00	1.000	0.21	0.46	0.46	1.59	0.00	0.00	0.00	0.00	
9	CSDI-1	10.0	0.055	0.85	0.05	9.00	0.42	0.00	0.0893	0.0179	0.015	4.00	2.00	0.0625	0.500	3.49	1.000	2.00	0.083	0.0804	10.00	1.00	1.000	0.16	0.46	0.35	0.42	0.00	0.00	0.00	0.00	0.00
10	CSDI-1	10.0	0.216	0.87	0.19	9.00	1.69	0.00	0.0050	0.0141	0.015	9.14	2.00	0.0625	0.219	4.43	1.000	2.00	0.083	0.0766	10.00	1.00	1.000	0.23	0.46	0.49	1.69	0.00	0.00	0.00	0.00	0.00

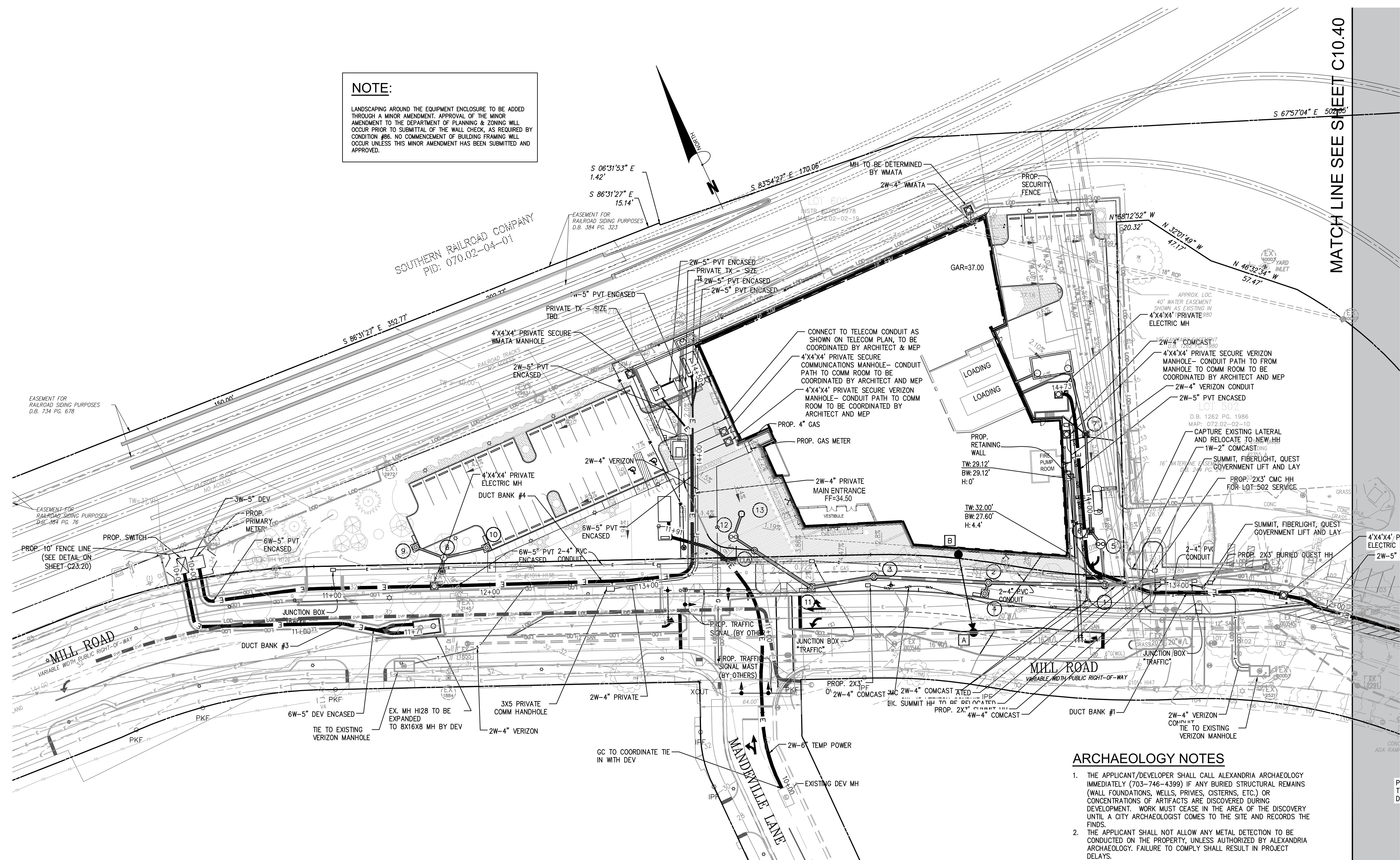
STORM SEWER PIPE DESIGN COMPUTATIONS

FROM STRUC. (UPPER)	TO STRUC. (LOWER)	TYPE OF STRUC. (UPPER)	DRAINAGE AREA (AC)	RUNOFF COEFF. C	CxA	TIME OF CONCENTRATION	10-YR TOTAL FLOW (CFS)	PIPE RUN		CAPACITY OF PIPE		ACTUAL VELOCITY		RIM ELEV.	EFFICIENCY (%)	MH DEPTH	Capacity	TYPE								
								LENGTH (FT)	DIAMETER (IN)	CAPACITY (CFS)	VELOCITY (FPS)	VELOCITY (FPS)	AREA													
STRUCTURE: GI-13 TO EX. 2228																										
GI-13	DMH-12	GRATE INLET	0.12	0.90	0.105	5.00	0.04	5.04	9.00	0.95	15.44	15	29.80	29.80	1.30	7.32	5.96	4.08	1.23	0.31	34.00	12.95%	4.20	6.37	RCP CL V	
DMH-12	DMH-11A	MANHOLE	-	0.00	0.105	5.00	0.04	5.04	9.00	0.95	15.91	15	29.10	28.80	1.89	8.83	7.19	4.68	1.23	0.31	34.10	10.74%	5.00	7.88	RCP CL V	
DMH-11A	DMH-11	MANHOLE	0.29	0.80	0.232	0.337	5.00	0.09	5.09	9.00	3.04	42.70	24	26.50	26.00	1.17	24.36	7.75	5.04	3.14	0.50	33.02	12.46%	6.52	21.32	RCP CL V
DMH-11	DMH-3	MANHOLE	-	0.00	0.000	1.306	5.00	0.07	5.07	9.00	11.75	40.30	24	22.93	22.30	1.56	28.14	8.96	8.28	3.14	0.50	33.02	41.75%	10.09	16.39	RCP CL V
DMH-3	DMH-2	MANHOLE	-	0.00	0.000	1.306	5.00	0.12	5.12	9.00	11.75	72.40	24	22.20	20.80	1.93	31.30	9.96	9.21	3.14	0.50	33.32	37.54%	11.12	19.55	RCP CL V
DMH-2	DMH-1	MANHOLE	-	0.00	0.000	1.479	5.00	0.23	5.23	9.00	13.31	73.72	24	20.70	20.30	0.54	16.58	5.28	5.83	3.14	0.50	30.30	80.27%	9.60	3.27	RCP CL V
DMH-1	EX 2284	MANHOLE	-	0.00	0.000	1.958	5.00	0.13	5.13	9.00	17.63	102.80	24	20.00	16.67	3.24	40.51	12.90	12.43	3.14	0.50	27.88	43.50%	7.88	22.89	EX PIPE
STRUCTURE: CI-9 TO DMH-11																										
CI-9	DMH-8	CURB INLET	0.06	0.85	0.047	0.047	5.00	0.04	5.04	9.00	0.42	19.02	12	28.00	27.50	2.63	5.75	7.32	4.23	0.79	0.25	32.70	7.32%	4.70	5.33	RCP CL V
DMH-8	EX 2285	MANHOLE	-	0.00	0.000	0.238	5.00	0.02	5.02	9.00	2.14	8.83	12	26.20	26.00	2.27	5.34	6.79	6.42	0.79	0.25	32.00	40.17%	5.80	3.19	RCP CL V
EX 2285	EX 2145	MANHOLE	0.29	0.00	0.000	0.238	5.00	0.02	5.02	9.00	2.14	20.36	18	25.56	23.85	8.40	30.29	17.14	9.90	1.77	0.38	31.96	7.08%	5.80	28.15	EX PIPE
EX 2145	DMH-11	CURB INLET	0.54	0.67	0.362	0.968	5.00	0.74	5.74	9.00	8.72	173.52	24	23.60	23.08	0.30	12.32	3.92	4.25	3.14	0.50	31.15	70.73%	7.55	3.61	EX PIPE
STRUCTURE: EX. 1884 TO EX. 2145 DMH-8																										
EX 1884	EX 2145	CURB INLET	0.55	0.67	0.369	0.369	5.00	0.08	5.08	9.00	3.32	50.62	12	26.23	23.75	4.90	7.85	9.99	9.44	0.79	0.25	31.35	42.27%	5.12	4.53	RCP CL V
STRUCTURE: CI-10 TO DMH-8																										
CI-10	DMH-8	CURB INLET	0.22	0.87	0.191	0.191	5.00	0.06	5.06	9.00	1.72	27.76	12	28.00	27.20	2.88	6.02	7.66	6.55	0.79	0.25	32.50	28.62%	4.50	4.30	RCP CL V
STRUCTURE: CI-4 TO DMH-2																										
CI-4	DMH-2	CURB INLET	0.21	0.84	0.173	0.173	5.00	0.02	5.02	9.00	1.56	7.18	15	23.40	23.30	1.39	7.59	6.18	4.80	1.23	0.31	30.25	20.53%	6.85	6.03	RCP CL V
STRUCTURE: VAULT TO DMH-1																										
VAULT	GI-7	VAULT	0.72	0.40	0.288	0.288	5.00	0.08	5.08	9.00	2.59	39.81	15	24.35	23.30	2.64	10.44	8.51	6.84	1.23	0.31	34.75	24.80%	10.40	7.85	RCP CL V
GI-7	GI-6	GRATE INLET	0.24	0.80	0.192	0.480	5.00	0.13	5.13	9.00	4.32	61.27	15	23.10	21.70	2.28	9.72	7.92	7.63	1.23	0.31	27.00	44.42%	3.90	5.40	RCP CL V
GI-6	DMH-5	GRATE INLET	0.07	0.81	0.057	0.536	5.00	0.02	5.02	9.00	4.83	10.21	15	21.50	21.30	1.96	9.00	7.33	7.45	1.23	0.31	27.10	53.65%	5.60	4.17	RCP CL V
DMH-5	DMH-1	MANHOLE	-	0.00	0.000	0.480	5.00	0.08	5.08	9.00	4.32	26.19	18	20.80	20.60	0.76	9.13	5.17	5.08	1.77	0.38	27.88	47.28%	7.08	4.82	RCP CL V

HYDRAULIC GRADE LINE ANALYSIS

INLET STRUCTURE	OUTLET WATER SURFACE ELEVATION	Do	Go	Lo	Sb%	Hf	JUNCTION LOSSES														FINAL H	INLET WATER SURFACE ELEVATION	RIM ELEVATION	REMARKS	FREE-BOARD (FT)	HOW OUTLET WISE DETERMINED
							Vo	Ho	Qi	Vi	Qv1	V2	H1	ANGLE	H_delta	Ht	1.3	0.5	0.65	0.85						
STRUCTURE: GI-13 TO EX. 2228																										
DMH-1	18.80	24	17.63	102.80	0.62	0.63	12.90	0.65	13.31	5.28	70.24	0.43	0.15	6	0.03	0.83	-	0.41	-	1.05	19.85	27.88	OK	-8.03	MWSE	
DMH-2	21.90	24	13.31	73.72	0.35	0.26	5.28	0.11	11.75	9.96	117.09	1.54	0.54	19	0.37	1.01	-	0.51	-	0.77	22.67	30.30	OK	-7.63	0.8D	
DMH-3	22.67	24	11.75	72.40	0.27	0.20	9.96	0.39	11.75	8.96	105.28	1.54	0.44	16	0.25	1.07	-	0.54	-	0.73	23.40	33.32	OK	-9.92	MWSE	
DMH-11	23.90	24	11.75	40.30	0.27	0.11	8.96	0.31	9.95	7.19	6.82	0.80	0.28	99	0.56	1.15	-	0.58	-	0.69	24.59	33.02	OK	-8.43	0.8D	
DMH-11A	27.60	24	3.04	42.70	0.02	0.01	7.75	0.23	0.95	5.96	5.65	0.55	0.19	99	0.39	0.81	-	0.41	-	0.41	28.01	33.02	OK	-5.01	0.8D	
DMH-12	29.80	15	0.95	15.91	0.02	0.00	7.19	0.20	0.95	5.96	5.65	0.55	0.19	19	0.13	0.53	-	0.26	-	0.27	30.07	34.10	OK	-4.03	0.8D	
GI-13	30.60	15	0.95	15.44	0.02	0.00	5.96	0.14	0.00	0.00	0.00	0.00	0.00	0	0.00	0.14	0.18	-	0.00	30.60	34.00	OK	-3.40	0.8D		
STRUCTURE: CI-9 TO DMH-11																										
EX 2145	24.68	24	8.72	173.52	0.15	0.26	3.92	0.06	2.14	17.14	36.74	4.56	1.60	59	2.53	4.18	-	2.09	-	2.35	27.03	31.15	OK	-4.12	0.8D	
EX 2285	27.03	18	2.14	20.36	0.04	0.01	17.14	1.14	2.14	6.79	14.56	0.72	0.25	39	0.30	1.69	-	0.85	-	0.86	27.89	31.36	OK	-3.47	MWSE	
DMH-8	27.89	12	2.14	8.83	0.37	0.03	6.79	0.18	0.42	7.32	3.08	0.83	0.29	77	0.54	1.01	-	0.50	-	0.54	28.42	32.00	OK	-3.56	MWSE	
CI-9	28.42	12	0.42	19.02	0.01	0.00	7.32	0.21	0.00	0.00	0.00	0.00	0.00	0	0.00	0.21	0.27	-	0.00	28.43	32.70	OK	-4.27	MWSE		
STRUCTURE: CI-10 TO DMH-8																										
CI-10	28.42	12	1.72	27.76	0.24	0.07	7.66	0.23	0.00	0.00	0.00	0.00	0.00	0	0.00	0.23	0.30	-	0.07	28.49	32.50	OK	-4.01	MWSE		
STRUCTURE: CI-4 TO DMH-2																										
CI-4	24.30	15	1.56	7.18	0.06	0.00	6.18	0.15	0.00	0.00	0.00	0.00	0.00	0	0.00	0.15	0.19	-	0.00	24.30	30.25	OK	-5.95	0.8D		
STRUCTURE: VAULT TO DMH-1																										
DMH-5	21.80	18	4.32	26.19	0.17	0.04	5.17	0.10	4.83	7.33	35.38	0.83	0.29	15	0.16	0.55	-	0.28	-	0.32	22.12	27.88	OK	-5.76	0.8D	
GI-6	22.30	15	4.83	10.21	0.57	0.06	7.33	0.21	4.32	7.92	34.18	0.97	0.34	10	0.13	0.68	-	0.34								

NOTE:
 LANDSCAPING AROUND THE EQUIPMENT ENCLOSURE TO BE ADDED THROUGH A MINOR AMENDMENT. APPROVAL OF THE MINOR AMENDMENT TO THE DEPARTMENT OF PLANNING & ZONING WILL OCCUR PRIOR TO SUBMITTAL OF THE WALL CHECK, AS REQUIRED BY CONDITION #86. NO COMMENCEMENT OF BUILDING FRAMING WILL OCCUR UNLESS THIS MINOR AMENDMENT HAS BEEN SUBMITTED AND APPROVED.



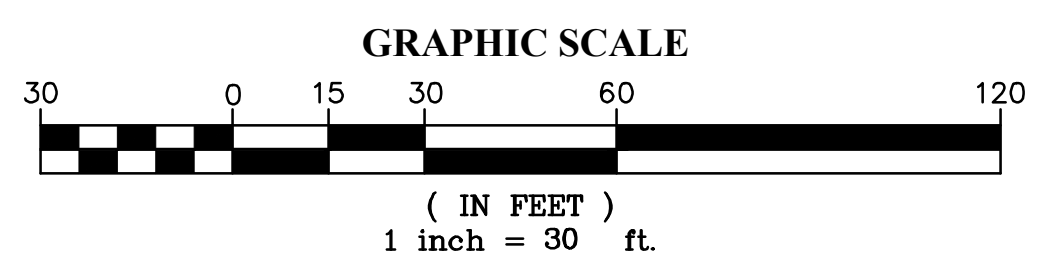
MATCH LINE SEE SHEET C10.40

UTILITY CONTACTS

- | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1. ELECTRIC: VIRGINIA POWER
 c/o KEN HOLMES
 907 WEST GLEBE ROAD
 ALEXANDRIA, VA. 22305
 (703) 838-2437</p> <p>2. NATURAL GAS: WASHINGTON GAS
 c/o STEPHEN LINCOLN
 6801 INDUSTRIAL ROAD
 SPRINGFIELD, VA. 22151
 (703) 750-5953</p> <p>3. WATER: VIRGINIA AMERICAN WATER CO.
 c/o STEVE CHEN
 2223 DUKE STREET
 ALEXANDRIA, VIRGINIA 22314
 (703) 706-3864</p> | <p>4. TELEPHONE: VERIZON
 c/o VAL FISHER
 2980 FAIRVIEW PARK N., 6th FLOOR
 FALLS CHURCH, VA. 22042
 (703) 204-5068</p> <p>5. TELE/CATV/HS INTERNET: COMCAST
 c/o BRIAN SHADE
 3900 WHEELER AVENUE
 ALEXANDRIA, VIRGINIA 22304
 (703) 567-4449</p> <p>6. SANITARY/STORM SEWER: CITY OF ALEXANDRIA
 301 KING STREET
 ALEXANDRIA, VIRGINIA 22304
 (703) 746-4357</p> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

ARCHAEOLOGY NOTES

1. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
2. THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.



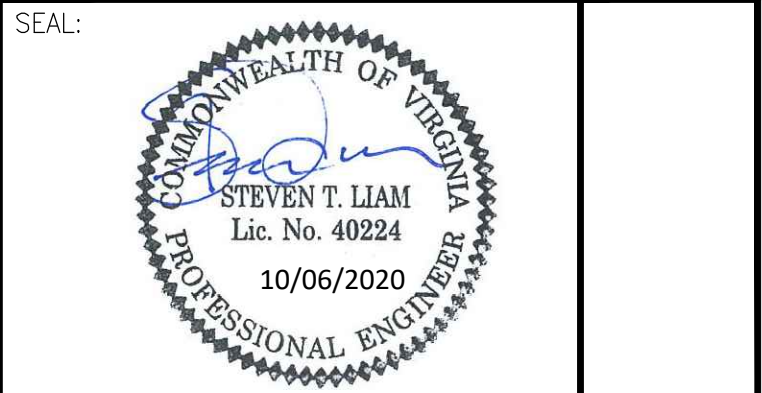
DESIGN ENGINEER / SURVEYOR

Bowman CONSULTING

Bowman Consulting Group, Ltd.
 13461 Sunrise Valley Drive, Suite 500
 Herndon, Virginia 20171
 Phone: (703) 464-1000
 Fax: (703) 461-9720
 www.bowmanconsulting.com

DATE: SEPTEMBER, 2020
 PLAN STATUS: DRAIN: CA

DATE: 08/07/2020
 DESCRIPTION: ADDENDUM 3
 DATE: 09/29/2020
 DESCRIPTION: ADDENDUM 4



REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE
1	EAST TRANSFORMER YARD	02/06/2020	STL/CAL CITY OF ALEXANDRIA	02/07/2020
2	STORM SEWER REVISION	02/06/2020	STL/CAL CITY OF ALEXANDRIA	02/07/2020
3	PHONOLITHS REMOVAL	06/19/2020		
4	DRY UTILITY PLAN	10/06/2020		

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

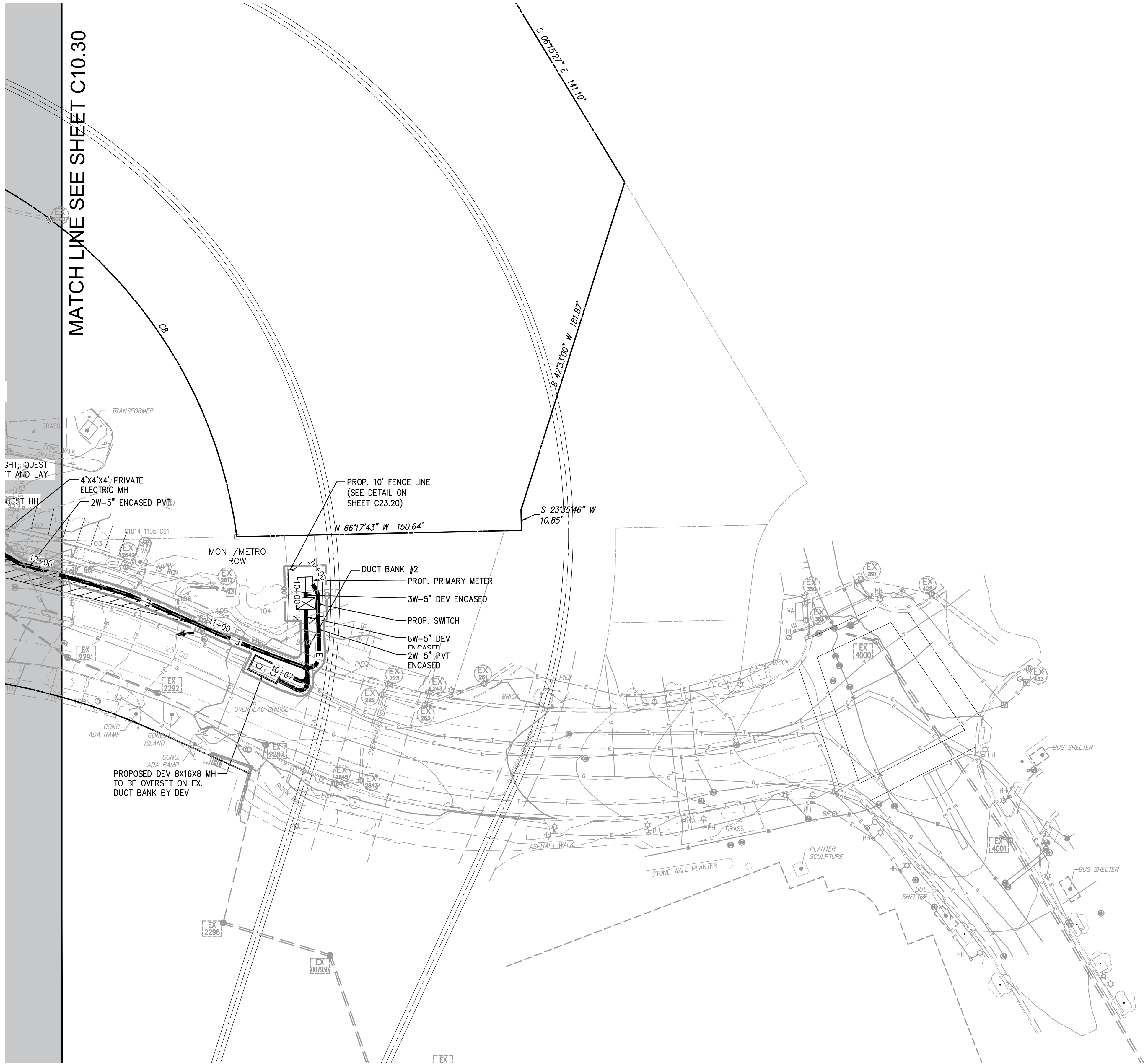
SHEET NAME: DRY UTILITY PLAN

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. 10-23-20
 DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review



MATCH LINE SEE SHEET C10.30

DESIGN ENGINEER / SURVEYOR

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www.bowmanconsulting.com

SCALE: 1" = 30'
DATE: SEPTEMBER, 2020
DRAWN: CA

DATE	DESCRIPTION	PLAN STATUS	DATE	DESCRIPTION
05/29/2020	ADDENDUM 3		08/07/2020	CONSTRUCTION DOCUMENTS - DRG & SEAL
06/19/2020	ADDENDUM 4		09/29/2020	REVISED

SEAL:

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE
1	EAST TRANSFORMER YARD	02/06/2020	STL/CA, CITY OF ALEXANDRIA	02/02/2020
2	STATION NUMBER REVISION	02/06/2020	STL/CA, CITY OF ALEXANDRIA	02/02/2020
3	PROPOSED SWITCH ENCASEMENT	06/19/2020		
4	DRY UTILITY PLAN	10/06/2020		

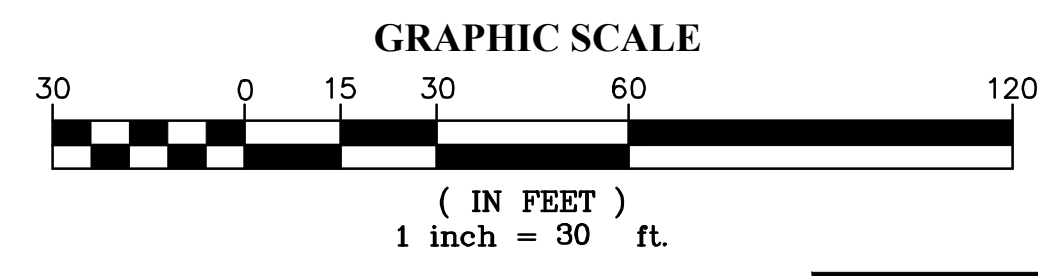
2395 MILL ROAD FINAL SITE PLAN CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: DRY UTILITY PLAN

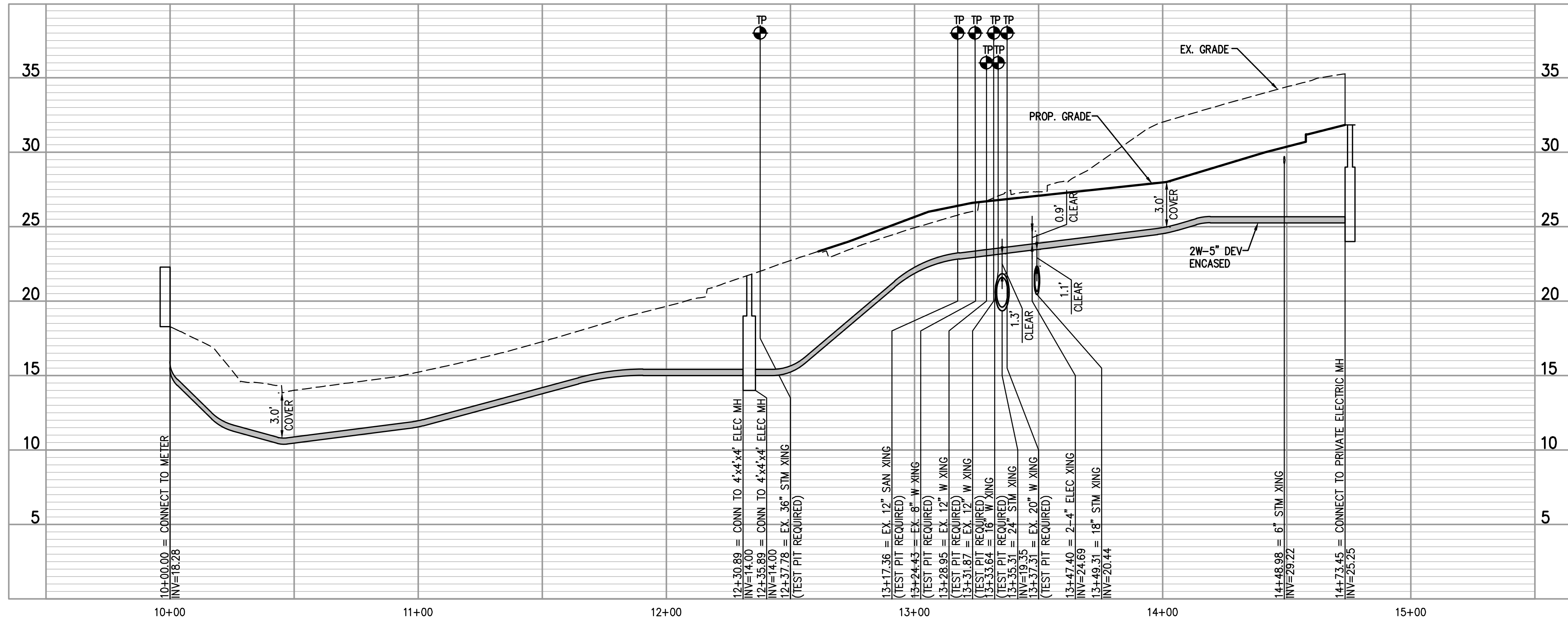
APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 10-23-20
DIRECTOR DATE

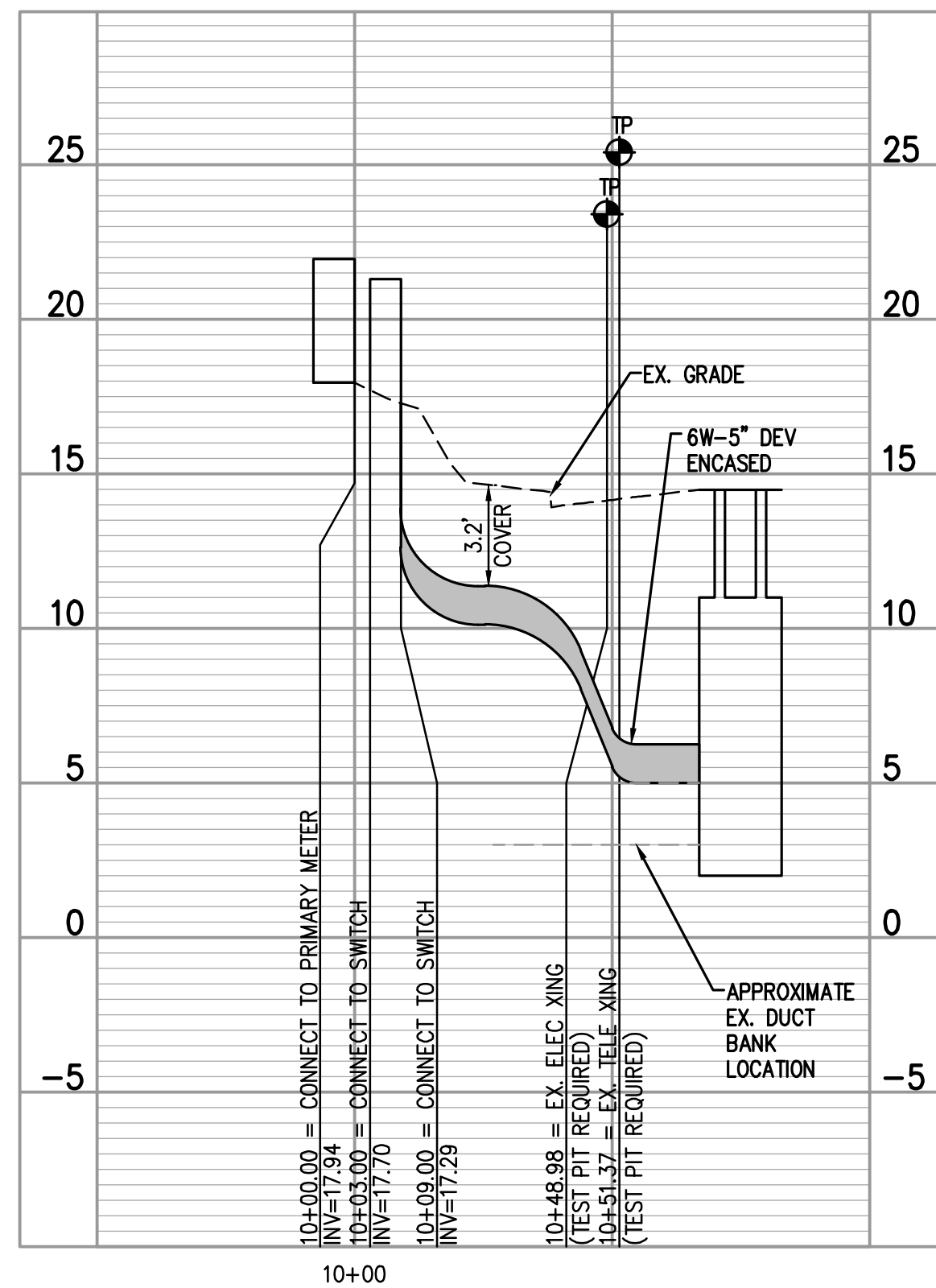
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.



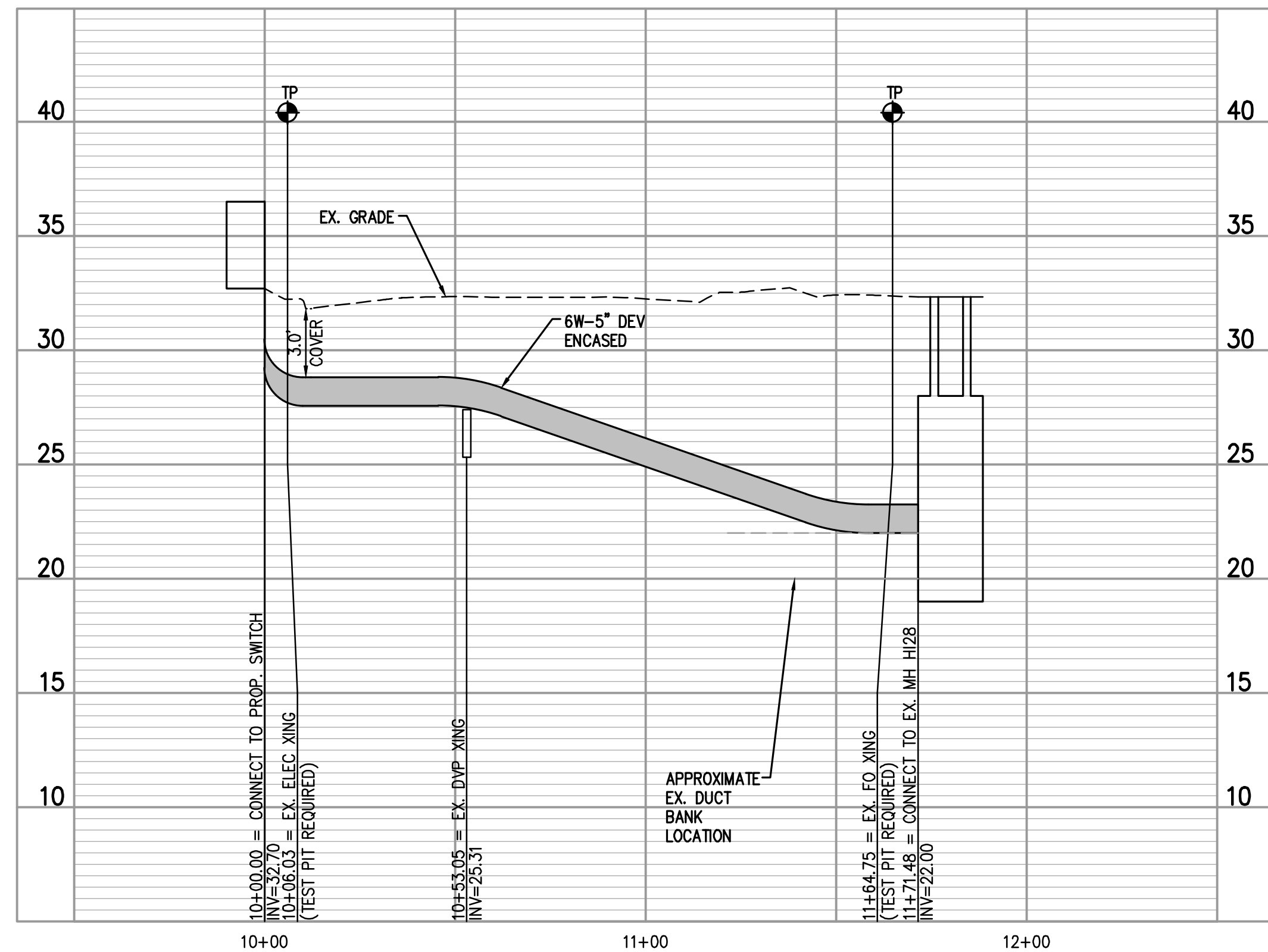
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Peer Review



DUCT BANK #1 PROFILE VIEW
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'



DUCT BANK #2 PROFILE VIEW
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'



DUCT BANK #3 PROFILE VIEW
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'

DESIGN ENGINEER / SURVEYOR

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13461 Sunrise Valley Drive, Suite 500
Herndon, Virginia 20171
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Fax: (703) 461-9720
www.bowmanconsulting.com

SCALE: 1"=30' DATE: SEPTEMBER, 2020 DRAWN: CA

DATE	DESCRIPTION	PLAN STATUS	DATE	DESCRIPTION
05/29/2020	ADDENDUM 3		08/07/2020	CONSTRUCTION DOCUMENTS - DDC & SEAL
06/19/2020	ADDENDUM 4		09/29/2020	DC SET

SEAL:

STEVEN T. LIAM
Lic. No. 409294
10/06/2020
PROFESSIONAL ENGINEER

REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED
1	EAST TRANSFORMER YARD	07/06/2020	STL/CJA CITY OF ALEXANDRIA
2	EAST TRANSFORMER YARD	07/06/2020	STL/CJA CITY OF ALEXANDRIA
4	DRY UTILITY PLAN	10/06/2020	

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: DUCTBANK PROFILES

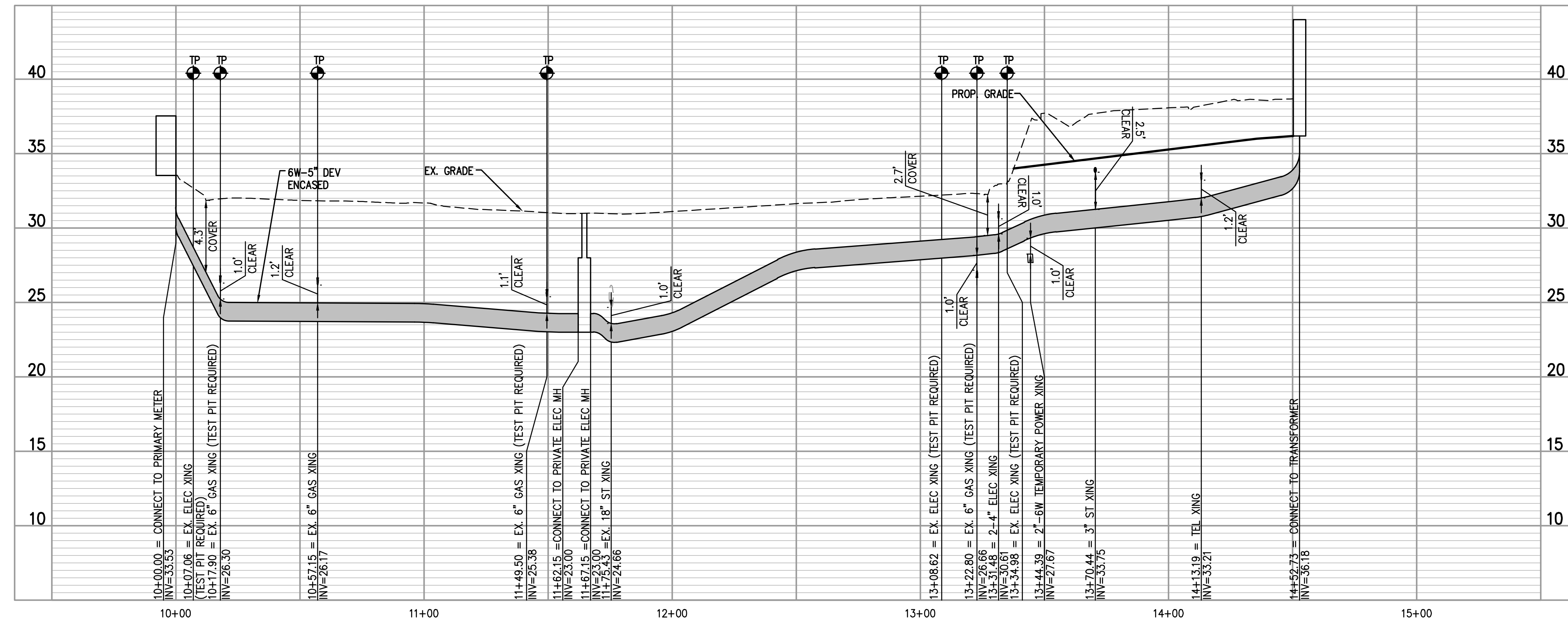
APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 10-23-20
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI
Peer Review



DUCT BANK #4 PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'

DESIGN ENGINEER / SURVEYOR

Bowman CONSULTING

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 13467 Sunrise Valley Drive, Suite 500
 Herndon, Virginia 20171
 Phone: (703) 464-1000
 Fax: (703) 461-9720
 www.bowmanconsulting.com

SCALE: 1"=30'
 DATE: SEPTEMBER, 2020
 DRAWN: CA

DATE	DESCRIPTION	DATE	DESCRIPTION
05/29/2020	ADDENDUM 3	08/07/2020	CONSTRUCTION DOCUMENTS - DRG & SEAL
06/19/2020	ADDENDUM 4	09/29/2020	REV. 31

SEAL:

STEVEN T. LIAM
 Lic. No. 40924
 10/06/2020
 PROFESSIONAL ENGINEER

REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED
1	EAST TRANSFORMER YARD	07/06/2020	STL/CITY OF ALEXANDRIA
2	STORM SEWER REVISION	07/06/2020	STL/CITY OF ALEXANDRIA
3	PROPOSED REVISION	06/19/2020	STL/CITY OF ALEXANDRIA
4	DRY UTILITY PLAN	10/06/2020	

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: DUCTBANK PROFILES

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. 10-23-20
 DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

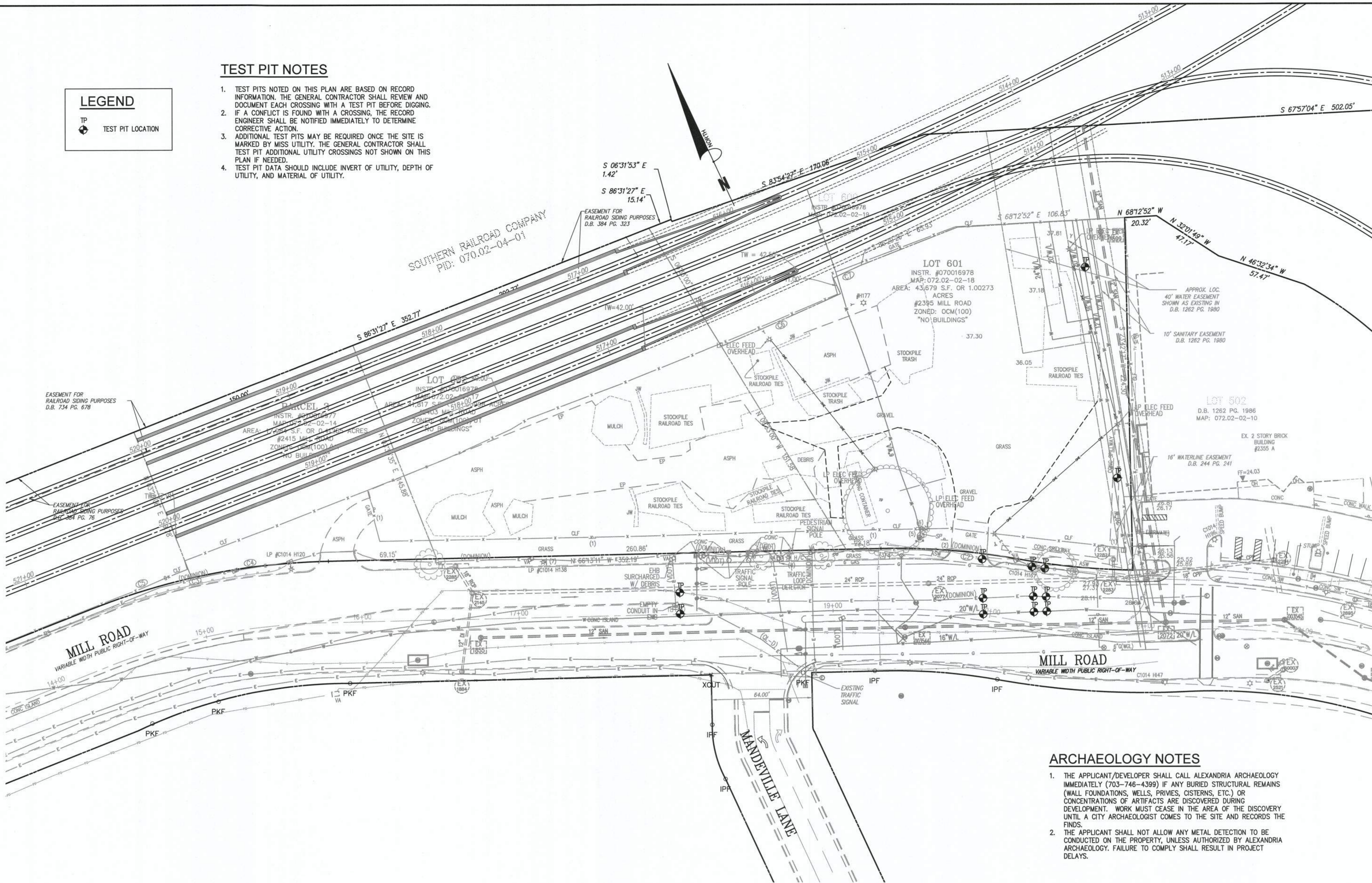
ESI
 Peer Review

LEGEND

TP
 TEST PIT LOCATION

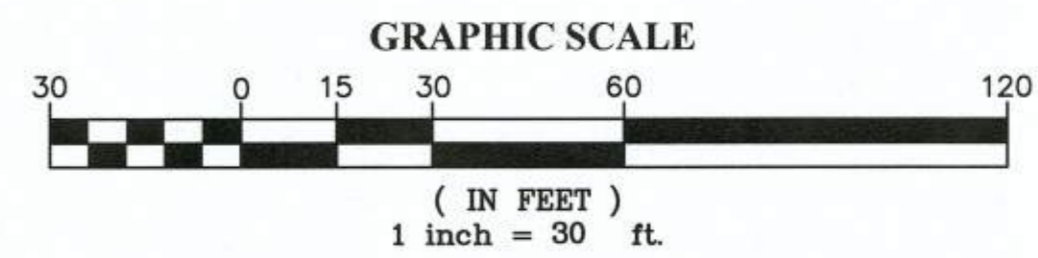
TEST PIT NOTES

1. TEST PITS NOTED ON THIS PLAN ARE BASED ON RECORD INFORMATION. THE GENERAL CONTRACTOR SHALL REVIEW AND DOCUMENT EACH CROSSING WITH A TEST PIT BEFORE DIGGING.
2. IF A CONFLICT IS FOUND WITH A CROSSING, THE RECORD ENGINEER SHALL BE NOTIFIED IMMEDIATELY TO DETERMINE CORRECTIVE ACTION.
3. ADDITIONAL TEST PITS MAY BE REQUIRED ONCE THE SITE IS MARKED BY MISS UTILITY. THE GENERAL CONTRACTOR SHALL TEST PIT ADDITIONAL UTILITY CROSSINGS NOT SHOWN ON THIS PLAN IF NEEDED.
4. TEST PIT DATA SHOULD INCLUDE INVERT OF UTILITY, DEPTH OF UTILITY, AND MATERIAL OF UTILITY.

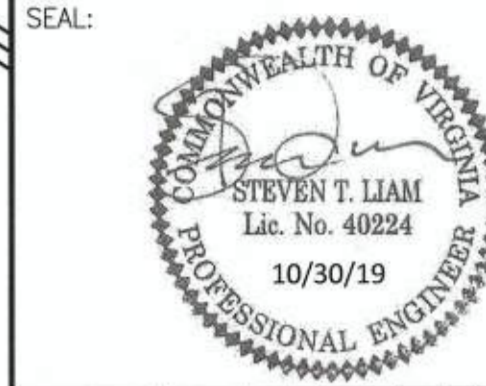


ARCHAEOLOGY NOTES

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REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

**2395 MILL ROAD
 FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA**

TEST PIT LOCATION PLAN
 SHEET NAME:

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

Annellee For KM 11/6/19
 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

[Signature] 11/24/19
 DIRECTOR DATE

[Signature] 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

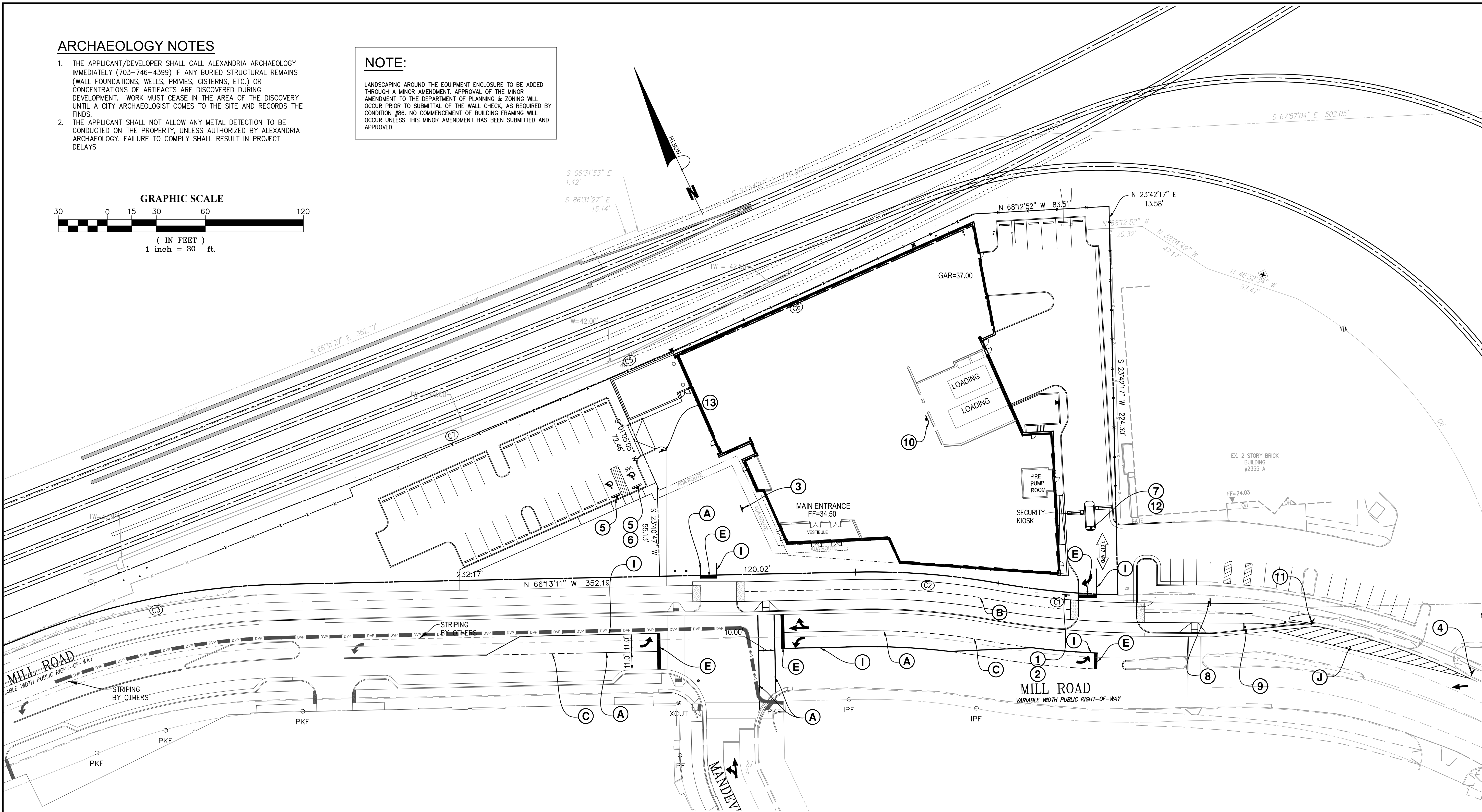
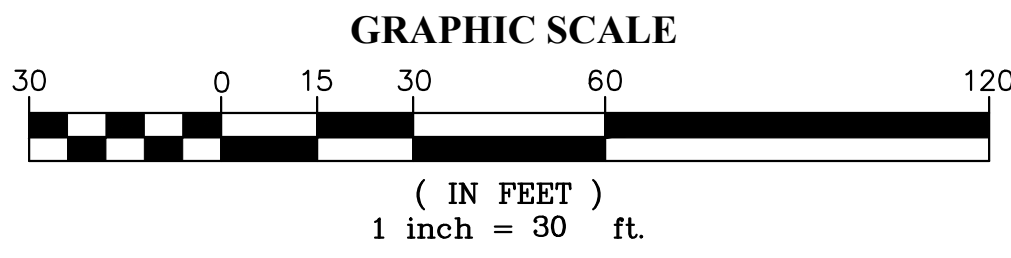
**ESI
 Peer Review**

ARCHAEOLOGY NOTES

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NOTE:

LANDSCAPING AROUND THE EQUIPMENT ENCLOSURE TO BE ADDED THROUGH A MINOR AMENDMENT. APPROVAL OF THE MINOR AMENDMENT TO THE DEPARTMENT OF PLANNING & ZONING WILL OCCUR PRIOR TO SUBMITTAL OF THE WALL CHECK, AS REQUIRED BY CONDITION #66. NO COMMENCEMENT OF BUILDING FRAMING WILL OCCUR UNLESS THIS MINOR AMENDMENT HAS BEEN SUBMITTED AND APPROVED.



STANDARD PAVEMENT MARKING LEGEND:

- (A) WHITE 4" WIDTH
- (B) WHITE 4" WIDTH, 10' LONG, 30' SPACING
- (C) WHITE 4" WIDTH, 2' LONG, 10' SPACING
- (D) WHITE 18" WIDTH
- (E) WHITE 24" WIDTH
- (F) WHITE 6" WIDTH
- (G) WHITE 8" WIDTH
- (H) YELLOW 4" WIDTH
- (I) YELLOW 4" WIDTH, DOUBLE LINE, 4" SPACING
- (J) WHITE 6" WIDTH, 10' SPACING @45 DEGREE
- (K) WHITE SINGLE ARROW
- (L) WHITE COMBINATION ARROW
- (M) WHITE 8' LETTERS
- (N) BIKE SYMBOL
- PAVEMENT MARKINGS IN (WHITE)

SIGN LEGEND:

① R3-1 24"x30"	② R1-1 24"x30"	③ LOADING AND UNLOADING ONLY	④ 	⑤ RESERVED PARKING	⑥ VAN ACCESSIBLE	⑦ WMATA VEHICLES ONLY CHECK POINT 24"x30"	⑧ BEGIN MULTI-USE TRAIL	⑨ END MULTI-USE TRAIL	⑩ NO TRUCK IDLING	⑪ BIKE ROUTE
⑫ NO VISITOR ACCESS 24"x30"	⑬ VISITOR PARKING 24"x30"									

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13461 Sunrise Valley Drive, Suite 500
Herndon, Virginia 20171
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www.bowmanconsulting.com

SCALE: 1"=30'
DATE: JUNE, 2020
DRAWN: CA

DATE	DESCRIPTION	DATE	DESCRIPTION
05/29/2020	ADDENDUM 3		
06/19/2020	ADDENDUM 4		

SEAL:

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED
1	EAST TRANSFORMER YARD	07/06/2020	STL/CA, CITY OF ALEXANDRIA
2	STORM SEWER REVISION	07/06/2020	STL/CA, CITY OF ALEXANDRIA
3	PHASING/NET TIMING/NO	06/19/2020	STL/CA, CITY OF ALEXANDRIA

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

STRIPING AND SIGNAGE PLAN

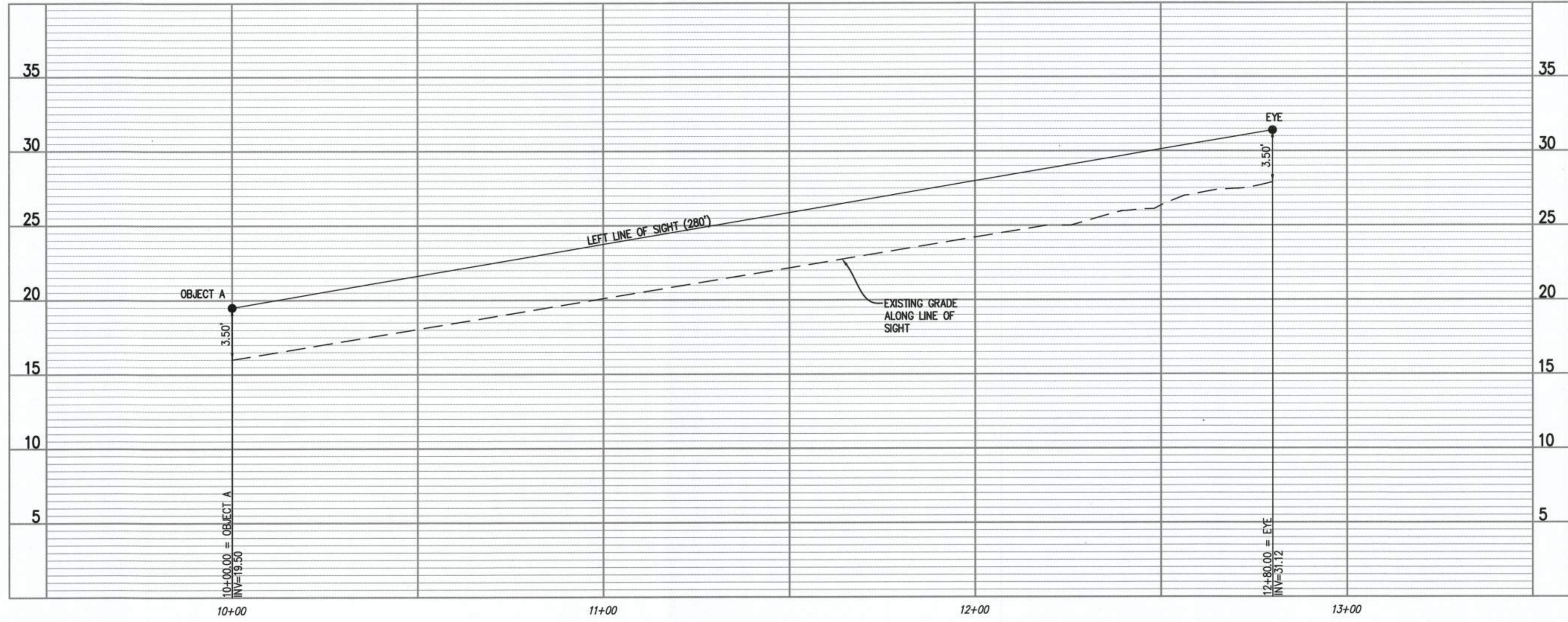
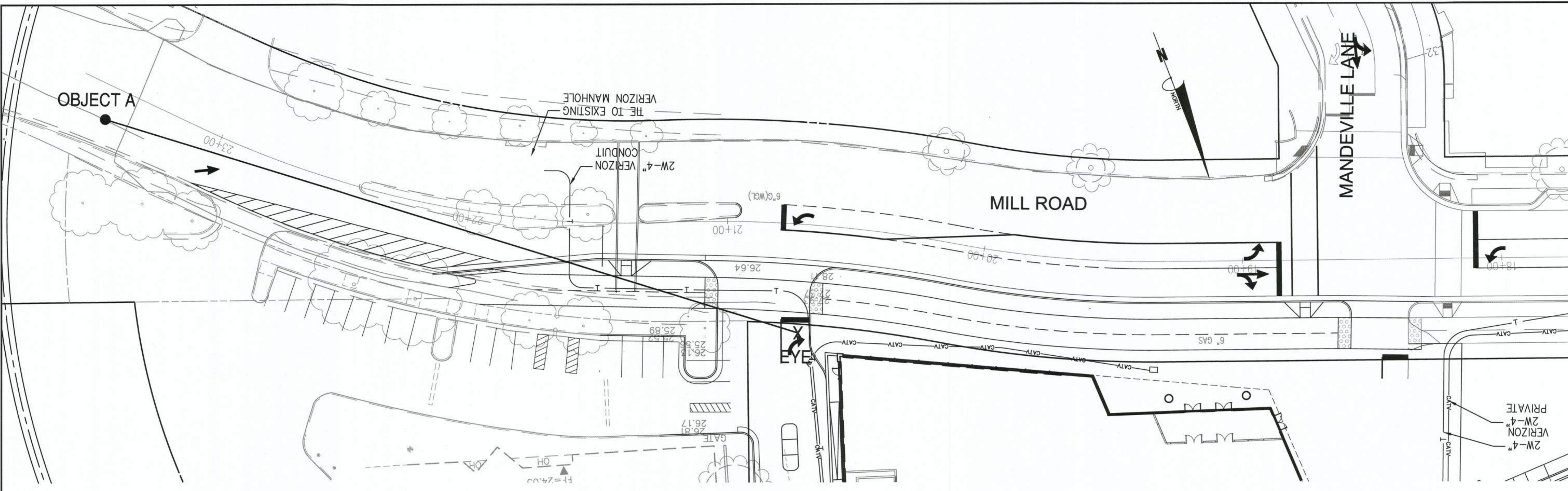
SHEET NAME:

APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No.	
	7.29.20
DIRECTOR	DATE

CHAIRMAN, PLANNING COMMISSION	DATE	
DATE RECORDED		
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

ESI Peer Review



ENTRANCE #1 SIGHT DISTANCE PROFILE VIEW
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'
 POSTED SPEED = 25 MPH

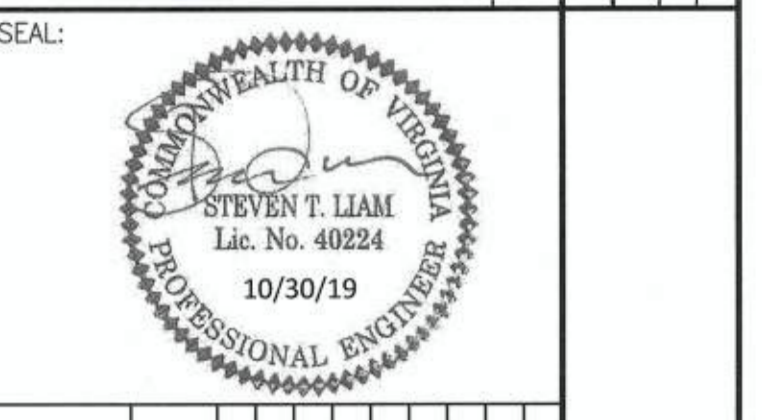
DESIGN ENGINEER / SURVEYOR

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 13461 Sunrise Valley Drive, Suite 500
 Herndon, Virginia 20171
 Phone: (703) 464-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com

SCALE: H:1"=20', V:1"=5'
 DATE: OCTOBER, 2019
 DRAWN: CA

DATE	DESCRIPTION	DATE	PLAN STATUS
10/29/19	FINAL SUBMISSION		



REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: SIGHT DISTANCE PROFILE - ENTRANCE #1

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

Matthew For KM 11/6/19
 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. _____

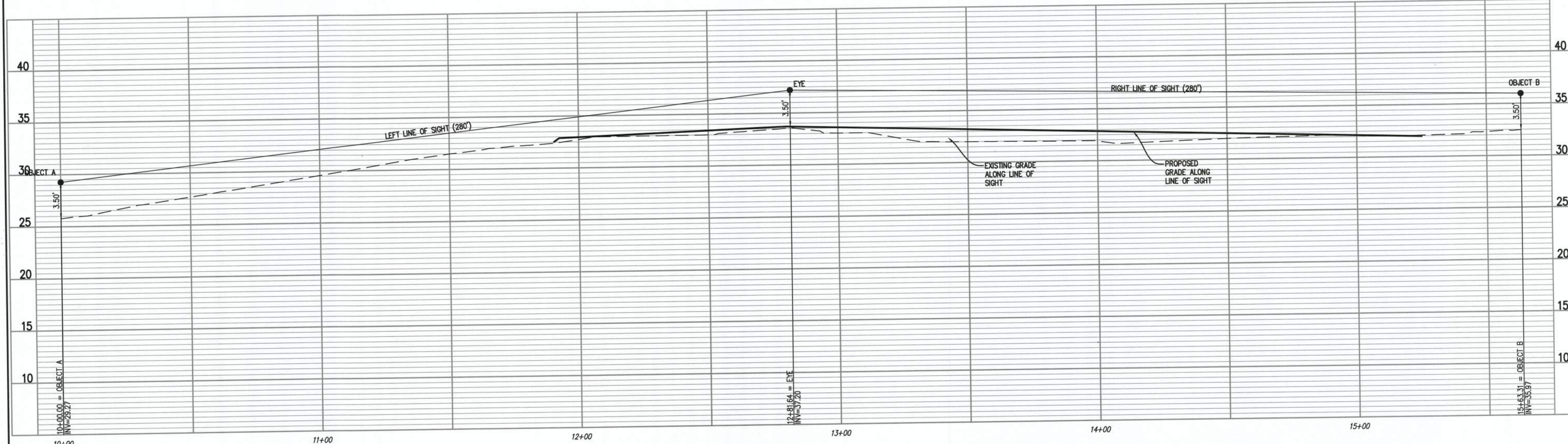
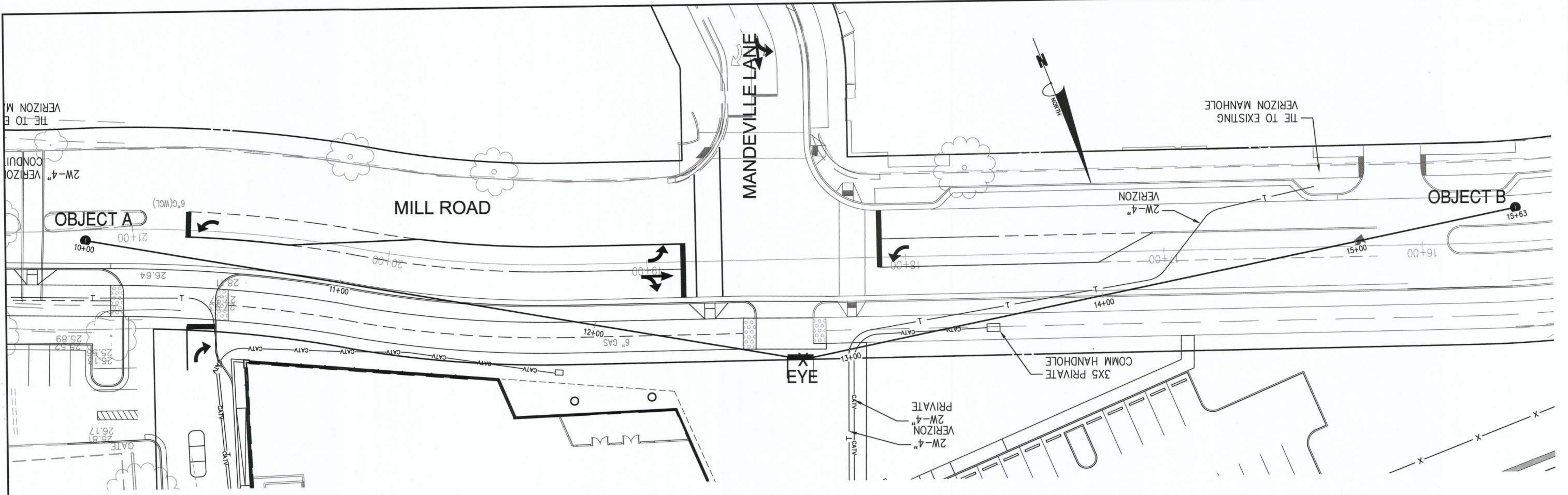
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 DIRECTOR DATE

[Signature] 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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Peer Review

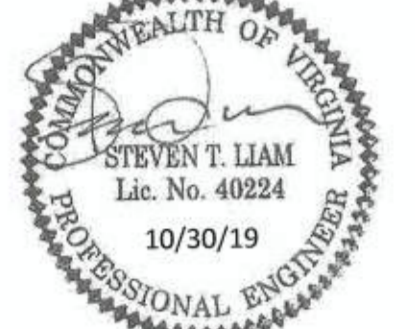


ENTRANCE #2 SIGHT DISTANCE PROFILE VIEW
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'
 POSTED SPEED = 25 MPH

Bowman CONSULTING
 DESIGN ENGINEER / SURVEYOR
 Bowman Consulting Group, Ltd.
 13481 Sunrise Valley Drive, Suite 500
 Herndon, Virginia 20171
 Phone: (703) 464-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com

SCALE: H:1"=20', V:1"=5' DATE: OCTOBER, 2019 DRAWN: CA

DATE	DESCRIPTION	PLAN STATUS
10/30/19	INTAR SUBMISSION	

SEAL:


REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

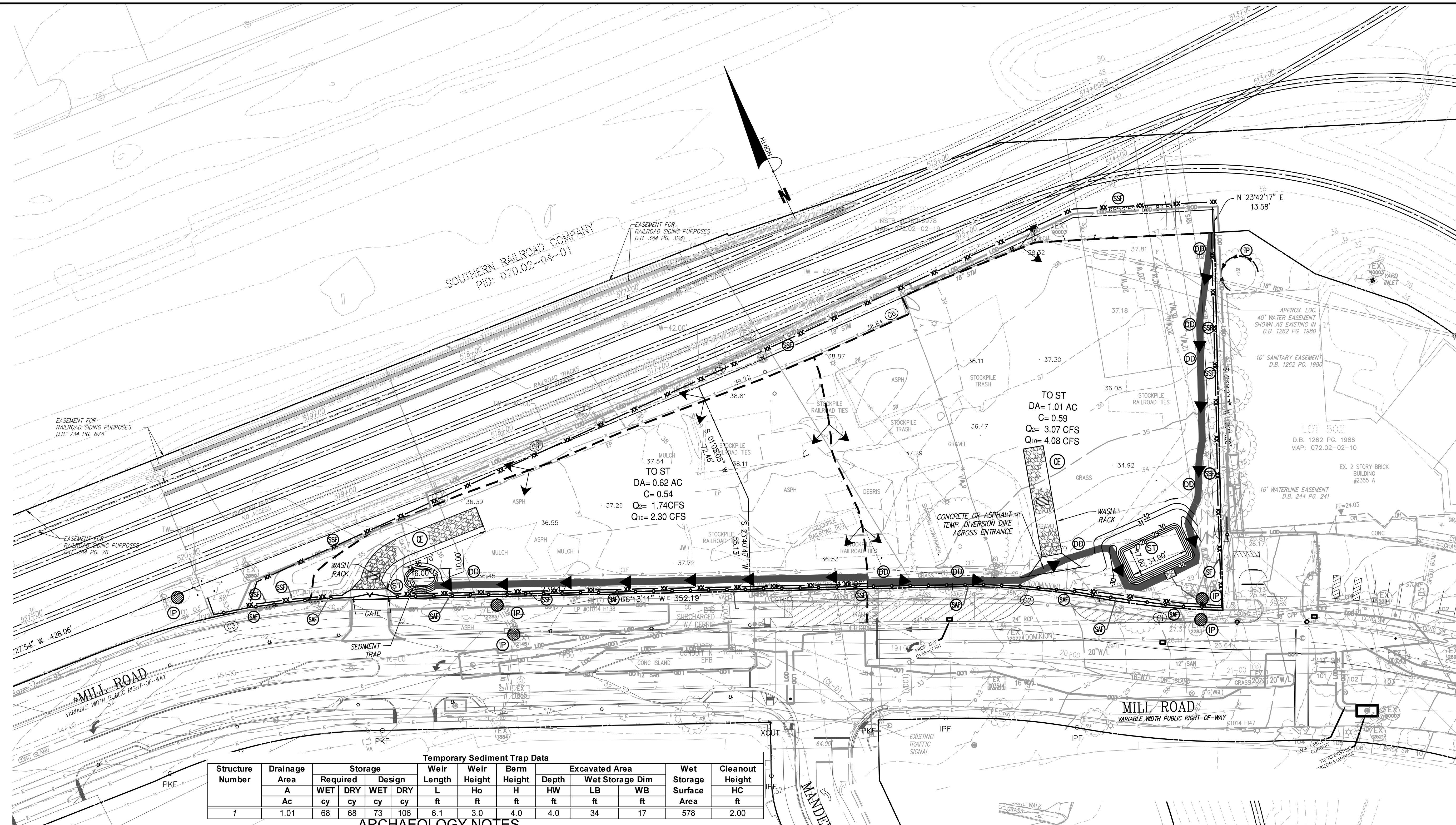
2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: SIGHT DISTANCE PROFILE - ENTRANCE #2

APPROVED SPECIAL USE PERMIT NO. **2018-0028**
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR: *Matthew For KM* DATE: **11/6/19**
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No.: *11/2/19* DATE: **11/6/19**
 CHAIRMAN, PLANNING COMMISSION DATE: **11/6/19**

DATE RECORDED
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review



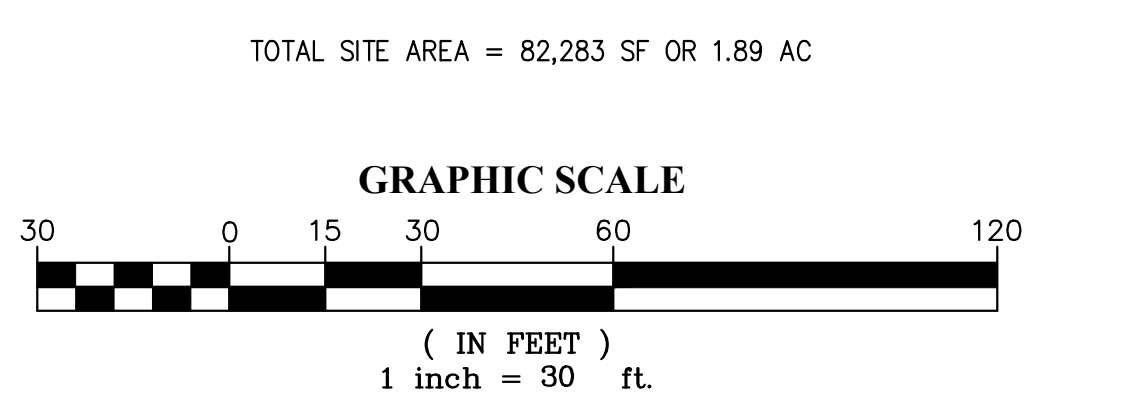
Structure Number	Drainage Area A Ac	Storage				Weir Length L ft	Weir Height Ho ft	Berm Height H ft	Excavated Area		Wet Storage Surface Area Area sq ft	Cleanout Height HC ft	
		Required WET cy	Design DRY cy	WET cy	DRY cy				Depth ft	Wet Storage Dim LB WB ft			
7	1.01	68	68	73	106	6.1	3.0	4.0	4.0	34	17	578	2.00

- ARCHAEOLOGY NOTES**
1. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
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EROSION AND SEDIMENT CONTROL LEGEND

NO.	TITLE	KEY	SYMBOL	NO.	TITLE	KEY	SYMBOL
3.01	SAFETY FENCE	SAF			STORM DRAIN INLET PROTECTION GUTTER GATOR	IP	
3.05	SILT FENCE	SF			DRAINAGE DIVIDE		
3.05	SUPER SILT FENCE	SSF			LIMITS OF DISTURBANCE		
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE		3.38	TREE PRESERVATION & PROTECTION	TP	

NO.	TITLE	KEY	SYMBOL
3.09	TEMPORARY DIVERSION DIKE	DD	



MATCH LINE THIS SHEET

DESIGN ENGINEER / SURVEYOR

Bowman CONSULTING

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13481 Sunrise Valley Drive, Suite 500
Herndon, Virginia 20171
Phone: (703) 464-1000
Fac: (703) 461-9720
www.bowmanconsulting.com

SCALE: 1"=30'
DATE: FEBRUAR, 2020
DRAWN: CA

DATE	DESCRIPTION	DATE	PLAN STATUS
10/20/19	MYLAR SUBMISSION		

SEAL:

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE
1	EAST TRANSFORMER YARD	02/06/2020	STL/CITY OF ALEXANDRIA	02/06/2020
2	STORM SEWER REVISION	02/06/2020	STL/CITY OF ALEXANDRIA	02/06/2020

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: EROSION AND SEDIMENT CONTROL PLAN - PHASE IA

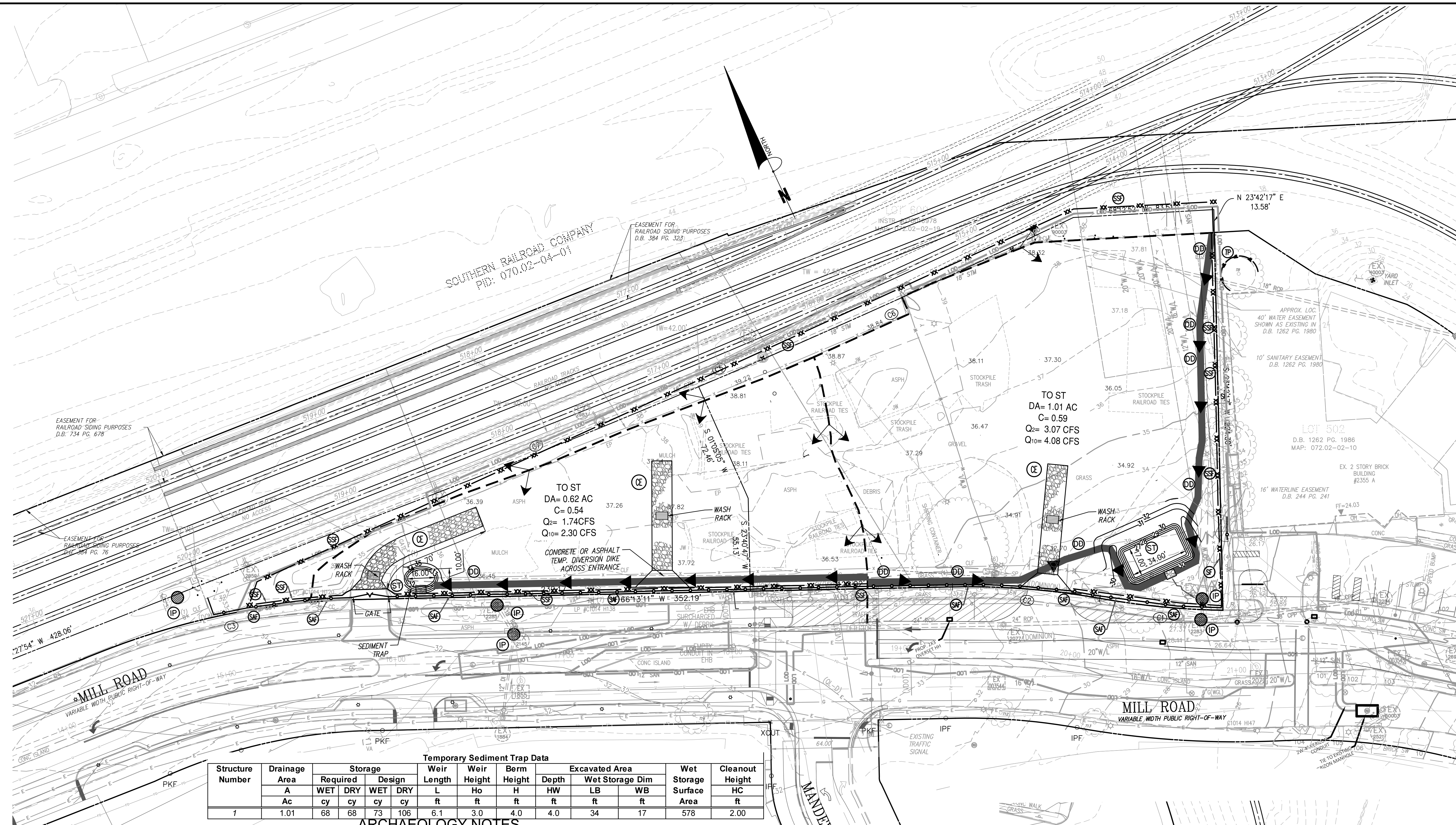
APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 3.26.20
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review



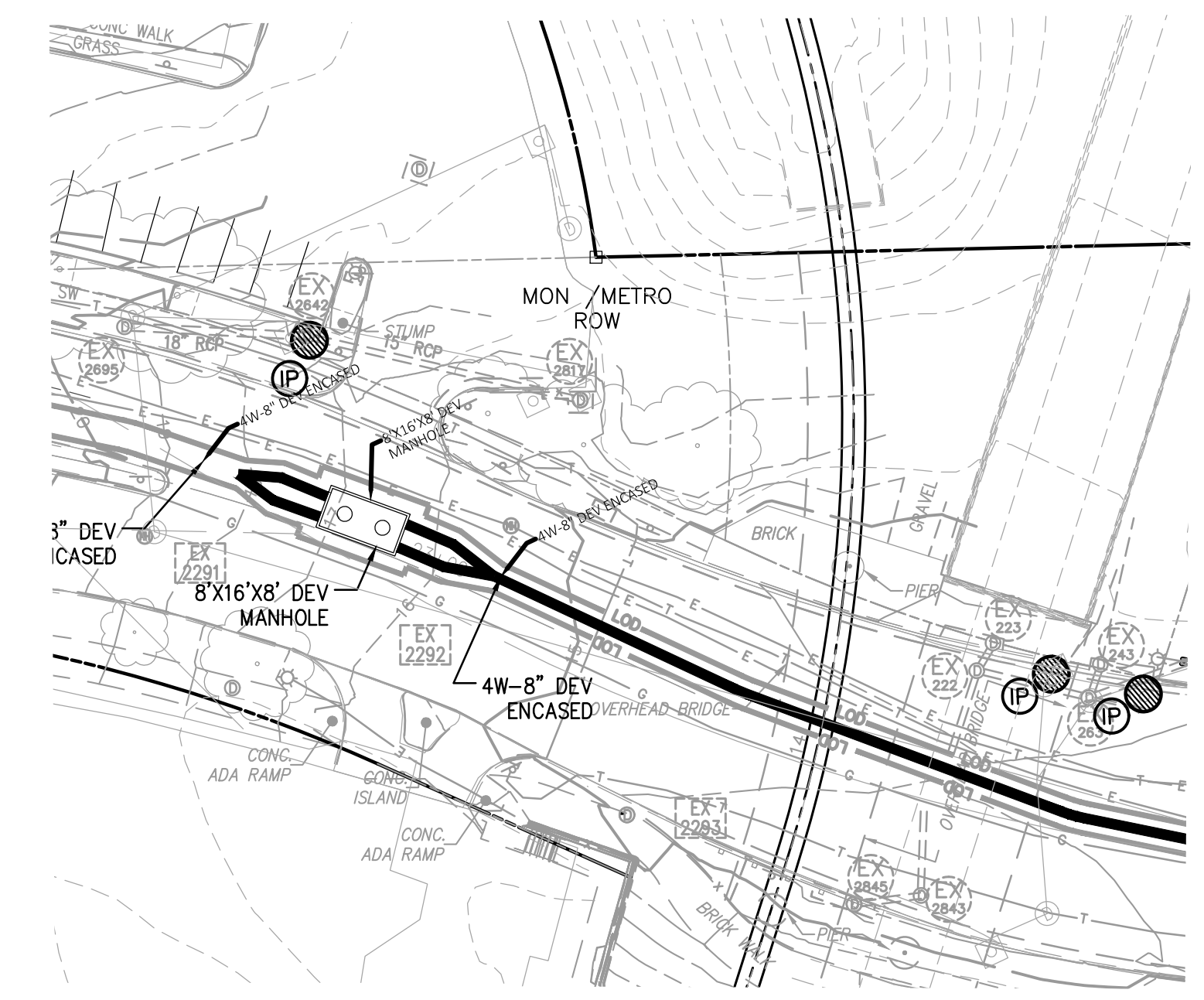
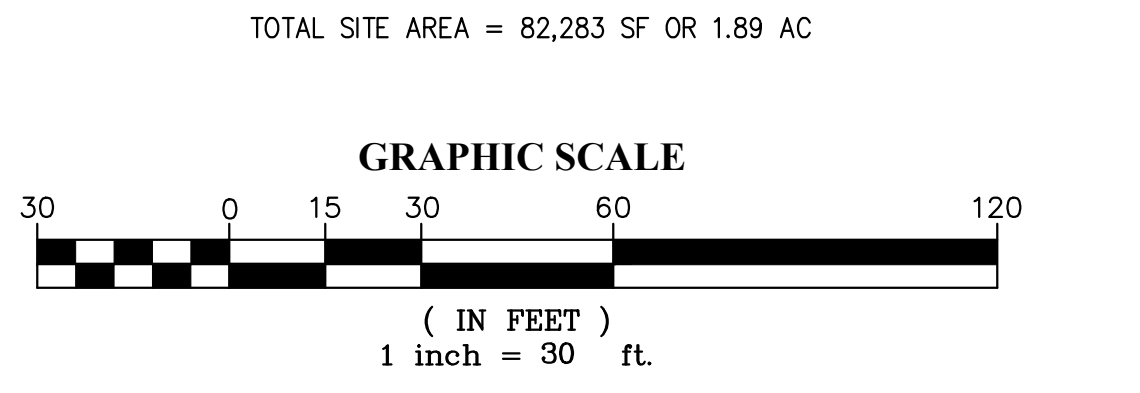
Structure Number	Drainage Area A Ac	Storage				Weir Length L ft	Weir Height Ho ft	Berm Height H ft	Excavated Area		Wet Storage Surface Area Area sq ft	Cleanout Height HC ft	
		Required WET cy	Design DRY cy	WET cy	DRY cy				Depth ft	Wet Storage Dim LB ft			WB ft
1	1.01	68	68	73	106	6.1	3.0	4.0	4.0	34	17	578	2.00

- ARCHAEOLOGY NOTES**
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 - THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

EROSION AND SEDIMENT CONTROL LEGEND

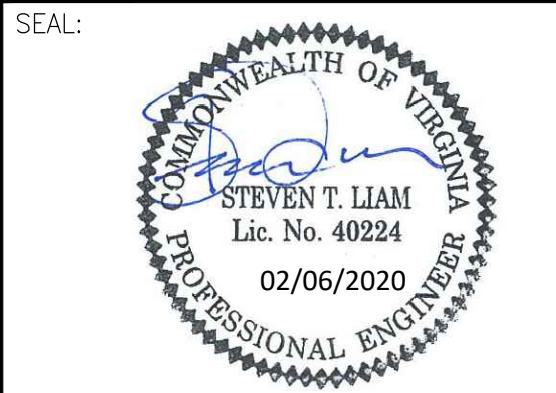
NO.	TITLE	KEY	SYMBOL	NO.	TITLE	KEY	SYMBOL
3.01	SAFETY FENCE	SAF			STORM DRAIN INLET PROTECTION GUTTER GATOR	IP	
3.05	SILT FENCE	SF			DRAINAGE DIVIDE		
3.05	SUPER SILT FENCE	SSF			LIMITS OF DISTURBANCE		
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE		3.38	TREE PRESERVATION & PROTECTION	TP	

NO.	TITLE	KEY	SYMBOL
3.09	TEMPORARY DIVERSION DIKE	DD	



ESI Peer Review

MATCH LINE THIS SHEET



NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE
1	EAST TRANSFORMER YARD	02/06/2020	STL	CITY OF ALEXANDRIA	02/06/2020
2	STORM SEWER REVISION	02/06/2020	STL	CITY OF ALEXANDRIA	02/06/2020

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: EROSION AND SEDIMENT CONTROL PLAN - PHASE IB

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

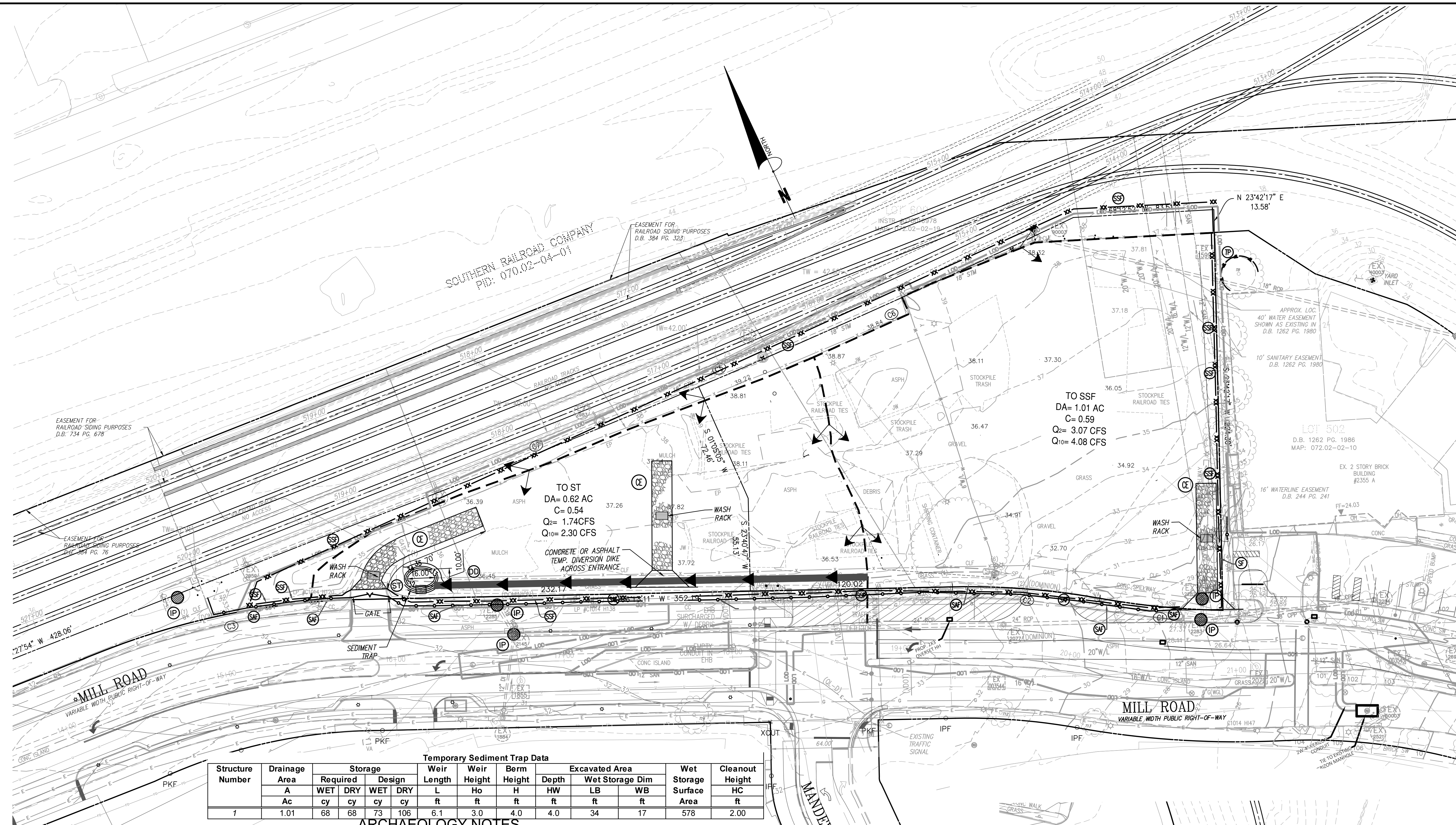
DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____
 DIRECTOR *John V.* DATE 3.26.20

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Bowman CONSULTING
 DESIGN ENGINEER / SURVEYOR
 Bowman Consulting Group, Ltd.
 13461 Sunrise Valley Drive, Suite 500
 Herndon, Virginia 20171
 Phone: (703) 464-1000
 Fax: (703) 464-1920
 www.bowmanconsulting.com

DATE: 10/20/19
 PLAN STATUS: YEAR SUBMISSION
 DATE: 02/06/2020
 PLAN STATUS: DATE

SCALE: 1" = 30'
 DATE: FEBRUAR, 2020
 DRAWN: CA



MATCH LINE THIS SHEET

Structure Number	Drainage Area Ac	Storage				Weir Length ft	Weir Height ft	Berm Height ft	Excavated Area		Wet Storage Surface Area sq ft	Cleanout Height ft	
		Required		Design					Depth ft	Wet Storage Dim LB WB			
		WET cy	DRY cy	WET cy	DRY cy								
1	1.01	68	68	73	106	6.1	3.0	4.0	4.0	34	17	578	2.00

ARCHAEOLOGY NOTES

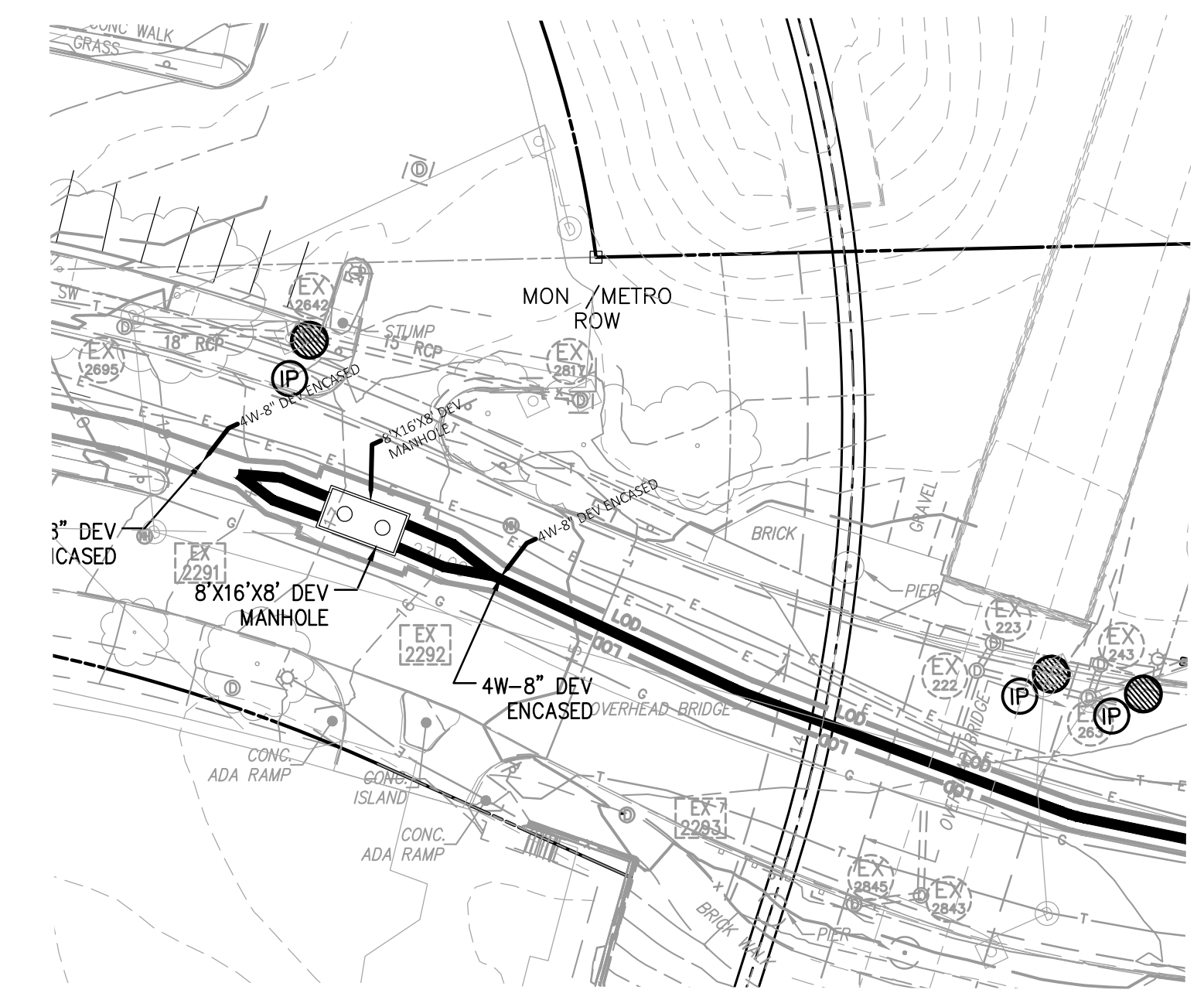
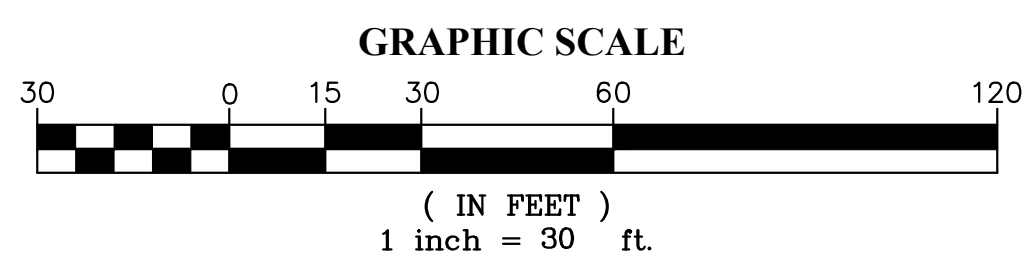
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EROSION AND SEDIMENT CONTROL LEGEND

NO.	TITLE	KEY	SYMBOL	NO.	TITLE	KEY	SYMBOL
3.01	SAFETY FENCE	SAF	—○—○—		STORM DRAIN INLET PROTECTION GUTTER GATOR	IP	—(IP)—
3.05	SILT FENCE	SF	—X—		DRAINAGE DIVIDE		— — —
3.05	SUPER SILT FENCE	SSF	—XX—		LIMITS OF DISTURBANCE		—LOD—
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	—(CE)—	3.38	TREE PRESERVATION & PROTECTION	TP	—TP—

NO.	TITLE	KEY	SYMBOL
3.09	TEMPORARY DIVERSION DIKE	DD	—(DD)—

TOTAL SITE AREA = 82,283 SF OR 1.89 AC



ESI Peer Review

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 Herndon, Virginia 20171
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 www.bowmanconsulting.com

DATE: 10/20/19
 DESCRIPTION: MYLAR SUBMISSION
 PLAN STATUS: DATE DESCRIPTION
 DATE: 10/20/19
 DATE: FEBRUAR, 2020
 DRAIN: CA
 SCALE: 1"=30'

SEAL:

 STEVEN T. LIAM
 Lic. No. 40224
 02/06/2020
 PROFESSIONAL ENGINEER

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE
1	EAST TRANSFORMER YARD	02/06/2020	STL, CITY OF ALEXANDRIA	02/06/2020
2	STORM SEWER REVISION	02/06/2020	STL, CITY OF ALEXANDRIA	02/06/2020

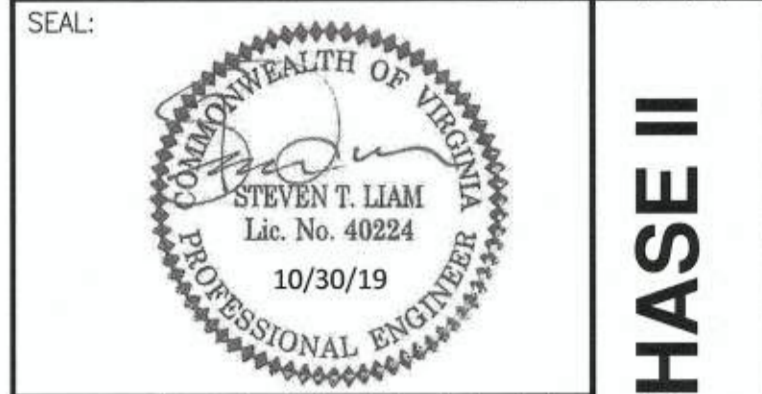
2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: EROSION AND SEDIMENT CONTROL PLAN - PHASE IC

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. 3.26.20
 DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

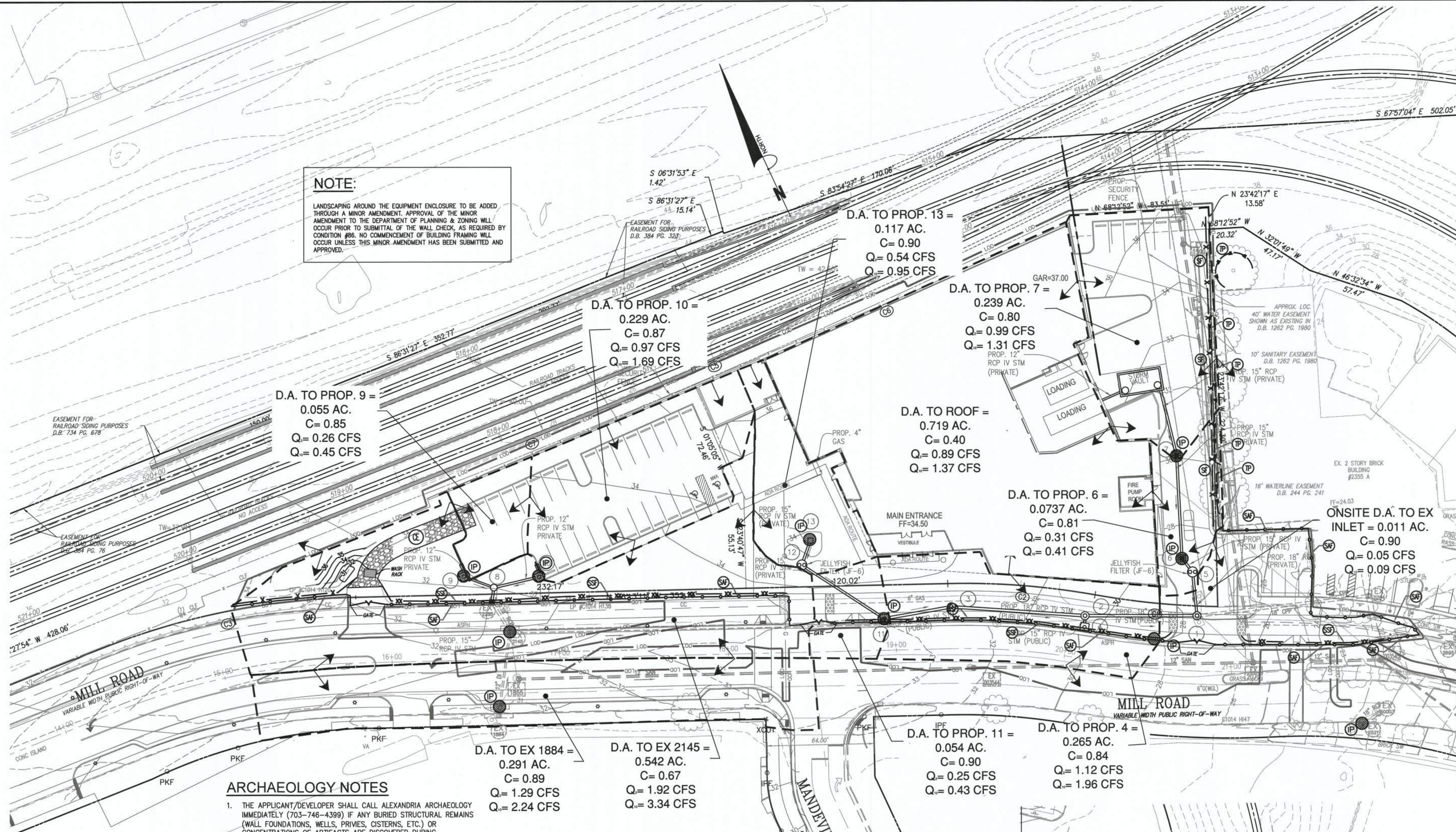


NO.	DESCRIPTION	DATE	APPROVED	REVISION

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA
EROSION AND SEDIMENT CONTROL PLAN - PHASE II

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
 Director: *Abigail Fox KM* 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. *11/24/19*
 Director: *William M. Hunk* 11/6/19
 CHAIRMAN, PLANNING COMMISSION
 DATE RECORDED: _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

ESI Peer Review



NOTE:
 LANDSCAPING AROUND THE EQUIPMENT ENCLOSURE TO BE ADDED THROUGH A MINOR AMENDMENT. APPROVAL OF THE MINOR AMENDMENT TO THE DEPARTMENT OF PLANNING & ZONING WILL OCCUR PRIOR TO SUBMITTAL OF THE WALL CHECK, AS REQUIRED BY CONDITION #66. NO COMMENCEMENT OF BUILDING FRAMING WILL OCCUR UNLESS THIS MINOR AMENDMENT HAS BEEN SUBMITTED AND APPROVED.

D.A. TO PROP. 9 =
 0.055 AC.
 C = 0.85
 Q = 0.26 CFS
 Q = 0.45 CFS

D.A. TO PROP. 10 =
 0.229 AC.
 C = 0.87
 Q = 0.97 CFS
 Q = 1.69 CFS

D.A. TO PROP. 13 =
 0.117 AC.
 C = 0.90
 Q = 0.54 CFS
 Q = 0.95 CFS

D.A. TO PROP. 7 =
 0.239 AC.
 C = 0.80
 Q = 0.99 CFS
 Q = 1.31 CFS

D.A. TO ROOF =
 0.719 AC.
 C = 0.40
 Q = 0.89 CFS
 Q = 1.37 CFS

D.A. TO PROP. 6 =
 0.0737 AC.
 C = 0.81
 Q = 0.31 CFS
 Q = 0.41 CFS

ONSITE D.A. TO EX INLET =
 0.011 AC.
 C = 0.90
 Q = 0.05 CFS
 Q = 0.09 CFS

D.A. TO EX 1884 =
 0.291 AC.
 C = 0.89
 Q = 1.29 CFS
 Q = 2.24 CFS

D.A. TO EX 2145 =
 0.542 AC.
 C = 0.67
 Q = 1.92 CFS
 Q = 3.34 CFS

D.A. TO PROP. 11 =
 0.054 AC.
 C = 0.90
 Q = 0.25 CFS
 Q = 0.43 CFS

D.A. TO PROP. 4 =
 0.265 AC.
 C = 0.84
 Q = 1.12 CFS
 Q = 1.96 CFS

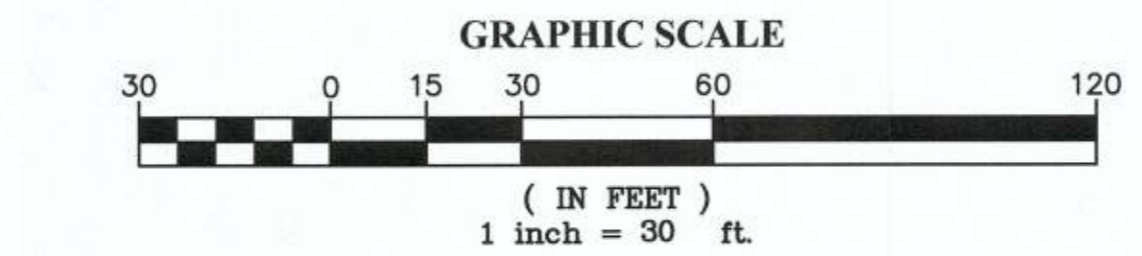
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EROSION AND SEDIMENT CONTROL LEGEND

NO.	TITLE	KEY	SYMBOL	NO.	TITLE	KEY	SYMBOL
3.01	SAFETY FENCE	SAF			STORM DRAIN INLET PROTECTION	IP1	
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE			DRAINAGE DIVIDE		
3.38	TREE PRESERVATION & PROTECTION	TP			LIMITS OF DISTURBANCE	L0D	
	STORM DRAIN INLET PROTECTION GUTTER GATOR	IP					

TOTAL SITE AREA = 82,283 SF OR 1.89 AC



NOTES

- THE LIMITS OF DISTURBANCE AS SHOWN ON THIS PLAN ARE THE ULTIMATE LIMITS FOR THE PROJECT. THE CONTRACTOR MUST APPLY SEPARATELY TO THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&S) FOR ANY WORK, INCLUDING THE PLACEMENT OF CONSTRUCTION FENCING, WITHIN THE PUBLIC RIGHT OF WAY. THE CITY WILL NOT ALLOW INCLUSION OF ANY PORTION OF THE RIGHT OF WAY, INCLUDING SIDEWALKS, INTO THE PROJECT AREA FOR THE PROJECT DURATION. WORK AND ASSOCIATED CLOSURES IN THE PUBLIC RIGHT OF WAY WILL BE PERMITTED SEPARATELY ON AN AS NEEDED BASIS BY T&S.

MATCH LINE THIS SHEET

MATCH LINE THIS SHEET

EROSION & SEDIMENT CONTROL NARRATIVE

EXISTING CONDITIONS:

THE EXISTING SITE IS A VACANT LOT USED AS OUTDOOR STORAGE FOR WMATA.

PROPOSED CONDITIONS:

THE APPLICANT IS REQUESTING TO DEVELOP A 14-STORY OFFICE BUILDING. IT INCLUDES APPROXIMATELY 408,767 SF OF NET FLOOR AREA INCLUDING A CONFERENCE CENTER, OFFICE LOBBY, OFFICE SPACE AND THREE LEVELS OF ABOVE GROUND PARKING. THIS IS PART OF THE EISENHOWER EAST SMALL AREA PLAN (EESAP)

ADJACENT PROPERTIES:

THE PROJECT AREA IS BOUNDED BY WMATA RAIL TRACKS TO THE NORTH, A CITY OF ALEXANDRIA PROPERTY TO THE EAST, MILL ROAD TO THE SOUTH, AND A VACANT LOT TO THE WEST.

CRITICAL AREAS:

THERE ARE NO CRITICAL SLOPES ON THIS PROPERTY.
TOTAL DISTURBED AREA: 82,283 S.F. 1.89 A.C.

NOTES:

- T&ES MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENTS OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
- THE DEVELOPER AND CONTRACTORS ARE TO KEEP DENUDE AREAS TO A MINIMUM. AN EROSION AND SEDIMENT CONTROL PLAN IS INCLUDED WITH THESE FINAL PLANS FOR APPROVAL BY T&ES FOR REFERENCE BY THE EROSION AND SEDIMENT CONTROL PERMIT. ALL EROSION / SEDIMENT CONTROL MEASURES WILL CONFORM TO THE CURRENT STANDARDS OF THE CITY OF ALEXANDRIA AND THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS §4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. AN INSPECTION BY THE CITY IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND BEFORE ANY CLEARING OR GRADING CAN BEGIN.
- TO THE EXTENT POSSIBLE ALL TREE PROTECTION SHALL BE INSTALLED AT THE DRIP LINE OF THE TREE(S).
- PRIOR TO ANY LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS, THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE CITY.
- AT THE COMPLETION OF THE PROJECT AND PRIOR TO THE RELEASE OF THE BOND ALL DISTURBED AREAS SHALL BE STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE REMOVED.
- THE LAND-DISTURBING PROJECT IS ELIGIBLE FOR COVERAGE UNDER THE VSMP GENERAL PERMIT FOR DISCHARGES OF STORMWATER FROM CONSTRUCTION ACTIVITIES.
- NO CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE STORED OR STAGED BEYOND THE LIMITS OF DISTURBANCE.
- A VPDES PERMIT IS NOT REQUIRED FOR RESIDENTIAL DISCHARGE.
- THIS SITE IS NOT PUBLICLY OWNED TREATMENT WORKS (POTW) AND IS NOT SUBJECT TO A SEPARATE PERMIT.

UTILITY WORK:

- NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME. ALL EXCAVATED MATERIAL TO BE REPLACED INTO THE TRENCH SHALL BE STOCKPILED ON THE HIGH SIDE OF THE TRENCH.
- IF ANY TRENCH WORK WILL REMAIN OPEN AFTER THE END OF THE WORKDAY ALL NEEDED EROSION AND SEDIMENT CONTROLS SHALL BE EMPLOYED APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE CITY OF ALEXANDRIA.
- A CERTIFIED LAND DISTURBER IS REQUIRED TO BE IDENTIFIED PRIOR TO THE RELEASE OF FINAL SITE PLAN.

EROSION CONTROL:

EROSION SHALL BE MINIMIZED UTILIZING CONTROL DEVICES AS IDENTIFIED BY ON THIS SHEET. THESE CONTROLS HAVE BEEN SELECTED TO MINIMIZE SEDIMENT AND EROSION TO ADJACENT PROPERTIES AND TRAVELING BY THE FOLLOWING:

- IN CONSIDERATION OF THE ERODIBLE SOILS WITHIN THE SITE, CONTRACTOR SHALL EVALUATE THE SITE TO DETERMINE EXTENSIVE CUT AND FILL AREAS, AND SHALL WORK THOSE AREAS TO MINIMIZE THE EXTENT OF HEAVY EQUIPMENT WORK. CONTRACTOR SHALL STRIVE TO BRING AREAS TO GRADE (ROUGH OR FINISH) AND TO STABILIZE, BY TEMPORARY OR PERMANENT VEGETATION, THESE DISTURBED AREAS PRIOR TO BEGINNING WORK IN ANOTHER AREA.
- FILL AREAS SHALL BE COMPACTED COMPLETELY PRIOR TO THE END OF EACH WORK DAY. FILL SLOPE SURFACES SHALL BE LEFT ROUGHENED TO REDUCE SHEET EROSION OF THE SLOPES. CONTRACTOR SHALL REDIRECT CONCENTRATED RUNOFF, BY EARTH BERMS OR OTHER DEVICES, AROUND ACTIVELY DISTURBED AREAS TO STABILIZE OUTLETS.
- CUT SLOPES, AS NECESSARY, SHALL BE PROTECTED FROM CONCENTRATED FLOW BY BERMS ABOVE THE SLOPE AND DIRECTED AROUND THE DISTURBED AREA TO STABILIZED OUTLET.
- IN NEW PAVEMENT AREAS, PLACE THE AGGREGATE BASE STONE ON THE FINISH SUBGRADE AT THE EARLIEST POSSIBLE TIME.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CARRIED OUT AND MAINTAINED ACCORDING TO THE STANDARDS AND SPECIFICATIONS IN THE CURRENT VERSION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.

SEDIMENT CONTROL:

SEDIMENT SHALL BE CONTAINED BY THE TIMED INSTALLATION OF MECHANICAL CONTROL DEVICES. THESE DEVICES SHALL BE PLACED PRIOR TO EARTH DISTURBANCE OPERATIONS AS DIRECTED BY THE SEQUENCE OF CONSTRUCTION OPERATIONS (THIS NARRATIVE). DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEVICE.

PERMANENT STABILIZATION:

ALL UNPAVED AREAS SHALL BE PERMANENTLY SEEDED OR SODDED, OR LANDSCAPED PRIOR TO THE REMOVAL OF TEMPORARY SILTATION CONTROL MEASURES.

ANY DISTURBED AREAS OF THE SITE THAT ARE NOT TO BE WORKED FOR SEVEN OR MORE CALENDAR DAYS MUST BE STABILIZED.

ANY DENUDE SLOPES, EITHER DISTURBED OR CREATED BY THIS PLAN THAT EXCEED 25% ARE TO BE SODDED AND PEGGED FOR STABILITY AND EROSION CONTROL.

ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 48 HOURS AFTER GRADING. ANY STOCKPILED MATERIAL WHICH WILL REMAIN IN PLACE LONGER THAN 10 DAYS IS TO BE SEEDED FOR TEMPORARY VEGETATION AND MULCHED WITH STRAW MULCH OR OTHERWISE STABILIZED. ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES MUST BE EMPLOYED FOR STOCKPILE AREAS.

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDE AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDE AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL NOT BE WORKED ON FOR SEVEN OR MORE CALENDAR DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN SIX (6) MONTHS. FOR WINTER STABILIZATION ANY AREAS DENUDE FOR MORE THAN FOURTEEN (14) DAYS AFTER NOVEMBER 1 AND BEFORE MARCH 1 SHALL BE MULCHED AND SEEDED APPROPRIATE TO THE SEASON AND SITE CONDITIONS.

SEQUENCE OF CONSTRUCTION OPERATIONS:

(GENERALLY) THE FOLLOWING SEQUENCE SHALL BE FOLLOWED IN THE PLACEMENT OF REQUIRED SEDIMENT CONTROL DEVICES:

PHASE 1A

- INSTALL SUPER SILT FENCE, SILT FENCE, DIVERSION DIKE, SEDIMENT TRAP SAFETY FENCE, OUTLET PROTECTION AND INLET PROTECTION AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN - PHASE I (C14.00).
- INSTALL CONSTRUCTION ENTRANCE AS SHOWN. WATER SOURCE FOR WASHING WILL BE PROVIDED BY PUBLIC MEANS OR WASH TRUCK AS SHOWN ON EROSION AND SEDIMENT CONTROL PLAN.
- COMMENCE DEMOLITION, CLEARING, AND ROUGH GRADING. ALL PERMANENT CONTROLS SHALL BE IN PLACE PRIOR TO GRADING OPERATIONS.

PHASE 1B

- INSTALL CONSTRUCTION ENTRANCE AS SHOWN ON SHEET C14.01. WATER SOURCE FOR WASHING WILL BE PROVIDED BY PUBLIC MEANS OR WASH TRUCK AS SHOWN ON EROSION AND SEDIMENT CONTROL PLAN.
- COMMENCE SHEETING AND SHORING AND DEEP FOUNDATIONS.

PHASE 1C

- INSTALL CONSTRUCTION ENTRANCE AS SHOWN ON SHEET C14.02. WATER SOURCE FOR WASHING WILL BE PROVIDED BY PUBLIC MEANS OR WASH TRUCK AS SHOWN ON EROSION AND SEDIMENT CONTROL PLAN.
- REMOVE TEMPORARY SEDIMENT TRAP ON THE EAST SIDE OF THE PROPERTY.
- BEGIN SITE CONSTRUCTION AND SITE IMPROVEMENTS.

PHASE 2

- GRADE SITE TO FINAL GRADE.
- INSTALL PROPOSED STORM DRAINS AFTER SITE IS STABILIZED AND FINAL CLEAN OUT OF SEDIMENT IS COMPLETE.
- INSTALL WATER LINES, SANITARY SEWER LINES, FIRE HYDRANTS, WATER SERVICE LINES, AND SANITARY LATERALS AS SHOWN ON PLANS.
- INSTALL INLET PROTECTION AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN - PHASE II (C14.10).
- CONSTRUCT / INSTALL REMAINING SITE IMPROVEMENTS.
- REMOVE EROSION AND SEDIMENT PHASE II CONTROLS UPON STABILIZATION OF ENTIRE SITE UNDER APPROVAL OF T&ES.

STRUCTURAL PRACTICES:

TEMPORARY CONSTRUCTION ENTRANCE - 3.02
A TEMPORARY CONSTRUCTION ENTRANCE WITH A WASH RACK SHALL BE INSTALLED PER PLATE 3.02. DURING MUDDY CONDITIONS, DRIVERS OF CONSTRUCTION VEHICLES EXITING THE SITE WILL BE REQUIRED TO WASH THEIR WHEELS BEFORE ENTERING THE HIGHWAY.

STORM DRAIN INLET PROTECTION - 3.07
ALL STORM SEWER INLETS, SEDIMENT TRAPS AND DIVERSION DIKES SHALL BE PROTECTED DURING CONSTRUCTION. SEDIMENT-LADEN WATER SHALL BE FILTERED BEFORE ENTERING THE STORM SEWER INLETS.

SAFETY FENCE - 3.01
A 6' PROTECTIVE BARRIER TO BE INSTALLED TO PREVENT ACCESS TO AN EROSION CONTROL MEASURE. IT ALSO PROHIBITS THE UNDESIRABLE USE OF AN EROSION CONTROL MEASURE BY THE PUBLIC.

SUPER SILT FENCE - 3.05
A TEMPORARY SEDIMENT BARRIER CONSISTING OF SYNTHETIC FILTER FABRIC WITH WIRE SUPPORT STRETCHED ACROSS AND ATTACHED TO SUPPORTING POSTS AND ENTRENCHED.

SILT FENCE - 3.05
A TEMPORARY SEDIMENT BARRIER CONSISTING OF SYNTHETIC FILTER FABRIC STRETCHED ACROSS AND ATTACHED TO SUPPORTING POSTS AND ENTRENCHED.

TEMPORARY DIVERSION DIKE - 3.09
A RIDGE OF COMPACTED SOIL CONSTRUCTED AT THE TOP OR BASE OF A SLOPING DISTURBED AREA WHICH DIVERTS OFF-SITE RUNOFF AWAY FROM UNPROTECTED SLOPES AND TO A STABILIZED OUTLET OR TO DIVERT SEDIMENT LADEN RUNOFF TO A SEDIMENT TRAPPING STRUCTURE.

TEMPORARY SEDIMENT TRAP - 3.13
TO DETAIN SEDIMENT-LADEN RUNOFF FROM SMALL DISTURBED AREAS LONG ENOUGH TO ALLOW THE MAJORITY OF THE SEDIMENT TO SETTLE OUT.

TREE PRESERVATION AND PROTECTION - 3.38
PROTECTION OF DESIRABLE TREES FROM MECHANICAL AND OTHER INJURY DURING LAND DISTURBING AND CONSTRUCTION ACTIVITY.

GUTTER GATOR
TO DETAIN SEDIMENT-LADEN RUNOFF BEFORE ENTERING STORM SEWER INLETS ALONG THE ROAD.

MAINTENANCE:

- FOR ADDITIONAL DETAILS AND SPECIFICATIONS NOT SHOWN HEREON, REFER TO THE 1992 VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ONSITE AT ALL TIMES.
- THE SUPER SILT FENCE BARRIER WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES HALFWAY TO THE TOP OF THE BARRIER.
- THE SEEDED AREAS WILL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RE-SEEDED AS NEEDED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.

VEGETATIVE PRACTICES:

PERMANENT SEEDED : PERMANENT SEEDED SHALL BE APPLIED IN AREAS OF PERMANENT VEGETATIVE COVER WHERE CONSTRUCTION HAS BEEN COMPLETED OR IN ROUGH GRADED AREA WHICH WILL NOT BE BROUGHT TO FINAL GRADE FOR ONE MONTH OR LONGER. ALL DISTURBED AREAS WHICH ARE PLANNED TO BE LANDSCAPED SHALL BE SEEDED AND LANDSCAPED IMMEDIATELY FOLLOWING FINAL GRADING. IN ALL SEEDED OPERATIONS, SEED, FERTILIZER AND LIME OR OTHER SOIL ADDITIVES SHALL BE APPLIED PRIOR TO MULCHING.

TEMPORARY SEEDED : ALL DENUDE AREAS AND STOCKPILES WHICH WILL BE DORMANT FOR MORE THAN SEVEN DAYS DURING CONSTRUCTION SHALL BE SEEDED WITH FAST GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING. SELECTION OF THE SEED MIXTURE WILL DEPEND ON THE TIME OF YEAR IT IS APPLIED.

MANAGEMENT STRATEGIES

- CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
- SEDIMENT TRAPPING MEASURES WILL BE INSTALLED PRIOR TO GRADING AND WILL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
- TEMPORARY SEEDED OR OTHER STABILIZATION WILL FOLLOW IMMEDIATELY AFTER GRADING.
- AREAS WHICH ARE NOT TO BE DISTURBED WILL BE CLEARLY MARKED BY FLAGS, SIGNS, FENCING, ETC.
- AFTER ACHIEVING ADEQUATE STABILIZATION, THE TEMPORARY E&S CONTROLS WILL BE CLEANED UP AND REMOVED. TEMPORARY CONTROLS MAY ONLY BE REMOVED WITH APPROVAL OF THE CITY INSPECTOR.
- THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN THREE PHASES AS INDICATED ON PLANS.
- PHASE I EROSION & SED. CONTROL PLAN WILL BE IMPLEMENTED AS A FIRST STEP PRIOR TO DEMOLITION.
- PHASE IA EROSION & SED. CONTROL PLAN WILL BE IMPLEMENTED AS A SECOND STEP PRIOR TO ROUGH GRADING.
- PHASE II EROSION & SED. CONTROL WILL BE IMPLEMENTED UPON COMPLETION OF EXCAVATION AND DURING STORM SEWER CONSTRUCTION.
- DUST CONTROL SHALL BE ACCOMPLISHED BY TEMPORARY VEGETATIVE COVER AND BY IRRIGATION, AS NEEDED. THE CONTRACTOR MAY SUBSTITUTE OR USE ANY ADDITIONAL PRACTICES AS DESCRIBED IN VESCH IF HE/SHE DEEMS NECESSARY OR MORE EFFICIENT.

STOCKPILING

SHOULD THE NEED FOR STOCKPILING OCCUR, A SEPARATE PLAN FOR EROSION AND SEDIMENT CONTROL IS TO BE SUBMITTED FOR ALL OFFSITE STOCKPILE LOCATIONS AND THE CONTRACTOR IS TO CONTACT THE CITY OF ALEXANDRIA, DEQ OR REFERENCE THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK FOR SPECIFIC GUIDANCE. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE COORDINATED WITH THE SITE INSPECTOR.

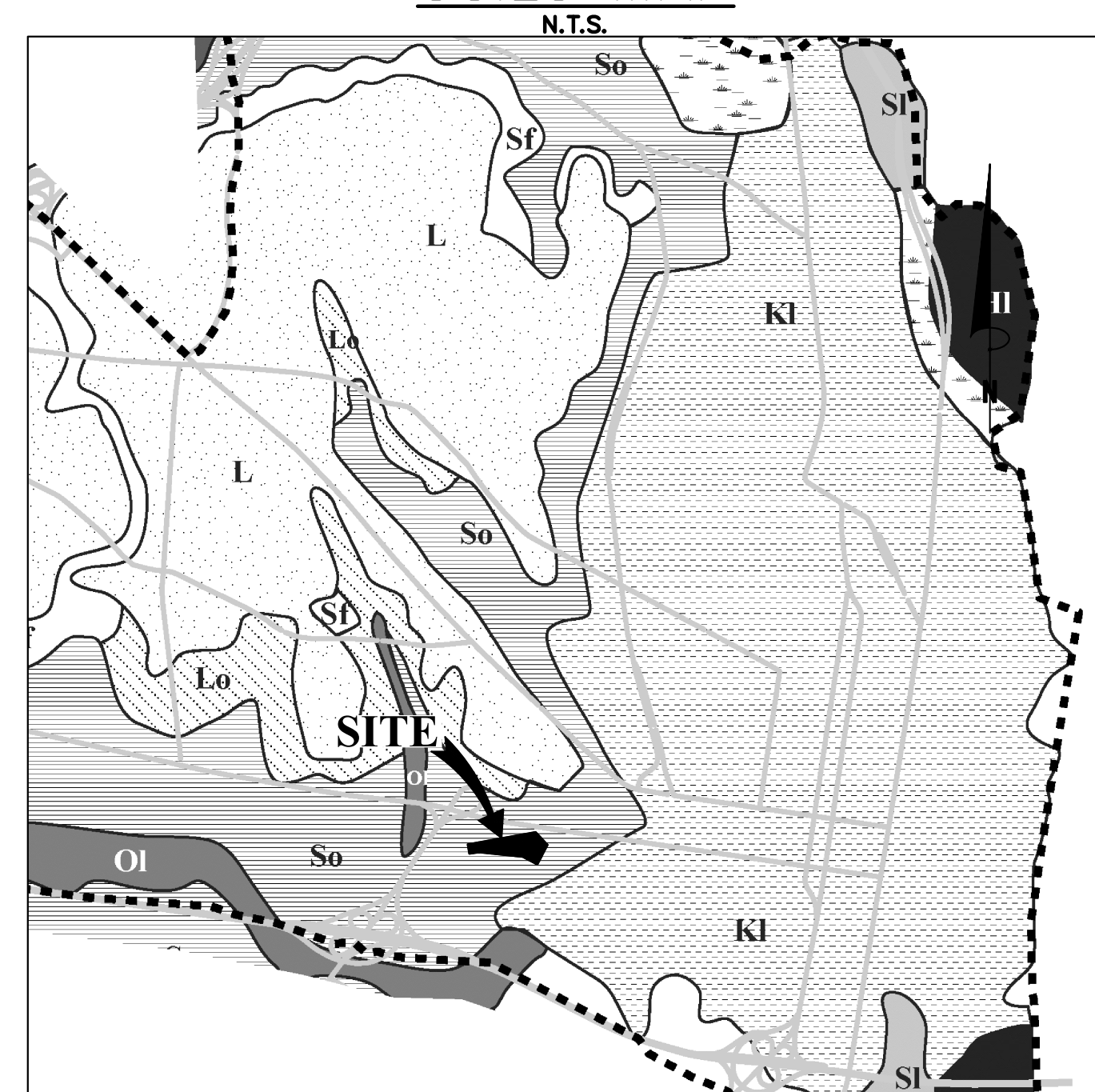
CONTAMINATED SOILS

THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE AND CITY REGULATIONS.

NOTE:

A "CERTIFIED LAND DISTURBER" (CLD) SHALL BE NAMED IN A LETTER TO THE DIVISION CHIEF OF C&I PRIOR TO ANY LAND DISTURBING ACTIVITIES. IF THE CLD CHANGES DURING THE PROJECT THAT CHANGE MUST BE NOTED IN A LETTER TO THE DIVISION CHIEF AND THE SITE INSPECTOR.

SOILS MAP



SOURCE: DIGITIZED BY NVPMC FROM U.S. DEPARTMENT OF AGRICULTURE. SOIL SURVEY OF FAIRFAX AND ALEXANDRIA COUNTIES, VIRGINIA, 1915

SOILS DESCRIPTION

SO - SUSQUEHANNA LOAM - OCCURS UPLAND OF OCHLOCKNEE AND OCCUPIES LARGE AREAS OF ALEXANDRIA INCLUDING EISENHOWER VALLEY AND THE DUKE STREET CORRIDOR, GENTLY ROLLING TO UNDULATING, ALTHOUGH ARE OCCASIONAL STEEP SLOPES.

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SEAL:
STEVEN T. LIAM
Lic. No. 40224
02/06/2020
PROFESSIONAL ENGINEER

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE
1	EAST TRANSFORMER YARD	07/06/2020	STL/EA	CITY OF ALEXANDRIA	07/07/2020
2	STORM SEWER REVISION	07/06/2020	STL	CITY OF ALEXANDRIA	07/07/2020

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

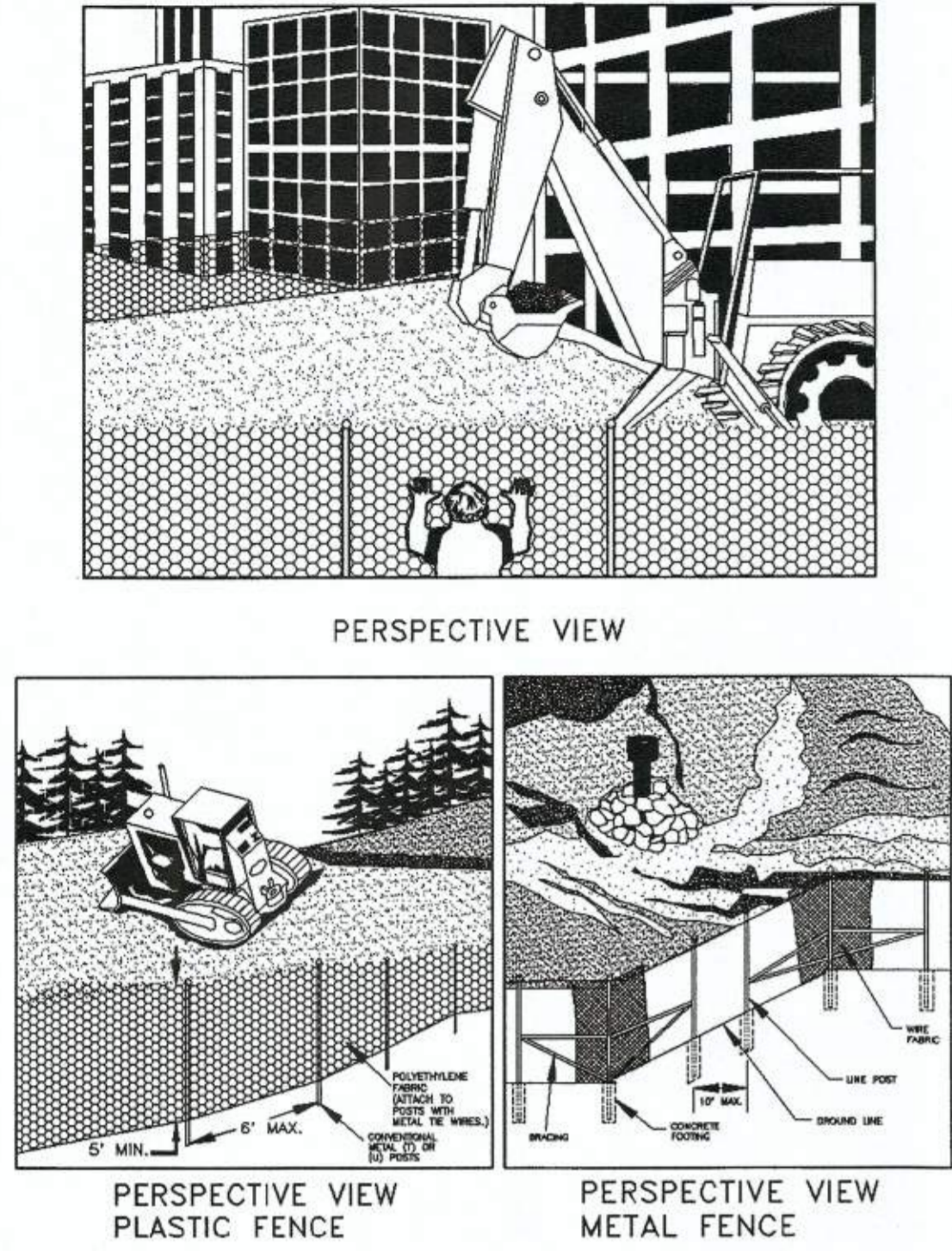
APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. <u> </u> 3.26.20
DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI
Peer Review

SCALE: 1"=30'	DATE: FEBRUAR, 2020	DRAWN: CA
DATE: 10/20/19	DESCRIPTION: MULAR SUBMISSION	PLAN STATUS: DATE
DATE	DESCRIPTION	DATE
DATE	DESCRIPTION	DATE

SHEET NAME: EROSION AND SEDIMENT CONTROL NOTES

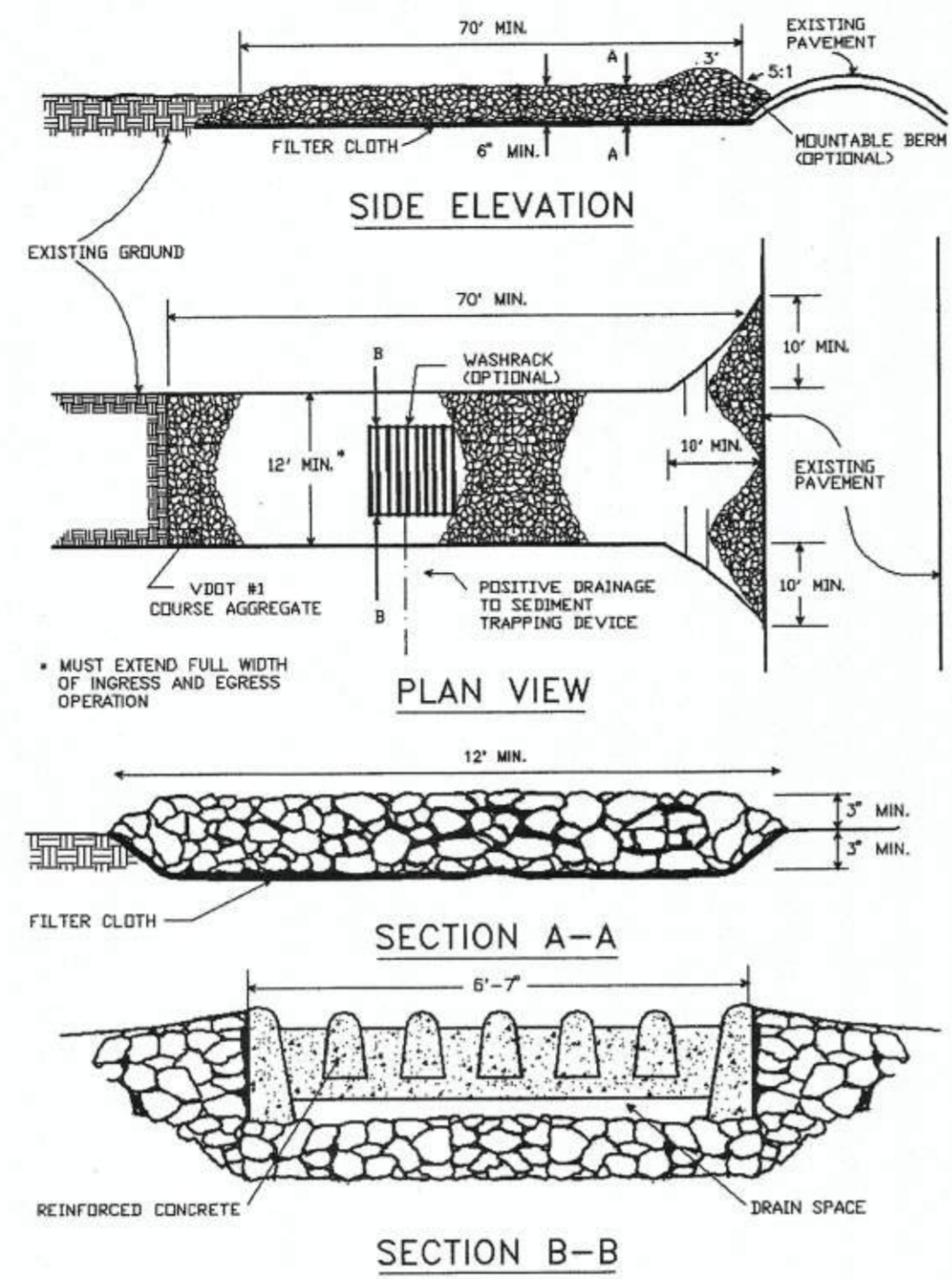
SAFETY FENCE



Source: Adapted from Conwed Plastics and VDOT Road and Bridge Standards

Plate 3.01-1

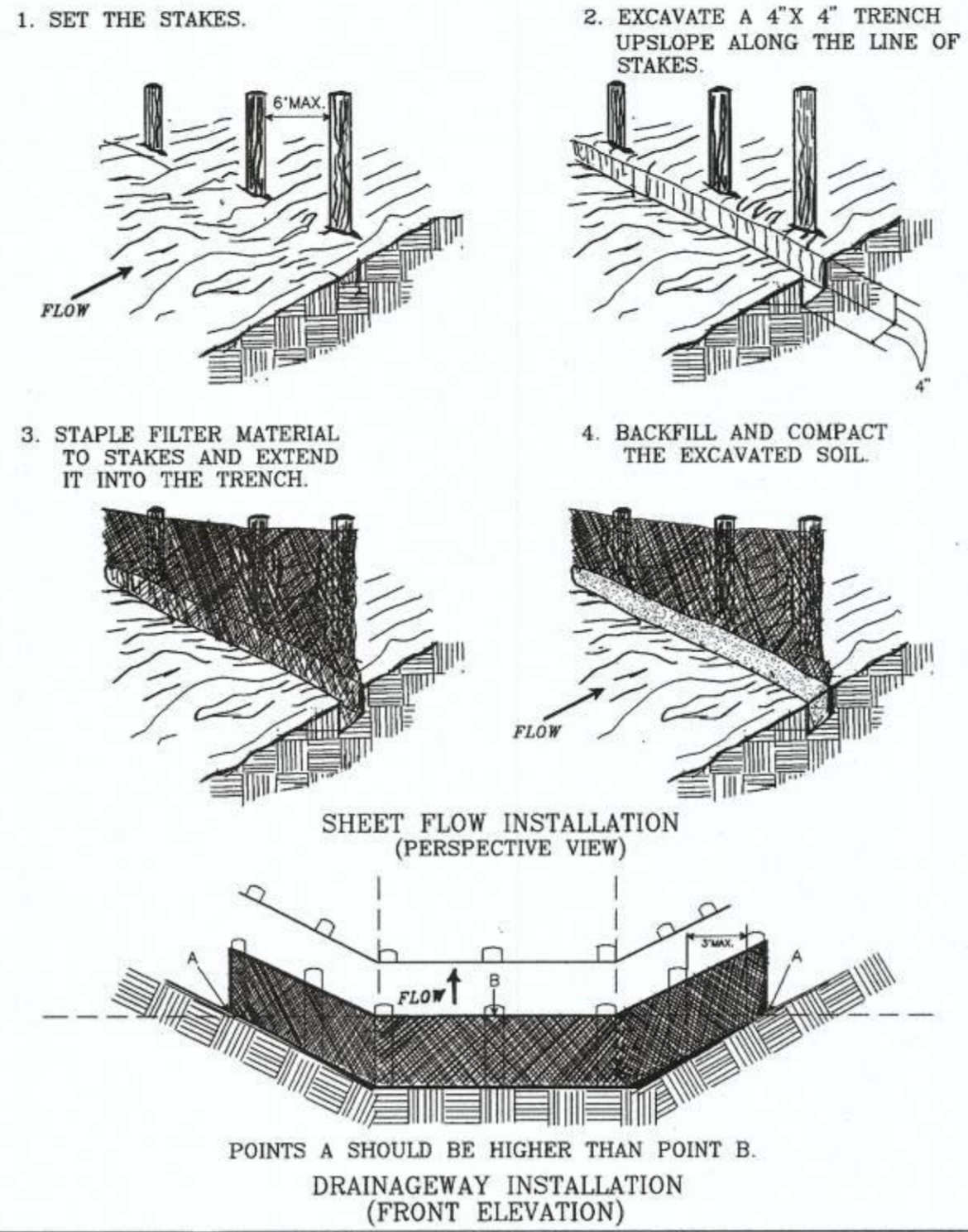
STONE CONSTRUCTION ENTRANCE



Source: Adapted from 1983 Maryland Standards for Soil Erosion and Sediment Control, and Va. DSWC

Plate 3.02-1

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant

Plate 3.05-2

TABLE 3.32-D
SITE SPECIFIC SEEDING MIXTURES FOR COASTAL PLAIN AREA

	Total Lbs. Per Acre
Minimum Care Lawn	
- Commercial or Residential	
- Kentucky 31 or Turf-Type Tall Fescue	175-200 lbs.
or	
- Common Bermudagrass **	75 lbs.
High-Maintenance Lawn	
- Kentucky 31 or Turf-Type Tall Fescue	200-250 lbs.
or	
- Hybrid Bermudagrass (seed) **	40 lbs. (unhulled) 30 lbs. (hulled)
or	
- Hybrid Bermudagrass (by other vegetative establishment method, see Std. & Spec. 3.34)	
General Slope (3:1 or less)	
- Kentucky 31 Fescue	128 lbs.
- Red Top Grass	2 lbs.
- Seasonal Nurse Crop *	20 lbs.
	150 lbs.
Low Maintenance Slope (Steeper than 3:1)	
- Kentucky 31 Tall Fescue	93-108 lbs.
- Common Bermudagrass **	0-15 lbs.
- Red Top Grass	2 lbs.
- Seasonal Nurse Crop *	20 lbs.
- Sericea Lespedeza **	150 lbs.

* Use seasonal nurse crop in accordance with seeding dates as stated below:
 February, March through April Annual Rye
 May 1st through August Foxtail Millet
 September, October through November 15th Annual Rye
 November 16th through January Winter Rye

** May through October, use hulled seed. All other seeding periods, use unhulled seed. Weeping Lovegrass may be added to any slope or low-maintenance mix during warmer seeding periods; add 10-20 lbs./acre in mixes.

TEMPORARY SEEDING SCHEDULE

PLANTING DATES	SPECIES	RATE (LBS/AC)
SEPT. 1 - FEB. 15	50/50 MIX OF ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM) AND CEREAL (WINTER) RYE (SECALE CEREALE)	50-100
FEB. 16 - APRIL 30	ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM)	60-100
MAY 1 - AUGUST 31	GERMAN MILLET (SETARIA ITALICA)	50

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SEAL:

REVISION APPROVED BY:

NO.	DESCRIPTION	DATE	APPROVED

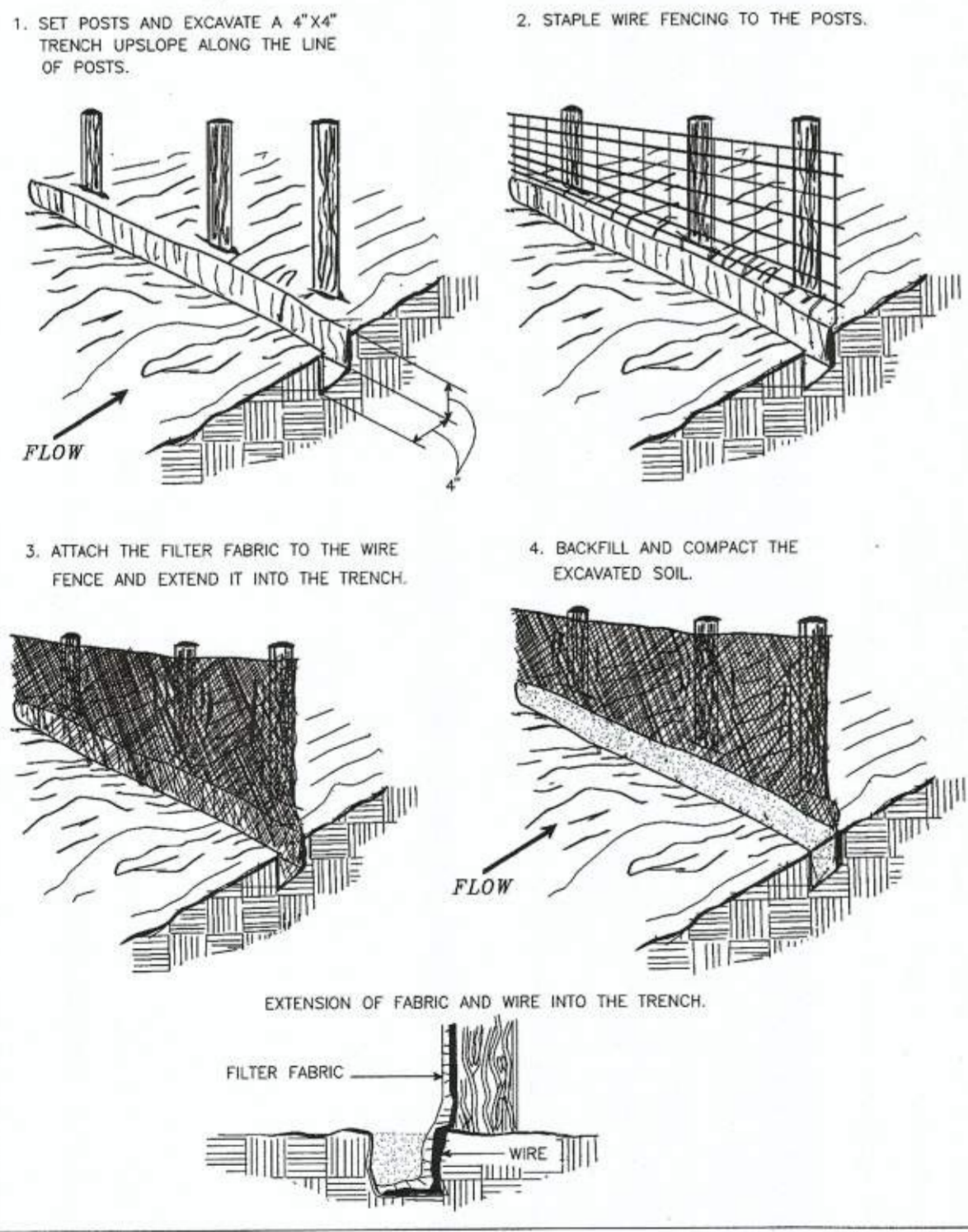
EROSION AND SEDIMENT CONTROL DETAILS (1 OF 2)

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR: *[Signature]* DATE: 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. *[Signature]*
 DIRECTOR: *[Signature]* DATE: 11/6/19
 CHAIRMAN, PLANNING COMMISSION
 DATE RECORDED: _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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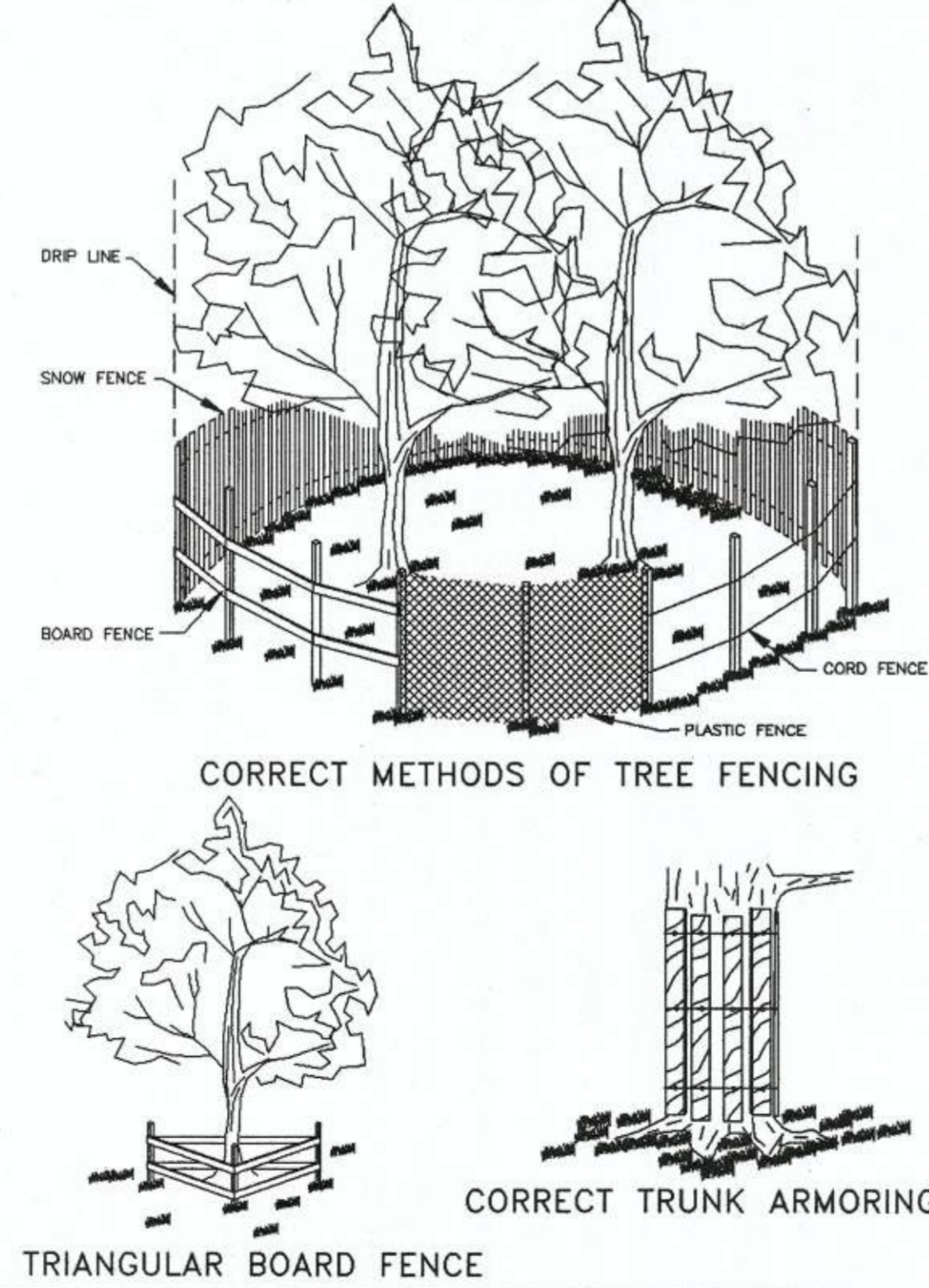
CONSTRUCTION OF A SILT FENCE (WITH WIRE SUPPORT)



Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant

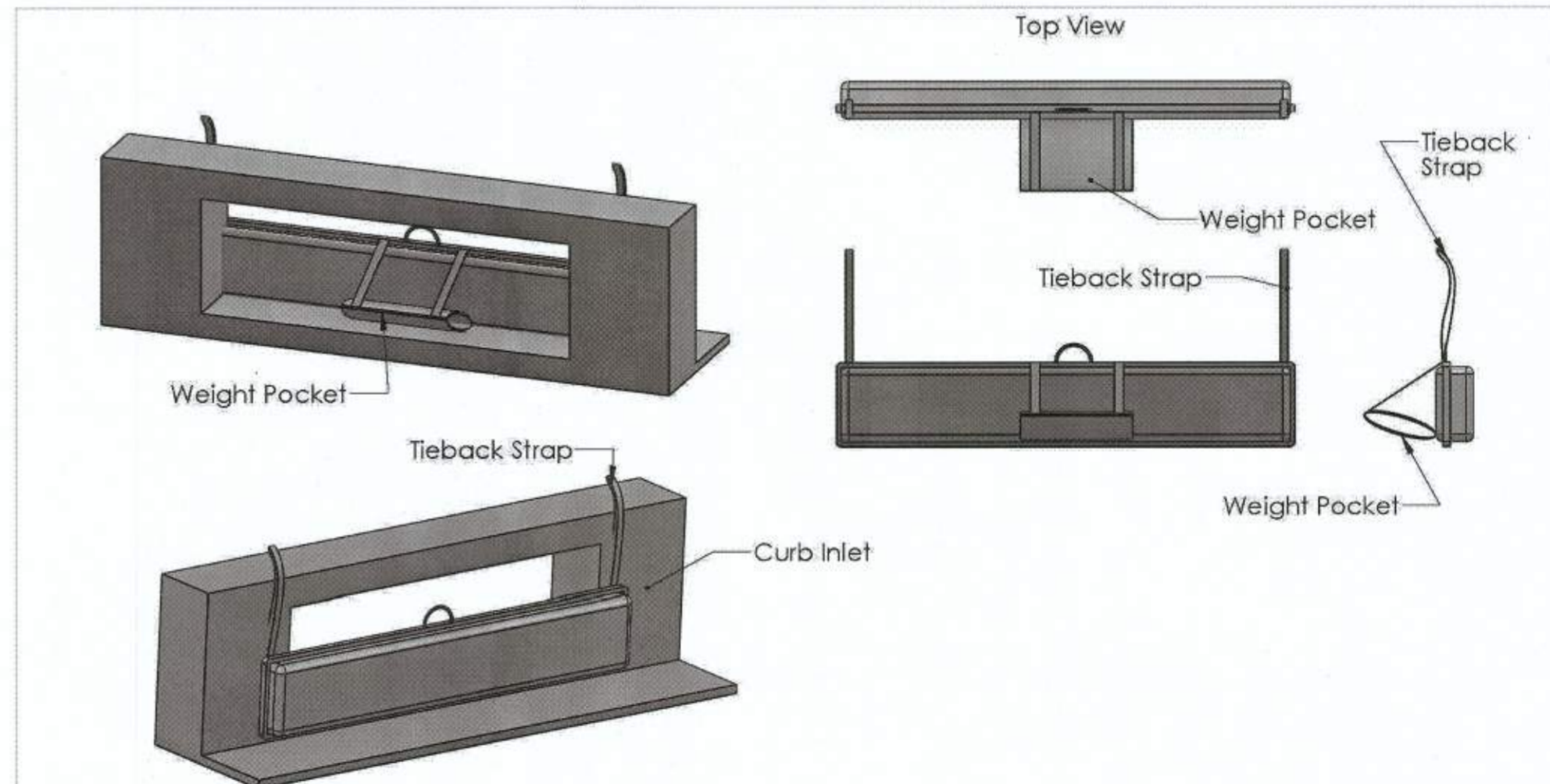
Plate 3.05-1

FENCING AND ARMORING



Source: Va. DSWC

Plate 3.38-2



LET'S GET IT DONE
 PROPRIETARY AND CONFIDENTIAL
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UNLESS OTHERWISE SPECIFIED:	NAME	DATE
DIMENSIONS ARE IN INCHES	JD	07/10/14
TOLERANCES:	AE	07/10/14
FRACCTIONS:	AE	07/10/14
ANGULAR MATCHES:	ENG APPR.	
TWO PLACE DECIMALS:	MTG APPR.	
THREE PLACE DECIMALS:	QA	
INTERFERE GEOMETRIC TOLERANCING PER:	COMMENTS:	
MATERIAL:		

SIZE DWG. NO. REV
 GGSLLIM

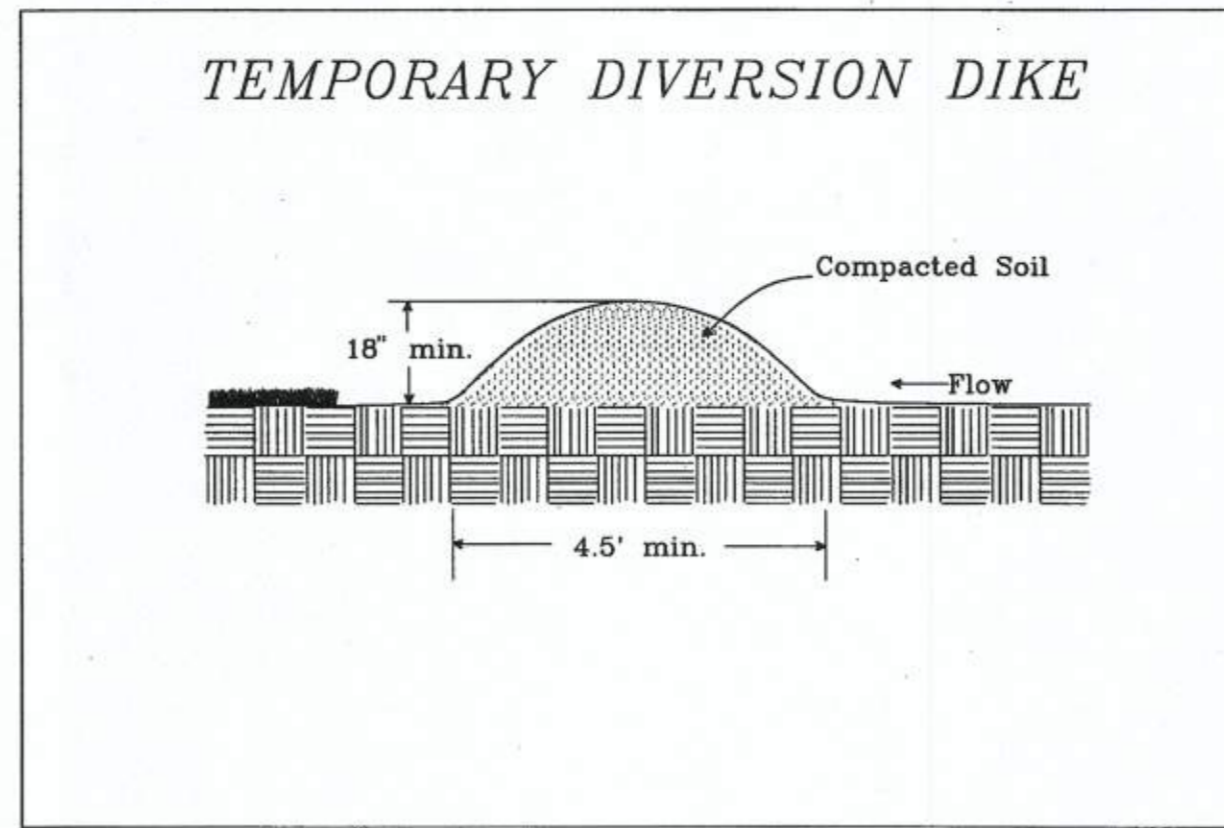
SCALE: 1:8 SHEET 1 OF 1

1992

3.09

Height

The minimum allowable height measured from the upslope side of the dike is 18 inches (see Plate 3.09-1).



Source: Va. DSWC

Plate 3.09-1

Side Slopes

1½:1 or flatter, along with a minimum base width of 4.5 feet (see Plate 3.09-1).

Grade

The channel behind the dike shall have a positive grade to a stabilized outlet. If the channel slope is less than or equal to 2%, no stabilization is required. If the slope is greater than 2%, the channel shall be stabilized in accordance with Std. & Spec. 3.17, STORMWATER CONVEYANCE CHANNEL.

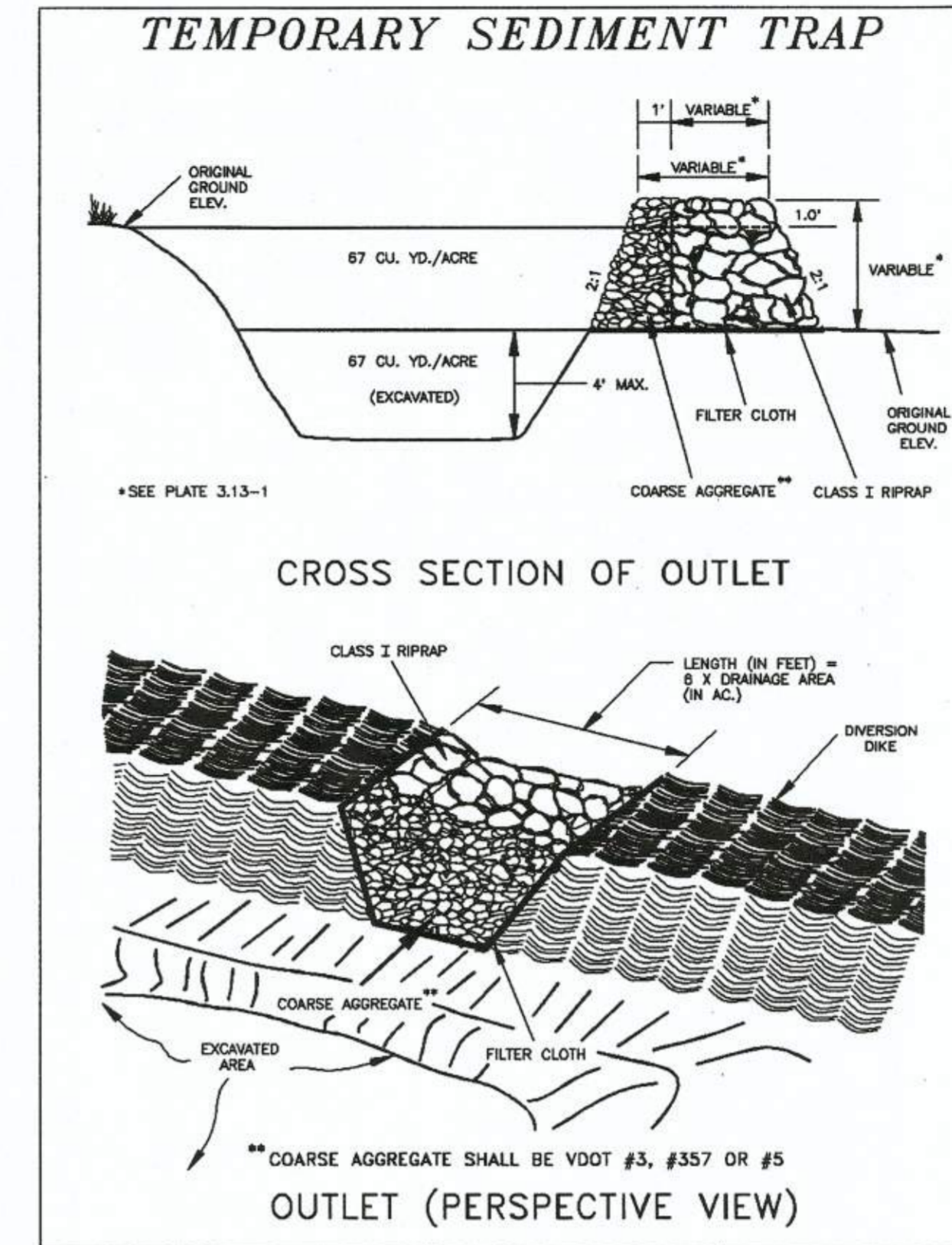
Outlet

- The diverted runoff, if free of sediment, must be released through a stabilized outlet or channel.

III - 54

1992

3.13

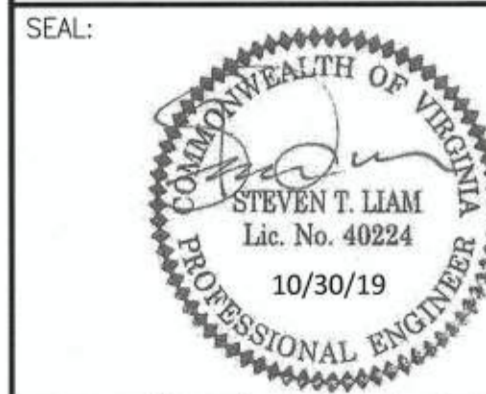


Source: Va. DSWC

Plate 3.13-2

III - 76

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REVISION APPROVED BY		DATE	APPROVED
NO.	DESCRIPTION	DATE	REV. BY

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: EROSION AND SEDIMENT CONTROL DETAILS (2 OF 2)

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

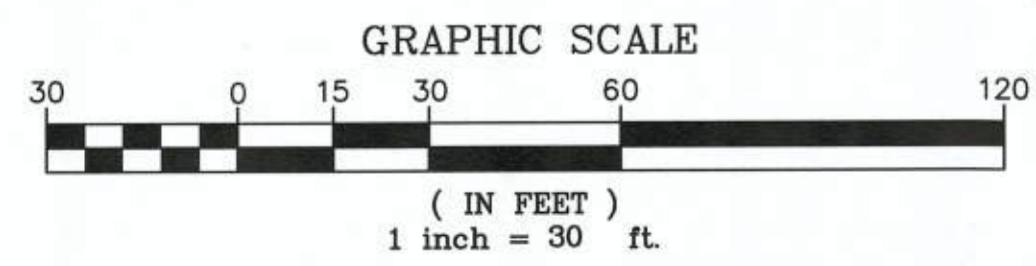
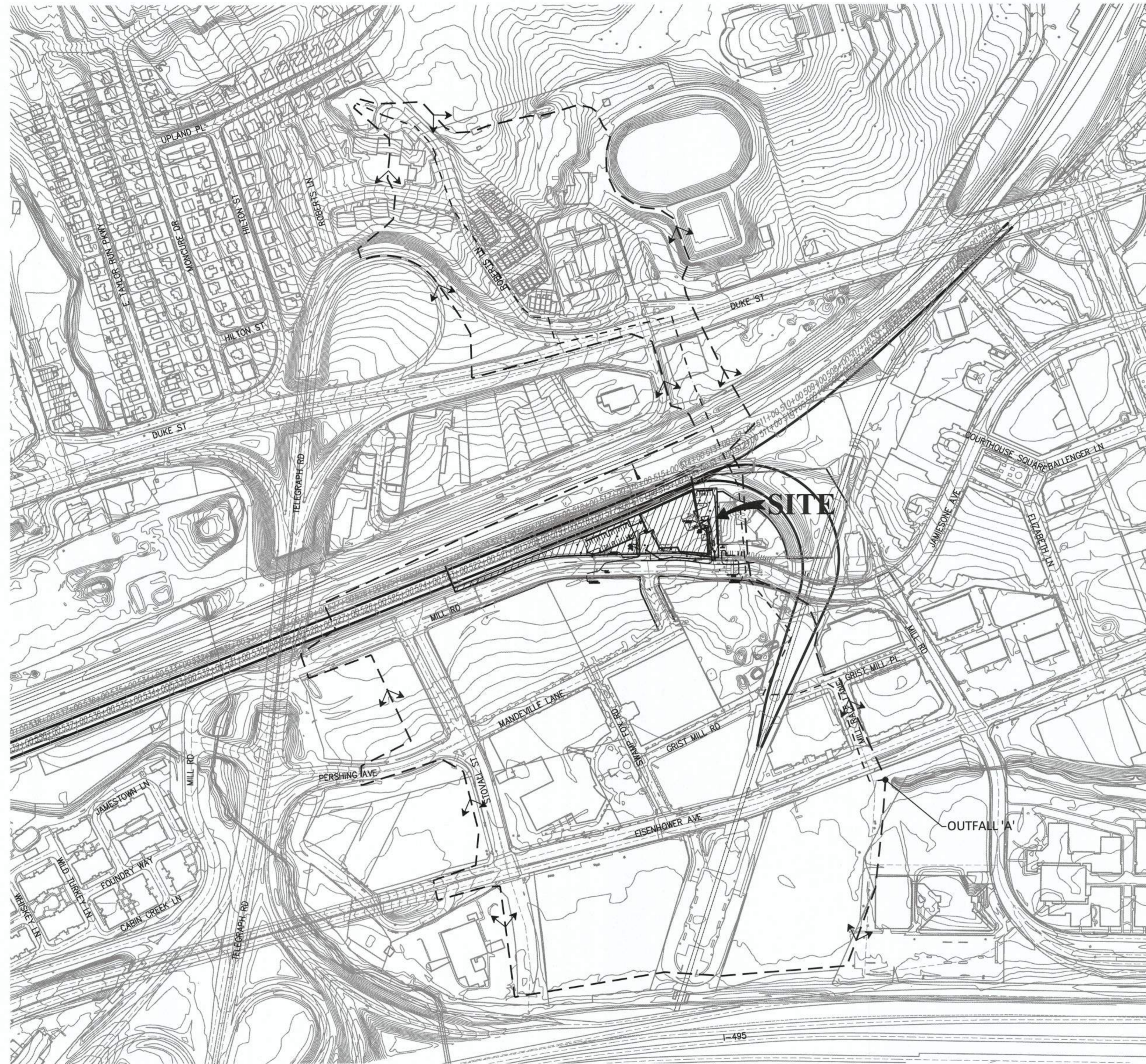
Attaullah For KM 11/6/19
 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. *2*
 DIRECTOR DATE 11/2/19

Attaullah For KM 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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SITE AREA: 1.89 AC.
 TOTAL DRAINAGE AREA: 71.36 AC.

TO FLOW PATH TO OUTFALL 'A'
 100 LF OF SHEET FLOW - 1.20 MINS
 250 LF OF PAVED CONCENTRATED FLOW - 0.66 MINS
 3,275 LF OF CHANNEL FLOW @ AVG VEL OF 2 FPS PER TR-55 - 6.06 MINS

TOTAL TC = 7.92 MIN.

PRE-DEVELOPMENT OVERALL DRAINAGE AREA TO OUTFALL 'A'
 C = 0.85
 i = 6.16 INCH/HR, 10-YEAR, 24-HOUR STORM PER NOAA ATLAS 14
 A = 71.37 AC

Q10 = (0.85)*(6.16 IN/HR)*(71.37 AC)
 Q10 = 373.69 CFS

CAPACITY AT OUTFALL 'A'
 2-4' X 7' CULVERT @ FULL-FLOW @ 0.50% = 531.56 CFS
 531.56 CFS > 373.69 CFS

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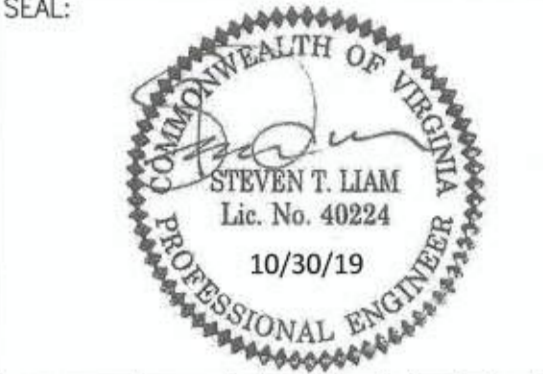
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SCALE: 1"=200'

DATE: OCTOBER, 2019 DRAWN: CA

DATE	DESCRIPTION	DATE	DESCRIPTION
10/30/19	PLAN SUBMISSION		



REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: STORM SEWER ADEQUATE OUTFALL ANALYSIS

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

[Signature] FOR KM 11/6/19
 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

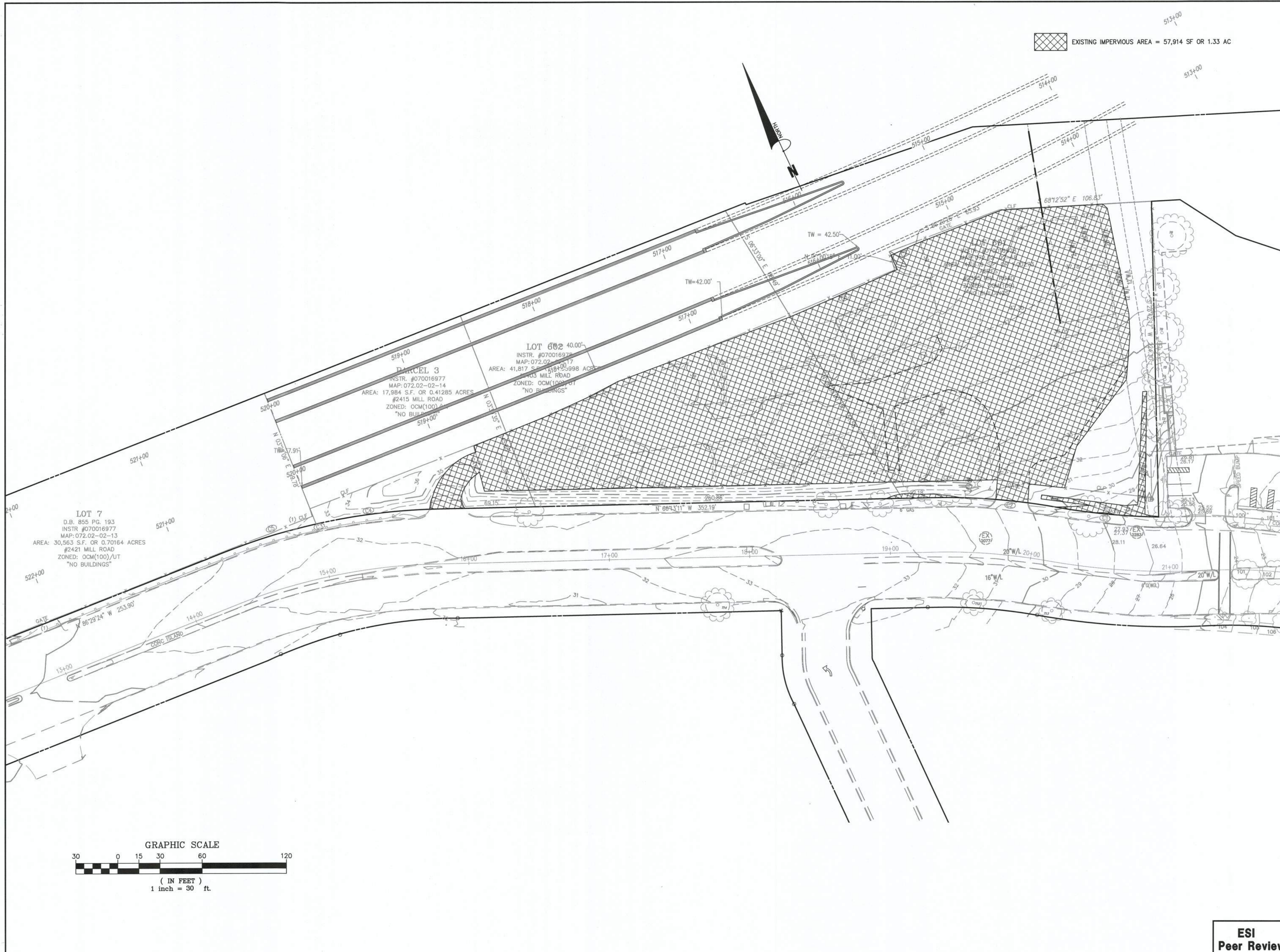
SITE PLAN No. *[Signature]* 11/24/19
 DIRECTOR DATE

[Signature] 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

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SCALE: 1"=30'
DATE: OCTOBER, 2019
DRAWN: CA

DATE	DESCRIPTION	DATE	DESCRIPTION
10/30/19	FINAL SUBMISSION		

SEAL:

STEVEN T. LIAM
Lic. No. 40224
10/30/19
PROFESSIONAL ENGINEER

REVISION APPROVED BY		NO.	DESCRIPTION	DATE	APPROVED	DATE

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: PRE-DEVELOPMENT IMPERVIOUS CONDITIONS

APPROVED
SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

Matthew Fox 11/6/19
DIRECTOR DATE

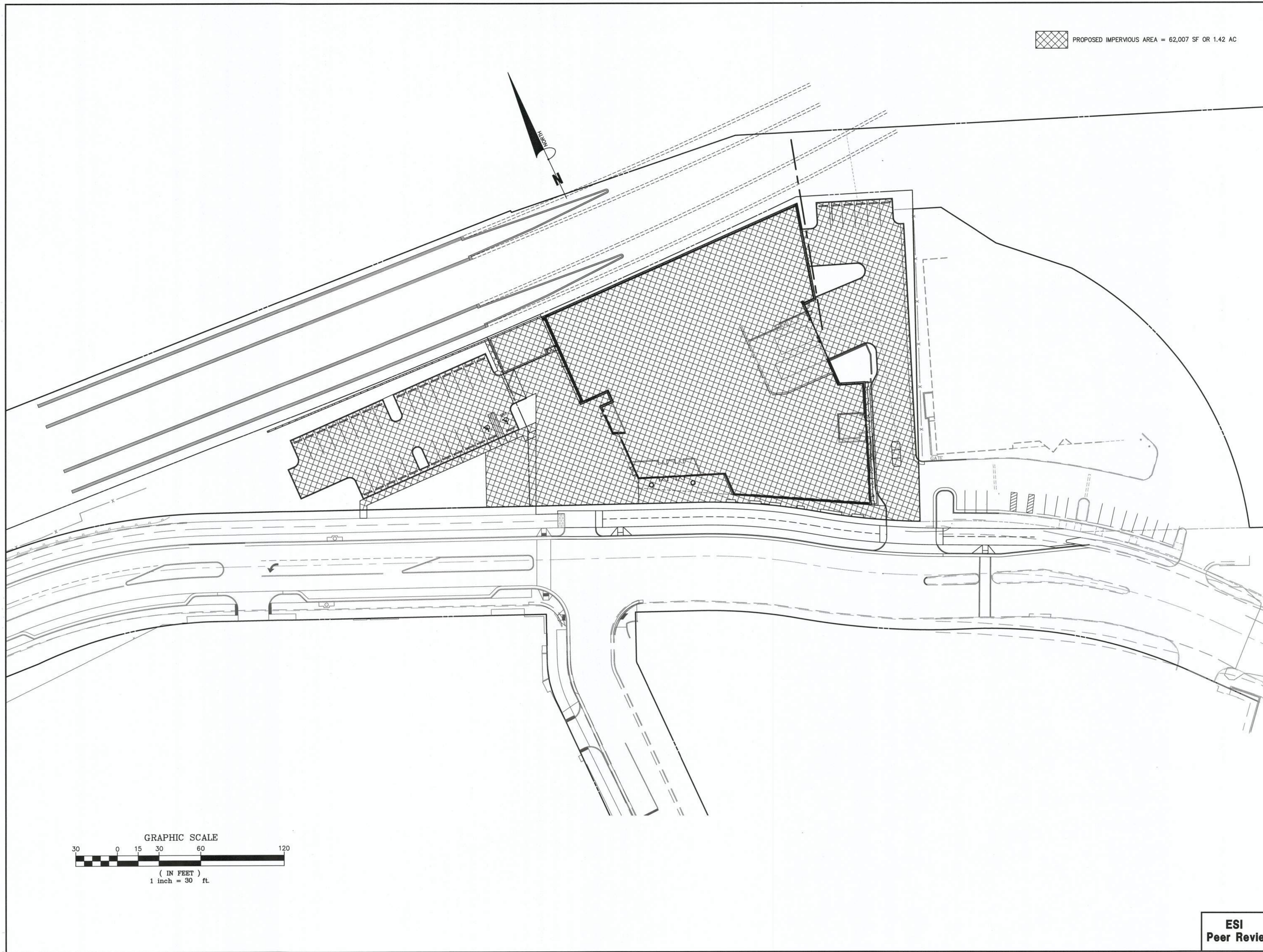
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

Matthew Fox 11/6/19
DIRECTOR DATE

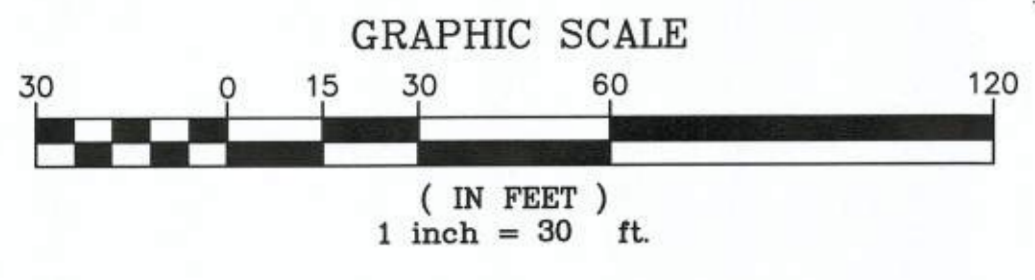
William H. Hook 11/6/19
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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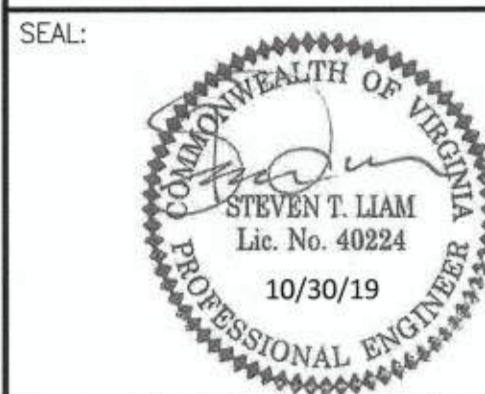


PROPOSED IMPERVIOUS AREA = 62,007 SF OR 1.42 AC



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SCALE: 1"=30'	DATE: OCTOBER, 2019	DRAWN: CA
DATE: 10/30/19	DATE: 10/30/19	DATE: 10/30/19
DESCRIPTION: M/LAR SUBMISSION	DESCRIPTION:	DESCRIPTION:



REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: POST-DEVELOPMENT IMPERVIOUS CONDITIONS

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

[Signature] For KM 11/6/19
 DIRECTOR DATE

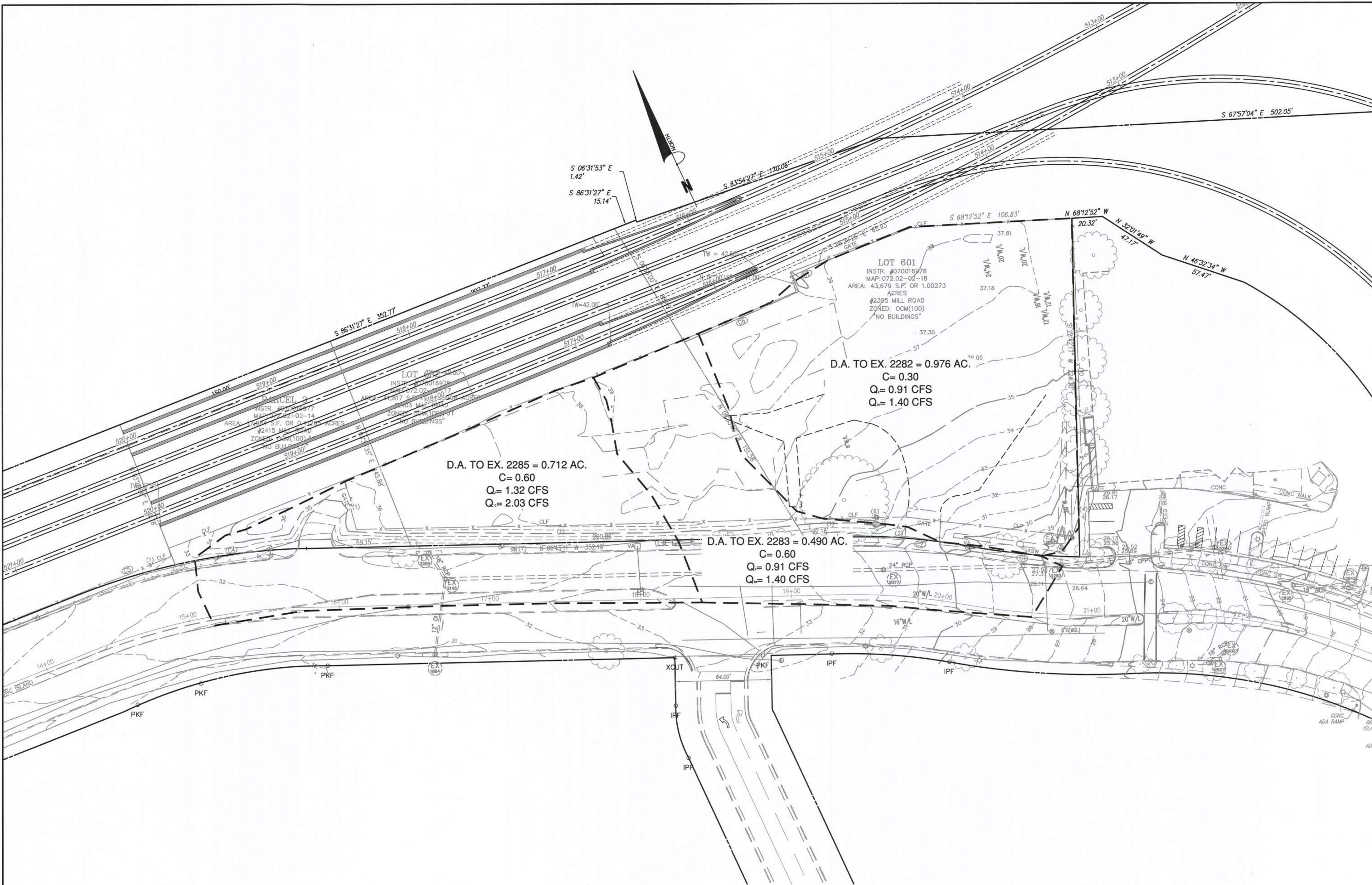
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. *[Signature]*
 DIRECTOR DATE

[Signature] 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

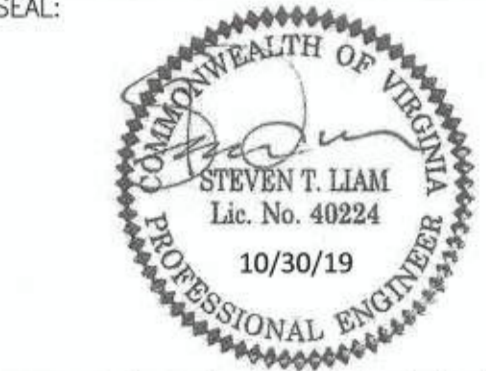
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Code File Name: P:\030109 - mixed 2395-2403-2415 mill rd\030109-01-002 (eng) - 2395 + 2403 mill road site\engineers\engineering plans\030109-01-002-IMP-POST CONDITIONS.dwg



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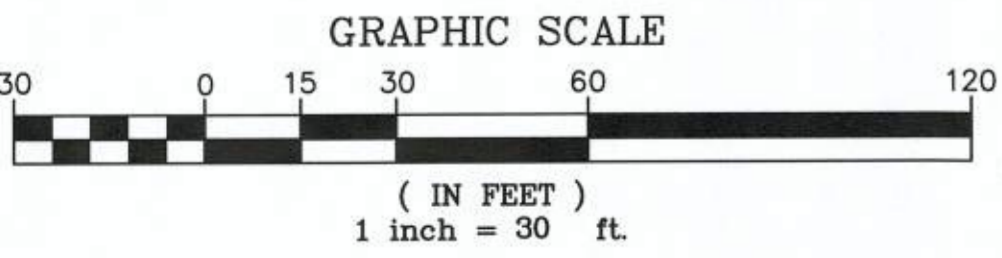
REVISION APPROVED BY		DATE	APPROVED
NO.	DESCRIPTION	DATE	APPROVED

2395 MILL ROAD FINAL SITE PLAN CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: EXISTING DRAINAGE DIVIDES

APPROVED
SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

Michael R. Kim 11/6/19
 DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. *2395*
Michael R. Kim 11/6/19
 DIRECTOR DATE
 CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

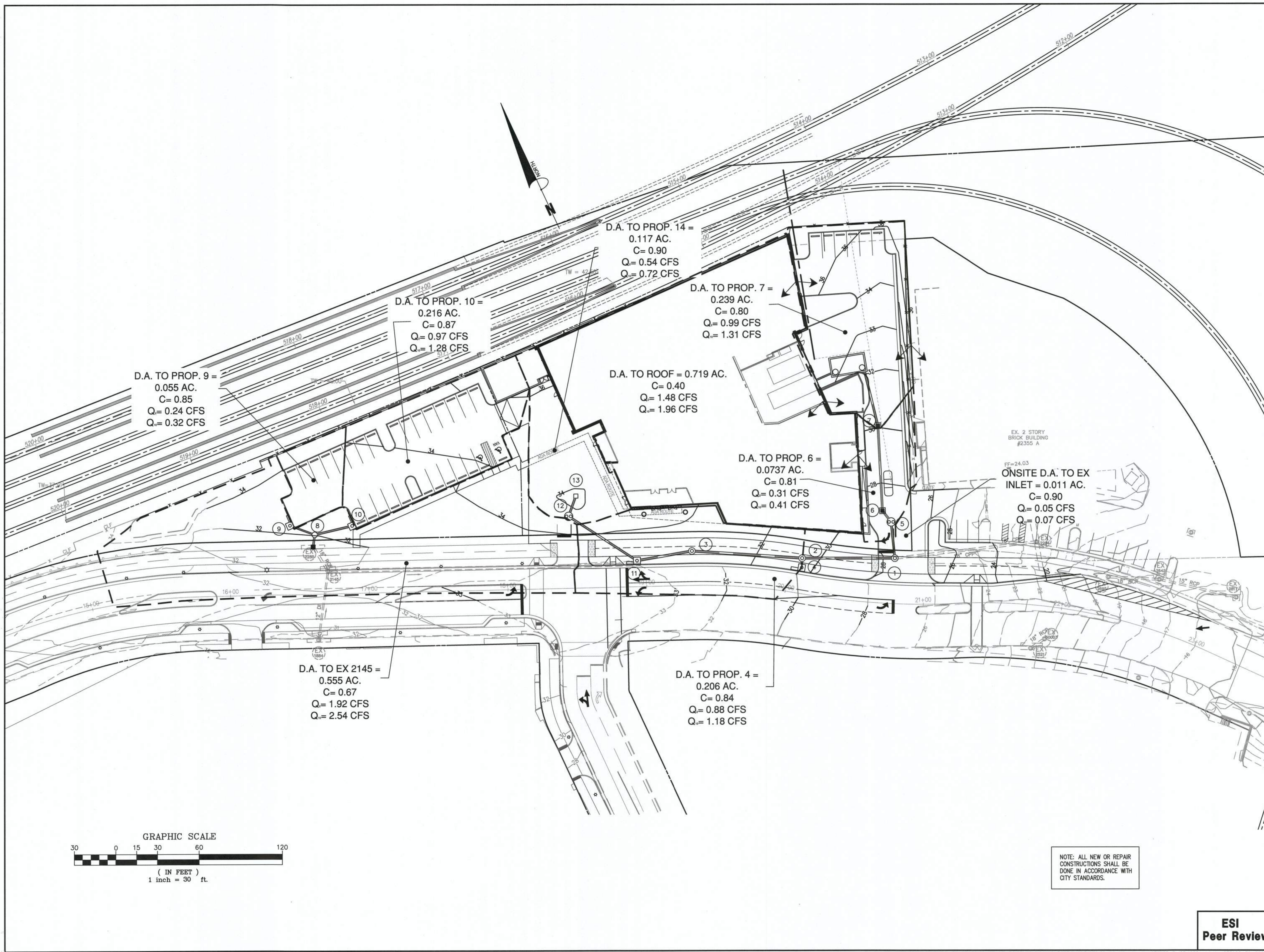


ARCHAEOLOGY NOTES

1. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
2. THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

**ESI
 Peer Review**

SCALE: 1"=30'	DATE: OCTOBER, 2019	DRAWN: CA
PLAN STATUS	DATE	DESCRIPTION
10/29/19		



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DATE: 10/30/19
 DATE: OCTOBER, 2019
 DRAWN: CA

SCALE: 1"=30'

PLAN STATUS
 DATE: 10/30/19
 DESCRIPTION: MVAR SUBMISSION
 DATE:
 DESCRIPTION:

SEAL:

STEVEN T. LIAM
 Lic. No. 40224
 10/30/19
 PROFESSIONAL ENGINEER

NO.	DESCRIPTION	DATE	APPROVED BY

2395 MILL ROAD FINAL SITE PLAN CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: PROPOSED DRAINAGE DIVIDES

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

Matthew For KM 11/6/19
 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. *[Signature]* 11/6/19
 DIRECTOR DATE

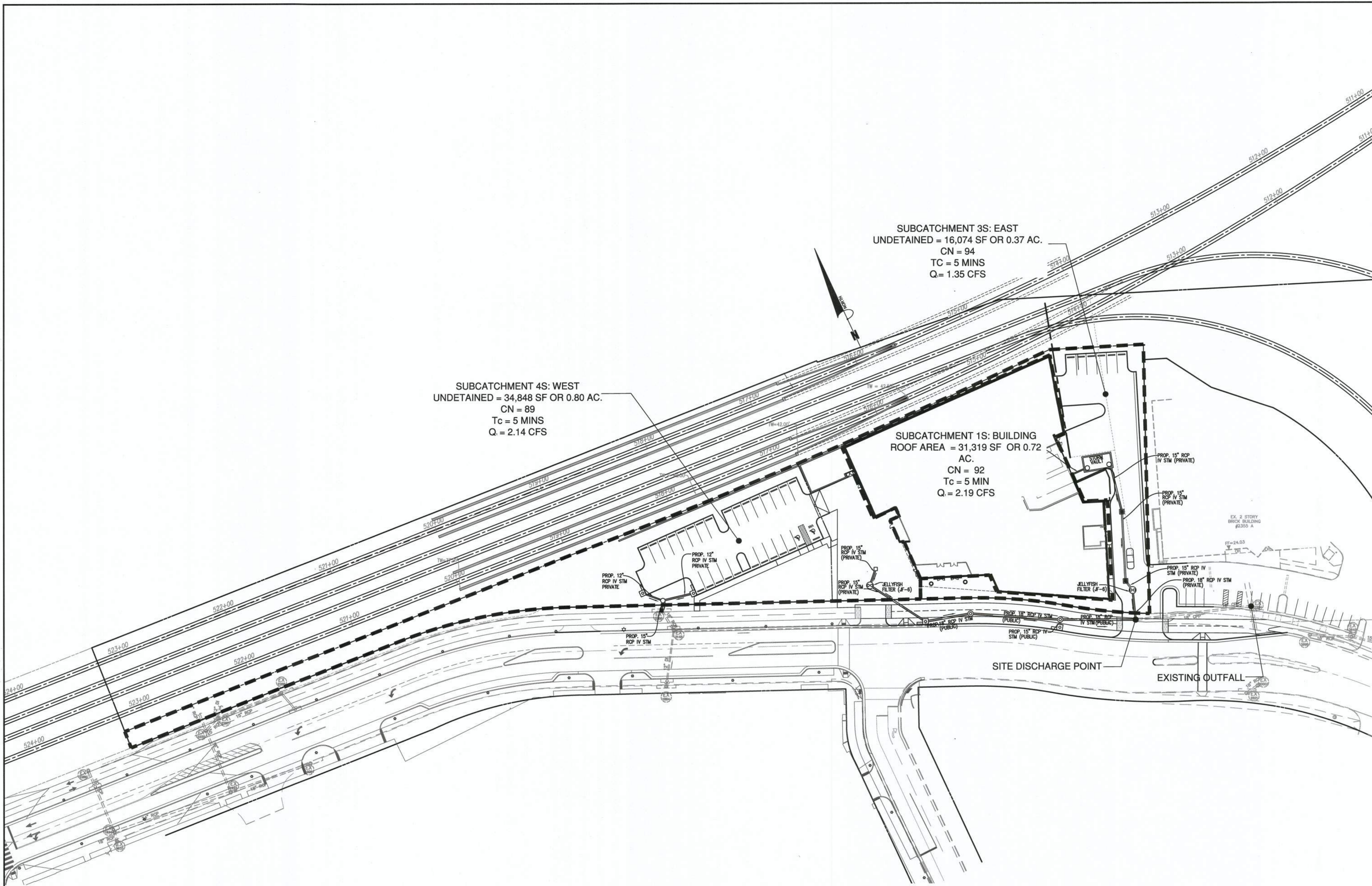
William M. Hawk 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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 Peer Review**

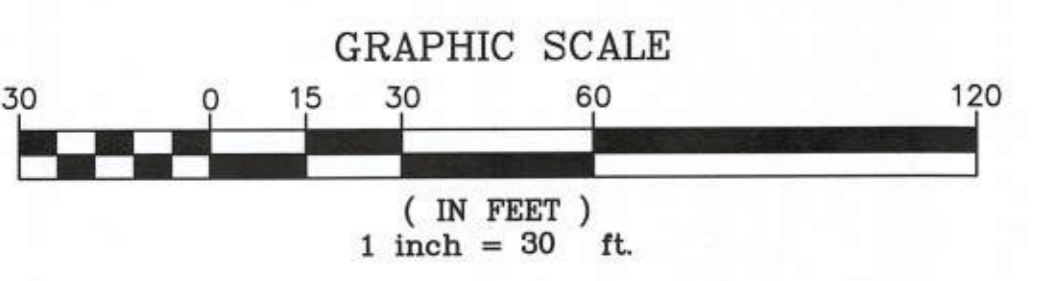
NOTE: ALL NEW OR REPAIR CONSTRUCTIONS SHALL BE DONE IN ACCORDANCE WITH CITY STANDARDS.



SUBCATCHMENT 4S: WEST
 UNDETAINED = 34,848 SF OR 0.80 AC.
 CN = 89
 Tc = 5 MINS
 Q = 2.14 CFS

SUBCATCHMENT 3S: EAST
 UNDETAINED = 16,074 SF OR 0.37 AC.
 CN = 94
 TC = 5 MINS
 Q = 1.35 CFS

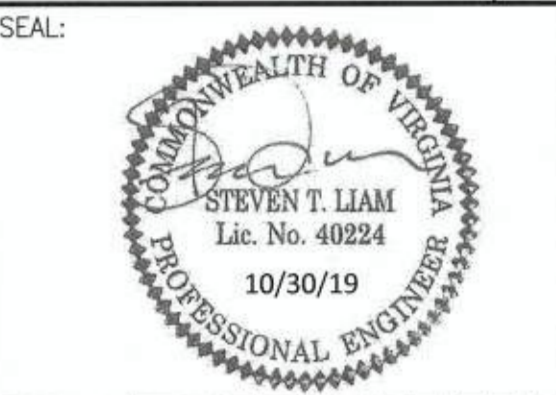
SUBCATCHMENT 1S: BUILDING
 ROOF AREA = 31,319 SF OR 0.72 AC.
 CN = 92
 Tc = 5 MIN
 Q = 2.19 CFS



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NO.	DESCRIPTION	DATE	APPROVED	DATE

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

POST-CONDITION STORMWATER MANAGEMENT DRAINAGE AREAS

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

Matthew Forster 11/6/19
 DIRECTOR DATE


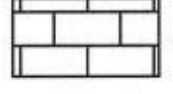
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

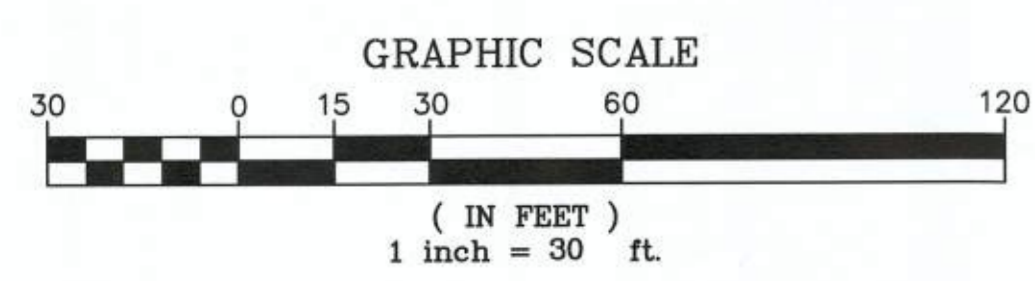
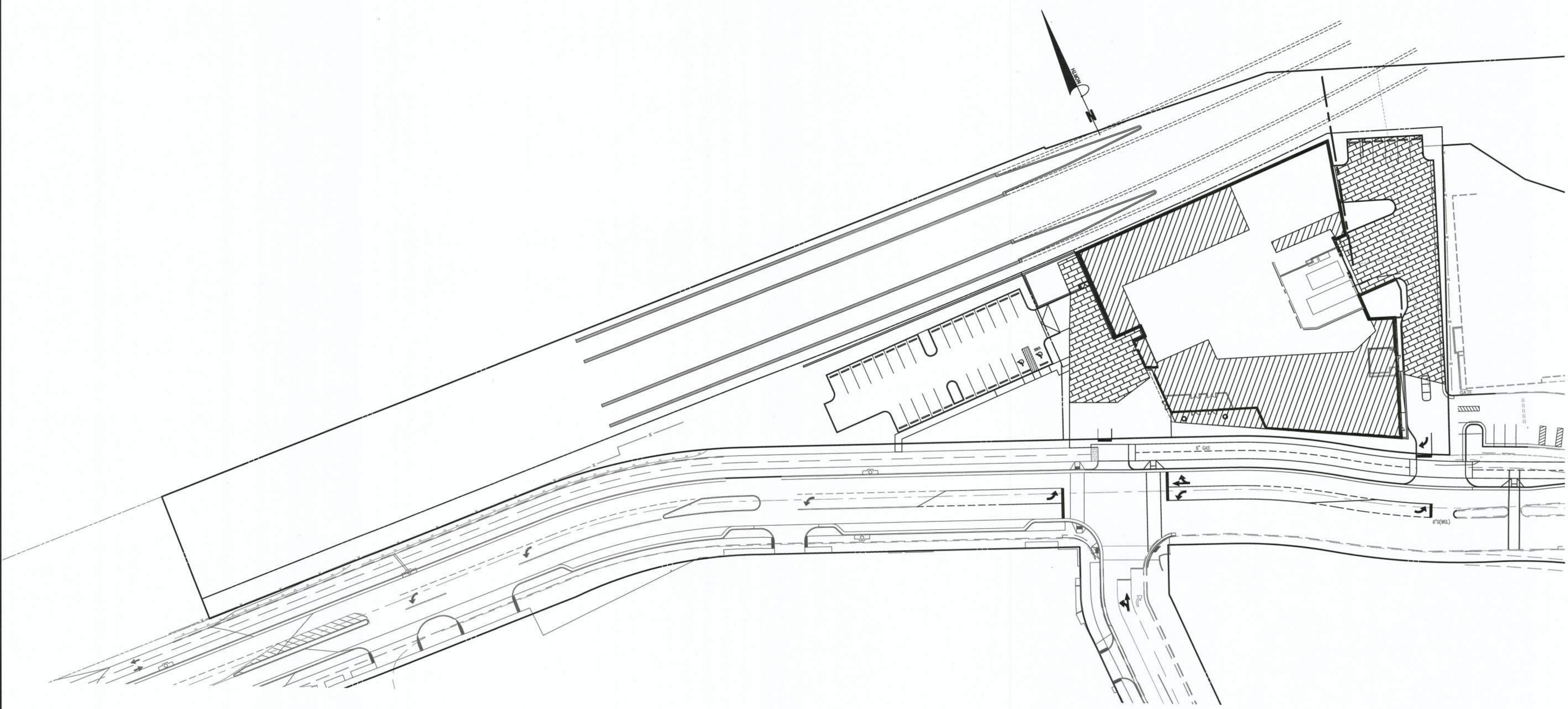
Matthew W. Shook 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

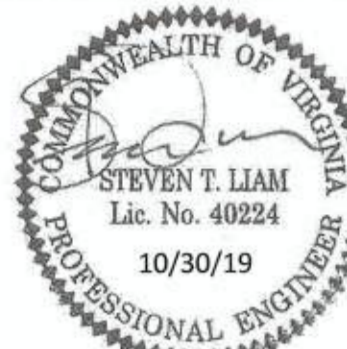
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 GREEN ROOF AREA = 16,500 SF OR 0.38 AC
 AREA TO JELLYFISH FILTER = 12,383 SF OR 0.28 AC





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 www.bowmanconsulting.com

SEAL:

 STEVEN T. LIAM
 Lic. No. 40224
 10/30/19
 PROFESSIONAL ENGINEER

REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

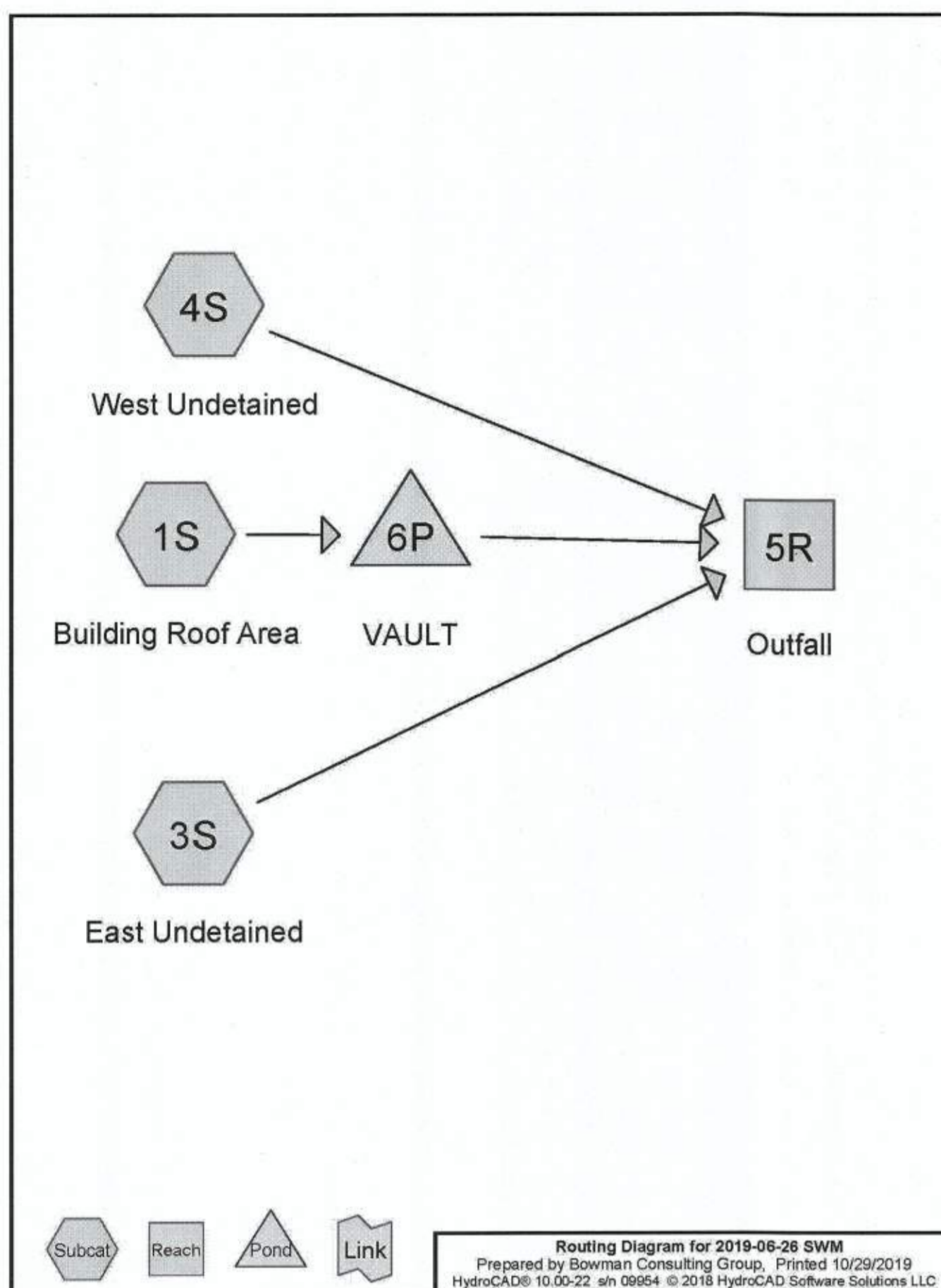
2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA
SHEET NAME: STORMWATER MANAGEMENT PLAN

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
 FOR KM 11/6/19
 DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____
 11/6/19
 DIRECTOR DATE
 CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED _____
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Code File Name: P:\030109 - minto 2395-2403-2415 mill rd\030109-01-002 (enr) - 2395 + 2403 mill rd site\engineering\engineering plans\030109-D-PR-02-MP-POST CONDITIONS.dwg

STORMWATER VAULT COMPUTATIONS



2019-06-26 SWM
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Page 2

Ground Covers (all nodes)						
HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover
0.000	0.000	0.000	0.000	0.720	0.720	1S
0.000	0.000	0.000	0.464	0.000	0.464	>75% Grass cover, Good
0.000	0.000	0.000	0.705	0.000	0.705	Paved parking
0.000	0.000	0.000	1.169	0.720	1.889	TOTAL AREA

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Page 3

Type II 24-hr 1 Year Rainfall=2.56"
Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Building Roof Area Runoff Area=31,359 sf 0.00% Impervious Runoff Depth>1.63"
Tc=5.0 min CN=92 Runoff=2.19 cfs 0.098 af

Subcatchment 3S: East Undetained Runoff Area=16,074 sf 79.45% Impervious Runoff Depth>1.81"
Tc=0.0 min CN=94 Runoff=1.35 cfs 0.056 af

Subcatchment 4S: West Undetained Runoff Area=34,848 sf 51.47% Impervious Runoff Depth>1.40"
Tc=5.0 min CN=89 Runoff=2.14 cfs 0.093 af

Reach 5R: Outfall Inflow=4.86 cfs 0.234 af
Outflow=4.86 cfs 0.234 af

Pond 6P: VAULT Peak Elev=26.76' Storage=693 cf Inflow=2.19 cfs 0.098 af
Outflow=2.01 cfs 0.086 af

Total Runoff Area = 1.889 ac Runoff Volume = 0.247 af Average Runoff Depth = 1.57"
62.68% Pervious = 1.184 ac 37.32% Impervious = 0.705 ac

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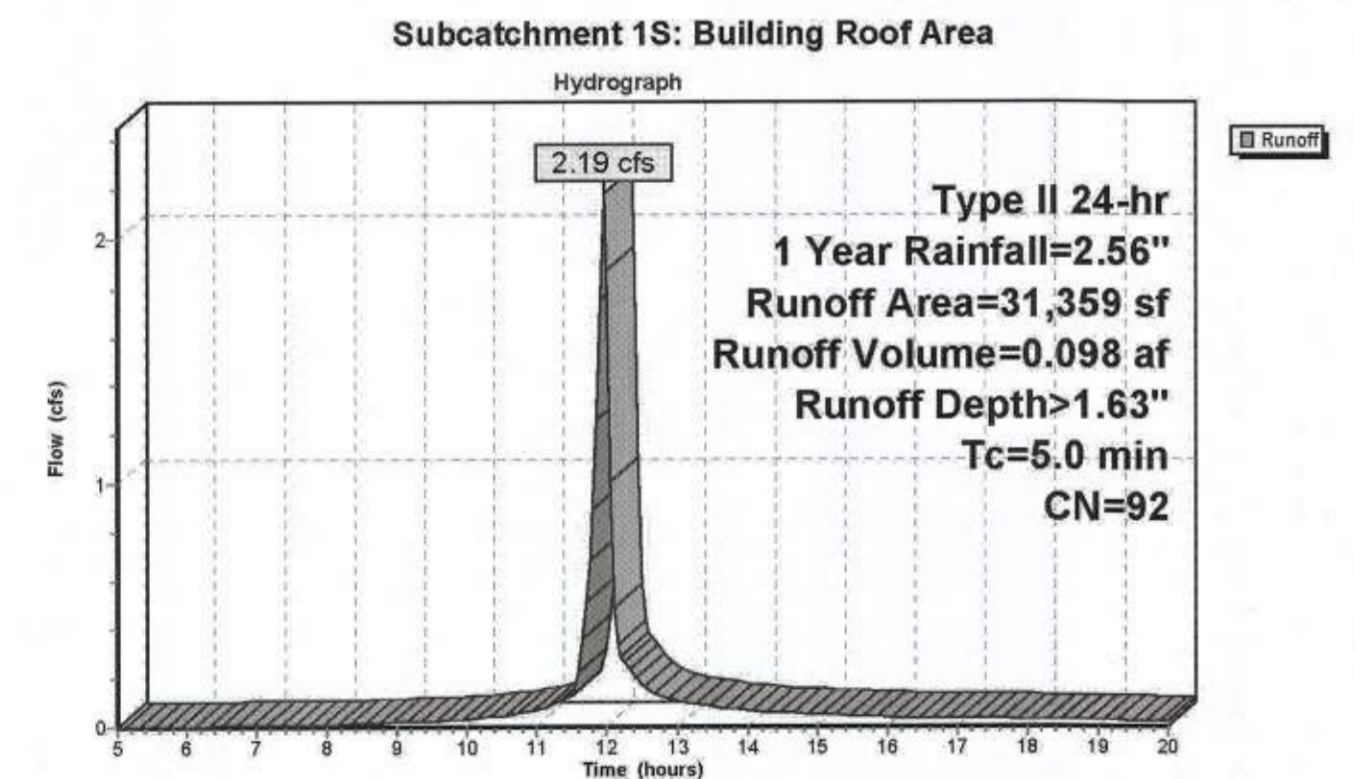
Summary for Subcatchment 1S: Building Roof Area

Runoff = 2.19 cfs @ 11.95 hrs, Volume= 0.098 af, Depth> 1.63"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr 1 Year Rainfall=2.56"

Area (sf)	CN	Description
31,359	92	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,



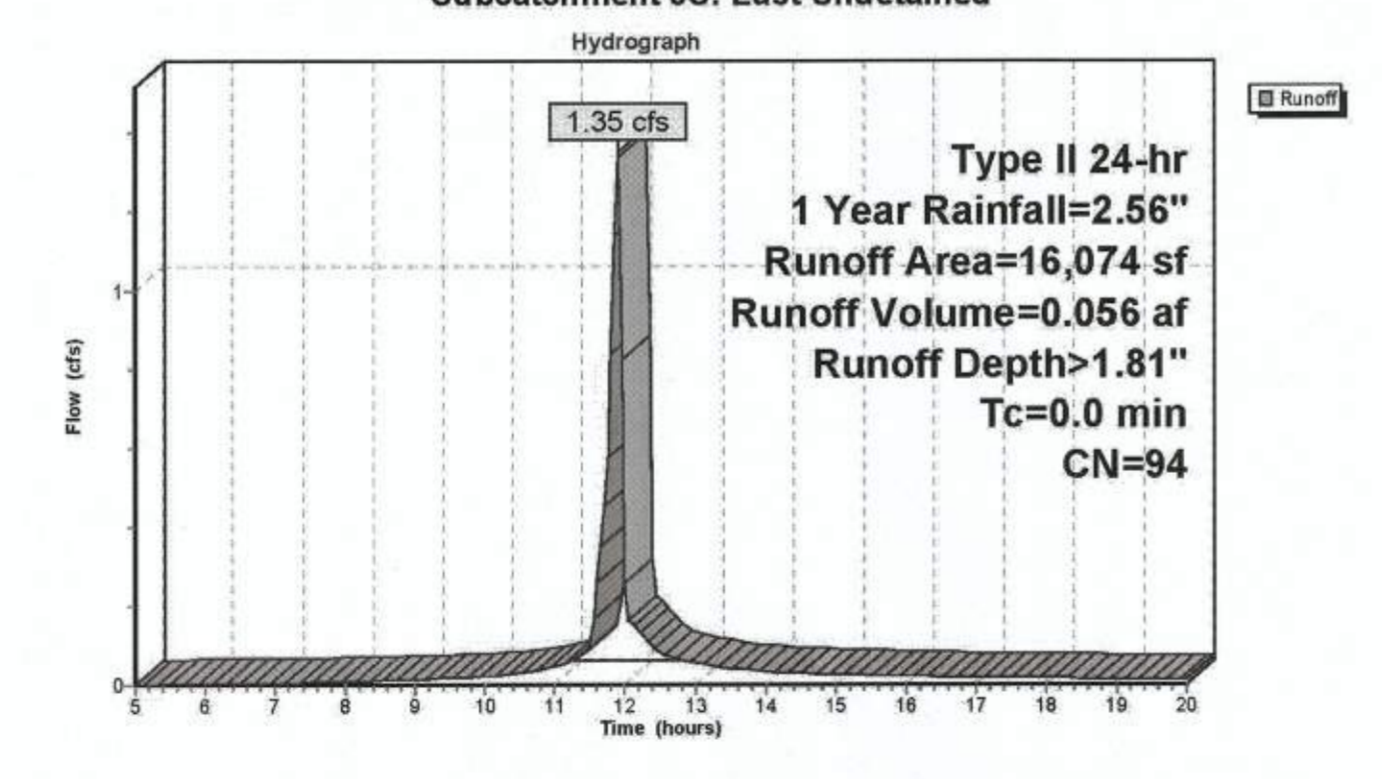
2019-06-26 SWM
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Page 5

Summary for Subcatchment 3S: East Undetained

Runoff = 1.35 cfs @ 11.89 hrs, Volume= 0.056 af, Depth> 1.81"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr 1 Year Rainfall=2.56"

Area (sf)	CN	Description
12,771	98	Paved parking, HSG D
3,303	80	>75% Grass cover, Good, HSG D
16,074	94	Weighted Average
3,303		20.55% Pervious Area
12,771		79.45% Impervious Area



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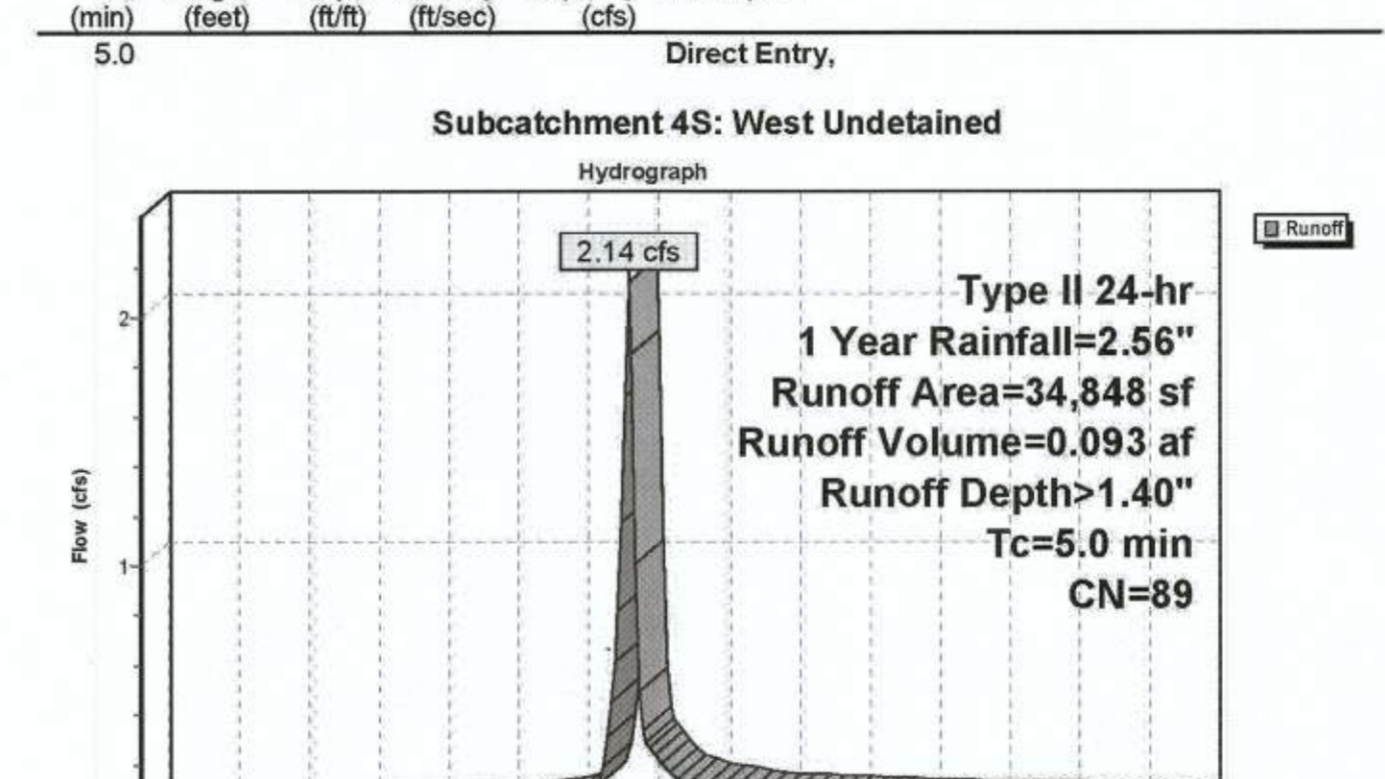
Summary for Subcatchment 4S: West Undetained

Runoff = 2.14 cfs @ 11.96 hrs, Volume= 0.093 af, Depth> 1.40"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr 1 Year Rainfall=2.56"

Area (sf)	CN	Description
17,935	98	Paved parking, HSG D
16,913	80	>75% Grass cover, Good, HSG D
34,848	89	Weighted Average
16,913		48.53% Pervious Area
17,935		51.47% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,



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SCALE: N/A DATE: OCTOBER, 2019 DRAWN: CA
PLAN STATUS: DATE DESCRIPTION DATE DESCRIPTION
10/30/19 MYLAR SUBMISSION

SEAL:

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: STORMWATER COMPUTATIONS (2 OF 3)

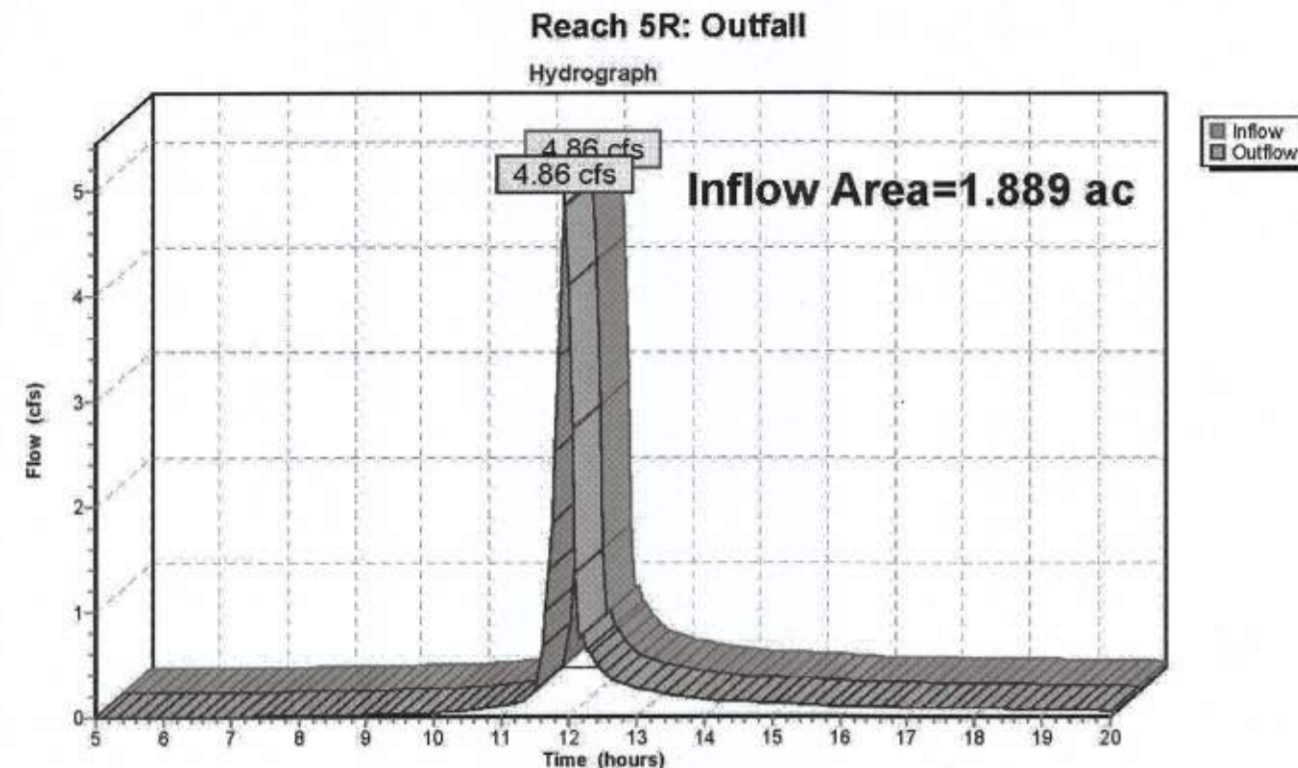
APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
11/6/19
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 11/6/19
DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

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Summary for Reach 5R: Outfall

Inflow Area = 1.889 ac, 37.32% Impervious, Inflow Depth > 1.49" for 1 Year event
 Inflow = 4.86 cfs @ 11.94 hrs, Volume= 0.234 af
 Outflow = 4.86 cfs @ 11.94 hrs, Volume= 0.234 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs



Summary for Pond 6P: VAULT

Inflow Area = 0.720 ac, 0.00% Impervious, Inflow Depth > 1.63" for 1 Year event
 Inflow = 2.19 cfs @ 11.95 hrs, Volume= 0.098 af
 Outflow = 2.01 cfs @ 11.99 hrs, Volume= 0.086 af, Atten= 8%, Lag= 1.9 min
 Primary = 2.01 cfs @ 11.99 hrs, Volume= 0.086 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 26.76' @ 11.99 hrs Surf Area= 268 sf Storage= 693 cf

Plug-Flow detention time= 62.5 min calculated for 0.085 af (87% of inflow)
 Center-of-Mass det. time= 22.9 min (788.4 - 765.5)

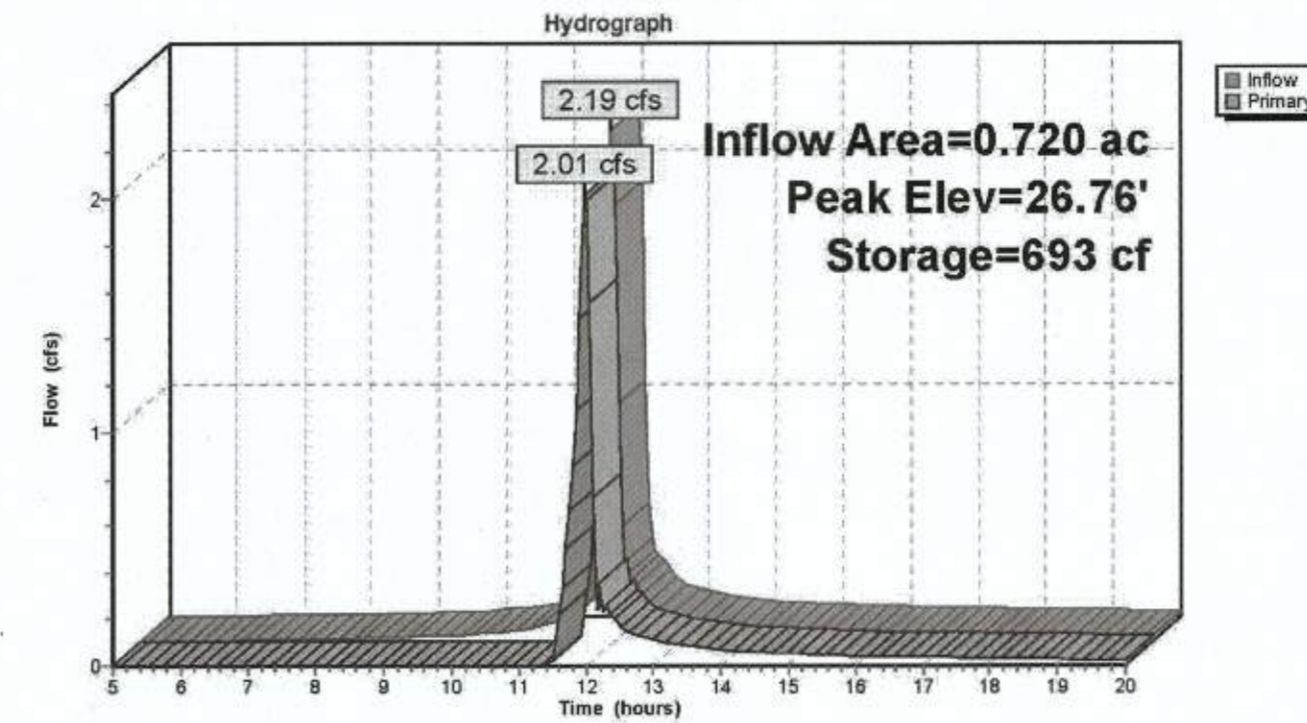
Volume	Invert	Avail Storage	Storage Description
#1	24.17'	1,608 cf	Custom Stage Data (Prismatic) listed below (Recalc)

Elevation (feet)	Surf Area (sq-ft)	Inc. Store (cubic-feet)	Cum. Store (cubic-feet)
24.17	268	0	0
30.17	268	1,608	1,608

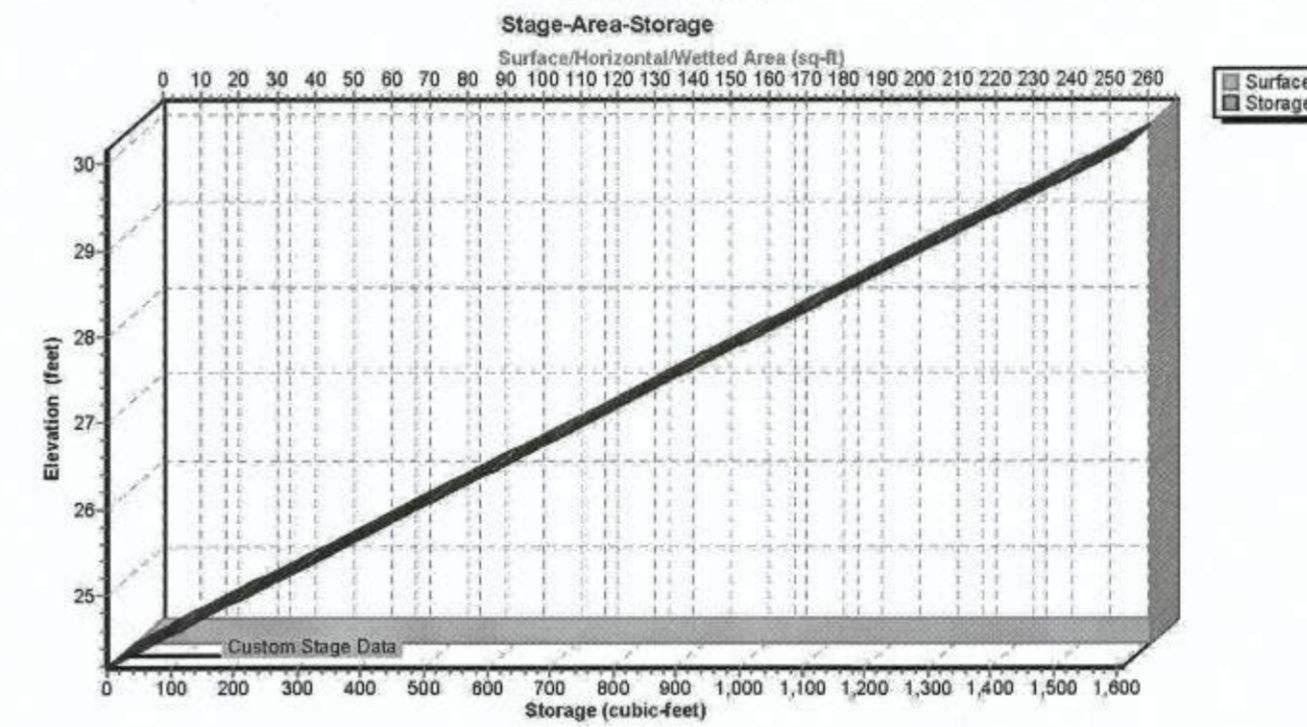
Device	Routing	Invert	Outlet Devices
#1	Primary	24.35'	15.0" Round Culvert L= 39.8' Ke= 0.200 Inlet / Outlet Invert= 24.35' / 23.30' S= 0.0264 /' Cc= 0.900 n= 0.013 Concrete pipe, bends & connections, Flow Area= 1.23 sf
#2	Device 1	26.17'	8.0' long Sharp-Crested Rectangular Weir 2 End Contractions (s)
#3	Device 2	24.37'	10.0" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max= 1.96 cfs @ 11.99 hrs HW= 26.73' (Free Discharge)
 1= Culvert (Passes 1.96 cfs of 9.77 cfs potential flow)
 2= Sharp-Crested Rectangular Weir (Passes 1.96 cfs of 10.69 cfs potential flow)
 3= Orifice/Grate (Orifice Controls 1.96 cfs @ 3.59 fps)

Pond 6P: VAULT



Pond 6P: VAULT



PRE CONDITIONS TR-55

Storm Data						
Rainfall Depth by Rainfall Return Period						
2-Yr (in)	5-Yr (in)	10-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	1-Yr (in)
3.1	4.0	4.77	6.0	7.0	8.2	2.56

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
PreCon	Open space; grass cover < 50% (poor)	D	.559	89
	Paved parking lots, roofs, driveways	D	1.33	98
Total Area / Weighted Curve Number			1.89	95

Hydrograph Peak/Peak Time Table

Sub-Area or Reach Identifier	Peak Flow and Peak Time (hr) by Rainfall Return Period
1-Yr (cfs)	(hr)
SUBAREAS	
PreCon	5.61
	11.93

REACHES	OUTLET
	5.61

POST CONDITIONS TR-55

Storm Data						
Rainfall Depth by Rainfall Return Period						
2-Yr (in)	5-Yr (in)	10-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	1-Yr (in)
3.1	4.0	4.77	6.0	7.0	8.2	2.56

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

Sub-Area Land Use and Curve Number Details

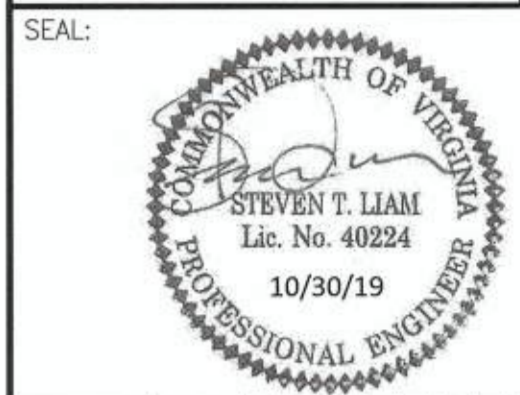
Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
PostCon	CN directly entered by user	-	1.89	93
Total Area / Weighted Curve Number			1.89	93

Hydrograph Peak/Peak Time Table

Sub-Area or Reach Identifier	Peak Flow and Peak Time (hr) by Rainfall Return Period
1-Yr (cfs)	(hr)
SUBAREAS	
PostCon	5.21
	11.93

REACHES	OUTLET
	5.21

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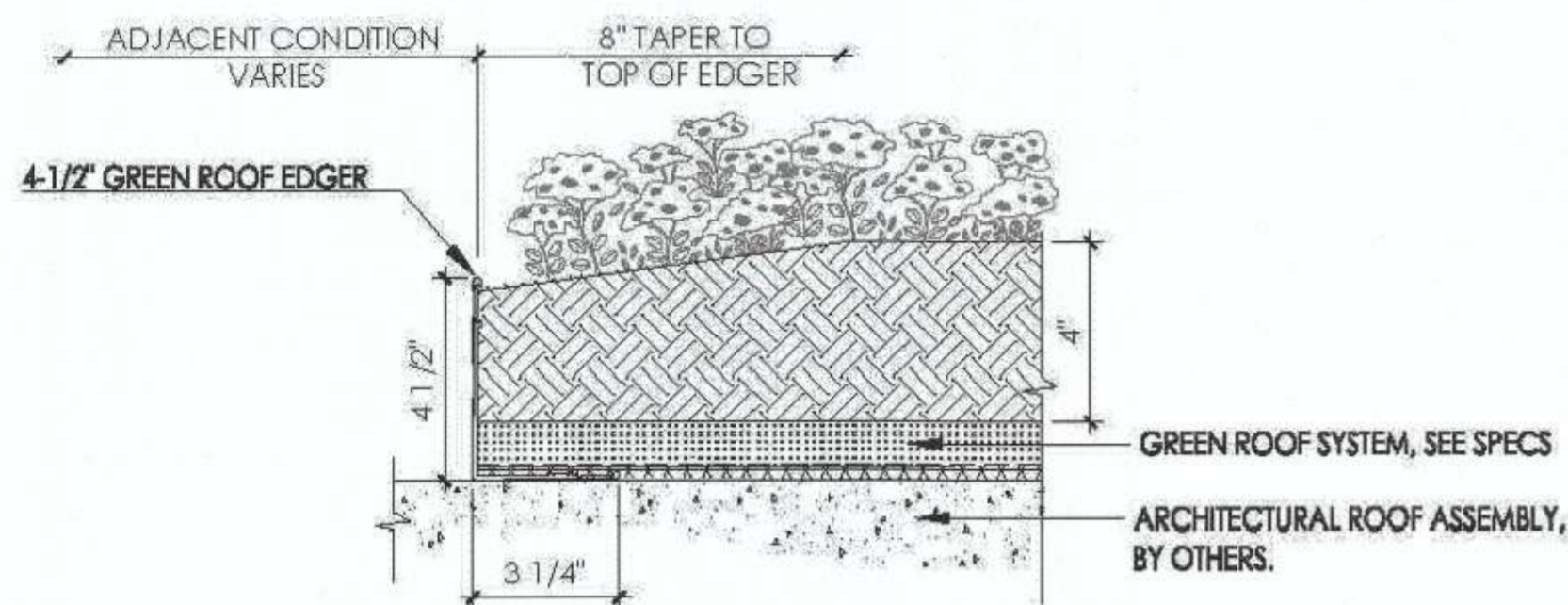
2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: STORMWATER COMPUTATIONS (3 OF 3)

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
 Approved For KM 11/6/19
 DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. [Signature] 11/6/19
 DIRECTOR DATE
 CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review

GREEN ROOF DETAILS

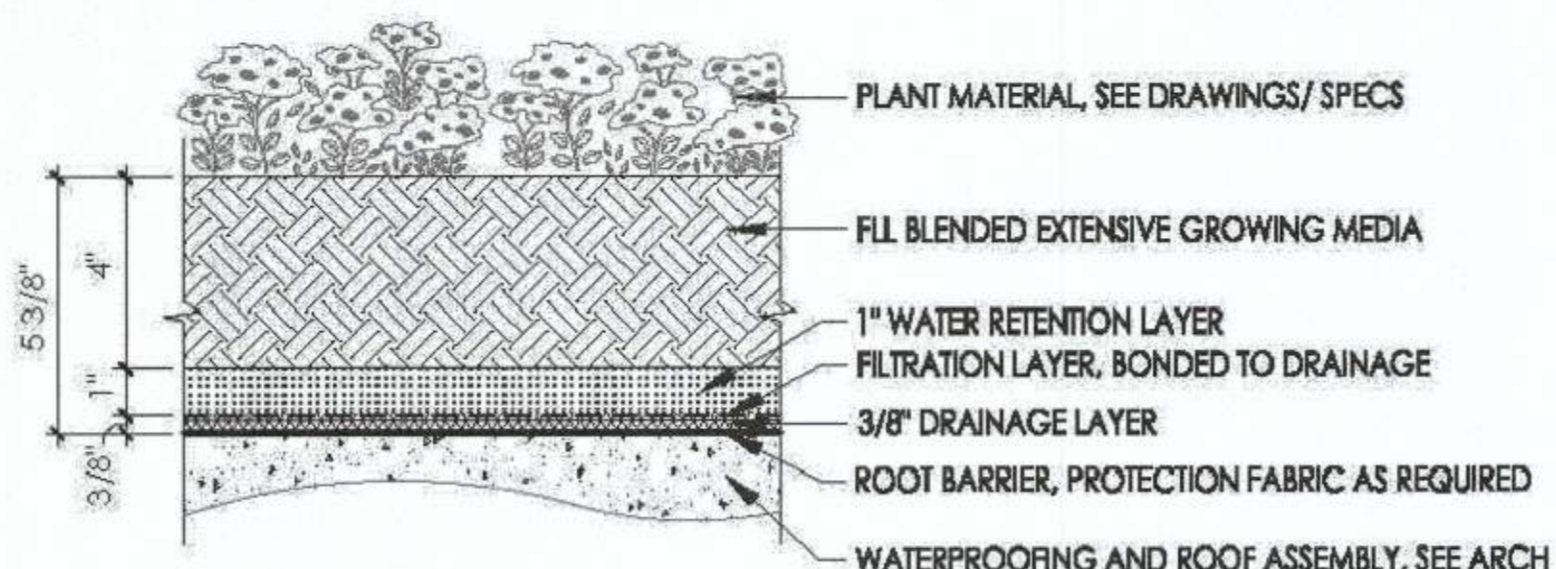


NOTE:
1. EDGER IS HELD IN PLACE BY WEIGHT OF GREEN ROOF SYSTEM. NO MECHANICAL FASTENING TO THE ROOF IS REQUIRED.

COLUMBIA GREEN TECHNOLOGIES LGR5.02 4" DEPTH GREEN ROOF EDGE CONDITION

LAYERED SYSTEM DETAIL SCALE: 3/4"=1'-0"

Corporate Office: 79 SE Taylor Street, Suite 201 Portland, OR 97214
Telephone: (503) 327-8723 - www.columbia-green.com



NOTE:
1. SYSTEM COMPONENTS ARE SHOWN AT NOMINAL SIZE. COMPRESSION WILL OCCUR AT RETENTION LAYER BASED ON AMOUNT (HEIGHT/VOLUME) OF GROWING MEDIA PLACED ON SYSTEM. MAXIMUM COMPRESSION 1/8" ±.

COLUMBIA GREEN TECHNOLOGIES LGR1.01b 4" DEPTH EXTENSIVE LAYERED GREEN ROOF

LAYERED SYSTEM DETAIL SCALE: 3/4"=1'-0"

Corporate Office: 79 SE Taylor Street, Suite 201 Portland, OR 97214
Telephone: (503) 327-8723 - www.columbia-green.com

PENNSYLVANIA STATE UNIVERSITY
Agricultural Analytical Services Laboratory
The Pennsylvania State University
University Park, PA 16802
www.aasl.psu.edu

COLUMBIA GREEN TECHNOLOGIES
(814) 863-0841
Fax: (814) 863-4540

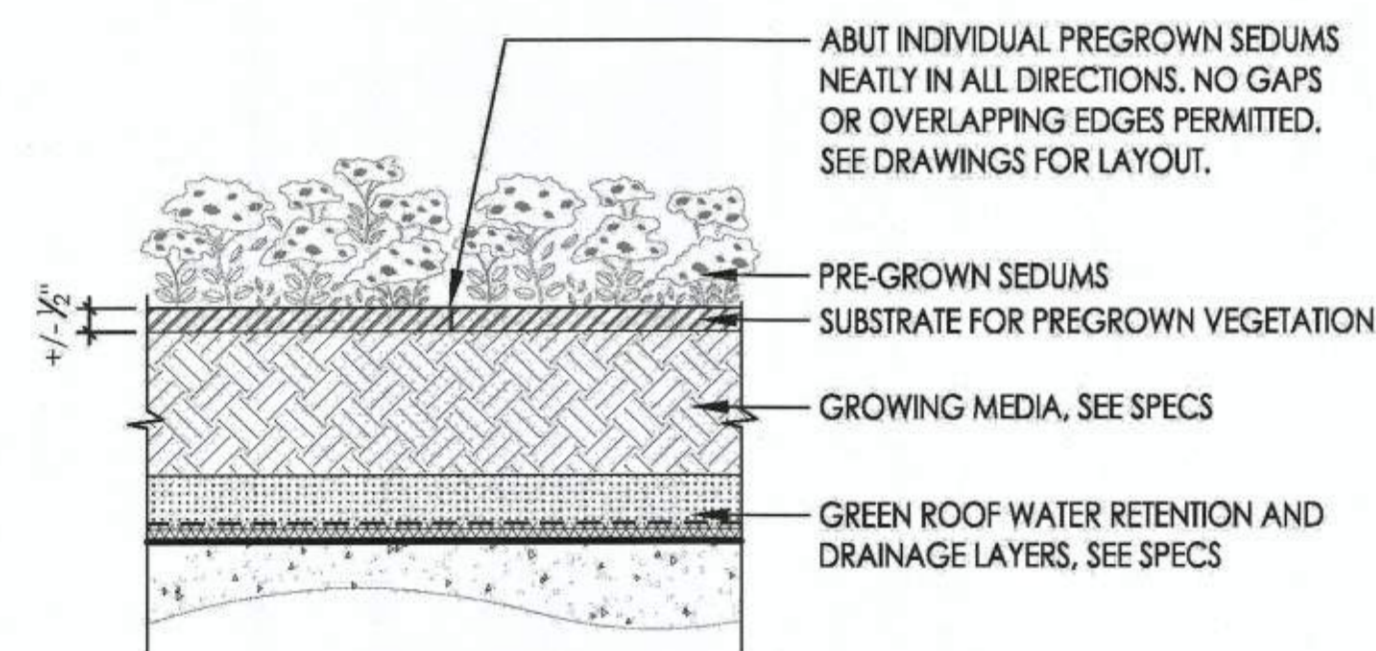
COLUMBIA GREEN EXTENSIVE GROWING MEDIA- EAST COAST

ANALYSIS FOR:		ADDITIONAL COPY TO:			
Joe DiNorscia Skyland USA LLC PO BOX 159 Landsberg PA 19350		Peter Philipp Skyland USA LLC P.O. Box 159 Landsberg PA 19350			
LAB ID	SAMPLE ID	SAMPLE TYPE	DATE SAMPLED	DATE RECEIVED	DATE COMPLETED
SM07290	Rootlet® Extensive ETB 124	Estimate	5/2/2018	5/9/2018	5/17/2018

Green Roof Media Analysis
Results on dry weight basis unless specified otherwise

Analysis	Units	Result	FLL Guidelines for Multi-Course Extensive Sites*
Particle Size Distribution (See accompanying report) ¹	mass %	10.2	≤ 15
≤ 0.05 mm (FLL reference value based on < 0.06 mm)			
Density Measurements			
Bulk Density (dry weight basis)	g/cm ³	0.79	—
Bulk Density (dry weight basis)	lb/ft ³	49.34	—
Bulk Density (at max. water-holding capacity)	g/cm ³	1.30	—
Bulk Density (at max. water-holding capacity)	lb/ft ³	81.09	—
Water/Air Measurements ²			
Moisture	mass %	23.2	—
Total Pore Volume	Vol. %	63.5	—
Maximum water-holding Capacity	Vol. %	53.4	35 - 65
Air-Filled Porosity (at max. water-holding capacity)	Vol. %	10.1	≥ 10
Water permeability (saturated hydraulic conductivity)	cm/s	0.020	0.001 - 0.12
Water permeability (saturated hydraulic conductivity)	in/min	0.47	0.024 - 2.83
pH and Salt Content ³			
pH (CaCl ₂)		7.6	6.0 - 8.5
Soluble salts (water, 1:10, mv/v)	mmhos/cm	0.28	—
Soluble salts (water, 1:10, mv/v)	g (KCl)/L	1.52	≤ 3.5
Organic Measurements ⁴			
Organic matter content	mass %	7.8	—
Organic matter content	g/L	61.5	≤ 65
Nutrients ⁴			
Phosphorus, P ₂ O ₅ (CAL)	mg/L	650.8	≤ 200
Potassium, K ₂ O (CAL)	mg/L	474.4	≤ 700
Magnesium, Mg (CaCl ₂)	mg/L	278.0	≤ 200
Nitrate + Ammonium (CaCl ₂)	mg/L	14.0	≤ 80

*Forschungsgesellschaft Landschaftsformenbau, Landschaftbau (FLL), 2008. Guidelines for the Planning, Installation and Upkeep of Green-Roof Sites.
¹Particle size determined by ASTM D422-03
²Density, total pore volume, water-holding capacity, air-filled porosity, & water permeability determined by ASTM D2399
³Moisture, total pore volume, water-holding capacity, air-filled porosity, & water permeability determined by methods of the Assoc. of American Agr. Analysts & Ins. Inst. (FOCUS) Methods Book vol. 1, Soil Analysis
⁴Organic matter content determined by loss on ignition (500 °C), as described by ISO 15424



COLUMBIA GREEN TECHNOLOGIES LGR2.01 PLANTING METHOD: SEDUM TILE/MAT

LAYERED SYSTEM DETAIL SCALE: 3/4"=1'-0"

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COLUMBIA GREEN TECHNOLOGIES TECHNICAL INFORMATION SHEET

Drainage Layer
Product NUMBER: ML2007 – 0.375" thickness
ML2005 – 0.75" thickness

Description:
The Drainage Layer is designed to mitigate moisture and moisture vapors through ventilation and evaporation and promote proper drainage of the growing media. Critical for preventing ponding and moving excess water across the roof surface to the nearest drain, this layer also allows airflow up through the growing media which helps aerate the vegetative roof system. The Drainage Layer is a rolled product developed by drainage engineering experts. The Drainage Layer is available in two thicknesses, a 0.375 inch and 0.75 inch.

The three dimensional Drainage Layer is composed of extruded polymer woven into an entangled cusped geometric patterned matrix with heat-welded junctions. This forms a resilient structure specifically designed to provide superior drainage of growing media in vegetative roof assemblies. The Drainage Layer, when installed with the other green roof system components, creates extensive air space and moisture drainage between the waterproof roofing membrane and the green roof vegetation.

The high permeability (94%) of the Drainage Layer geomatrix allows for the efficient removal of excess rain or irrigation water while enabling the growing media to retain its natural stability of moisture. The Drainage Layer does not support mold. Installation is simple and straight forward, involving only heavy duty scissors to cut to shape. The rolls are placed on top of the root barrier or protective sheet and abuted together.

Installation

- Do not overlap material. Unroll parallel to slope. Install below Filtration and Retention Layers. When installing with optional attached Filtration Layer; overlap the provided 3" seams.

Storage:

- Store components in a dry area.
- Store away from sources of ignition and extremely high temperatures.

Precautions:

- Avoid prolonged exposure to sunlight, heat, sparks and open flames.
- Wash exposed skin prior to eating, drinking or smoking and at the end of each shift.

LEED Information:

- Manufacturing Location: Euclid, Ohio 44117
- Pre-Consumer Recycled Content: 40%

COLUMBIA GREEN TECHNOLOGIES TECHNICAL INFORMATION SHEET

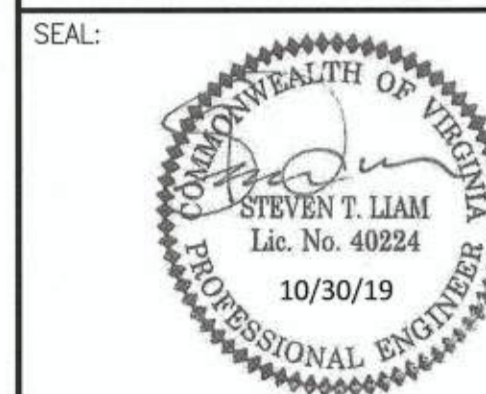
Technical Data – ML2007 – 0.375" Thickness:

Physical Property	Test Method	Value
Polymer		Polypropylene
Thickness		0.40 in
Weight		17 oz. / yd ²
Roll Width		4 ft.
Roll Length		100 ft.
Roll Diameter (When Shipped)		24" ± dia. roll
Roll Coverage		400 ft ²
Roll Weight		48 ± lbs.
Flow Rate		≥ 10 gpm

Technical Data – ML2005 – 0.75" Thickness:

Physical Property	Test Method	Value
Polymer		Polypropylene
Thickness		0.75 in
Weight		16.7 oz. / yd ²
Roll Width		4 ft.
Roll Length		50 ft.
Roll Diameter (When Shipped)		24" ± dia. roll
Roll Coverage		200 ft ²
Roll Weight		48 ± lbs.
Permeability	ASTM E283	50 CFM
Flow Rate		≥ 10 gpm

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REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

AAAUUU FOR KM 11/6/19
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. _____

11/6/19
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

ESI Peer Review

SHEET NAME: GREEN ROOF DETAILS

JELLYFISH FILTER MAINTENANCE NOTES

- 3.2 – Maintenance**
3.2.1 – Maintenance Requirements
 Required maintenance for Jellyfish Filter units is based upon results of the most recent inspection, historical maintenance records, or the site specific water quality management plan; whichever is more frequent. In general, maintenance requires some combination of the following:
- Sediment removal for depths reaching 12 inches or greater, or within 3 years of the most recent sediment cleaning, whichever occurs sooner.
 - Floatable trash, debris, and oil must be removed.
 - Filter cartridges rinsed and re-installed as required by the most recent inspection results, or within 12 months of the most recent filter rinsing, whichever occurs first.
 - Replace filter cartridge if rinsing does not remove accumulated sediment from the tentacles, or if tentacles are damaged or missing. It is recommended that tentacles should remain in service no longer than 5 years before replacement.
 - Damaged or missing cartridge deck components must be repaired or replaced as indicated by results of the most recent inspection.
 - The unit must be cleaned out and filter cartridges inspected immediately after an upstream oil, fuel, or chemical spill. Filter cartridge tentacles should be replaced if damaged by the spill.

- 3.2.2 – Maintenance Tools and Equipment**
 The following equipment and tools are typically required when performing Jellyfish Filter maintenance:
- Vacuum truck
 - Ladder
 - Garden hose and low pressure sprayer
 - Rope or cord to lift filter cartridges from the cartridge deck to the surface
 - Adjustable pliers for removing filter cartridge tentacles from cartridge head plate
 - Plastic tub or garbage can for collecting effluent from rinsed filter cartridge tentacles
 - Access cover lifting tool
 - Sediment probe (clear hollow tube with check valve)
 - Tape measure
 - Flashlight
 - Camera
 - Inspection and maintenance log documentation
 - Safety cones and caution tape
 - Hard hats, safety shoes, safety glasses, chemical-resistant gloves, and hearing protection for service providers
 - Proper safety equipment for confined space entry
 - Replacement filter cartridge tentacles if required

- 3.2.3 – Maintenance Procedure**
 The following procedures are recommended when maintaining the Jellyfish Filter:
- Provide traffic control measures as necessary.
 - Open all covers and hatches. Use ventilation equipment as required, according to confined space entry procedures.
 - Caution:** Dropping objects onto the cartridge deck may cause damage.
 - Perform **Inspection Procedure** prior to maintenance activity.
 - To access the cartridge deck for filter cartridge service, descend the ladder and step directly onto the deck. **Caution:** Do not step onto the maintenance access wall (MAW) or backwash pool weir, as damage may result. Note that the cartridge deck may be slippery.

- 3.2.4 – Filter Cartridge Rinsing Procedure**
- Remove a cartridge lid.
 - Remove the cartridge from the receptacle using the lifting loops in the cartridge head plate. **Caution:** Should

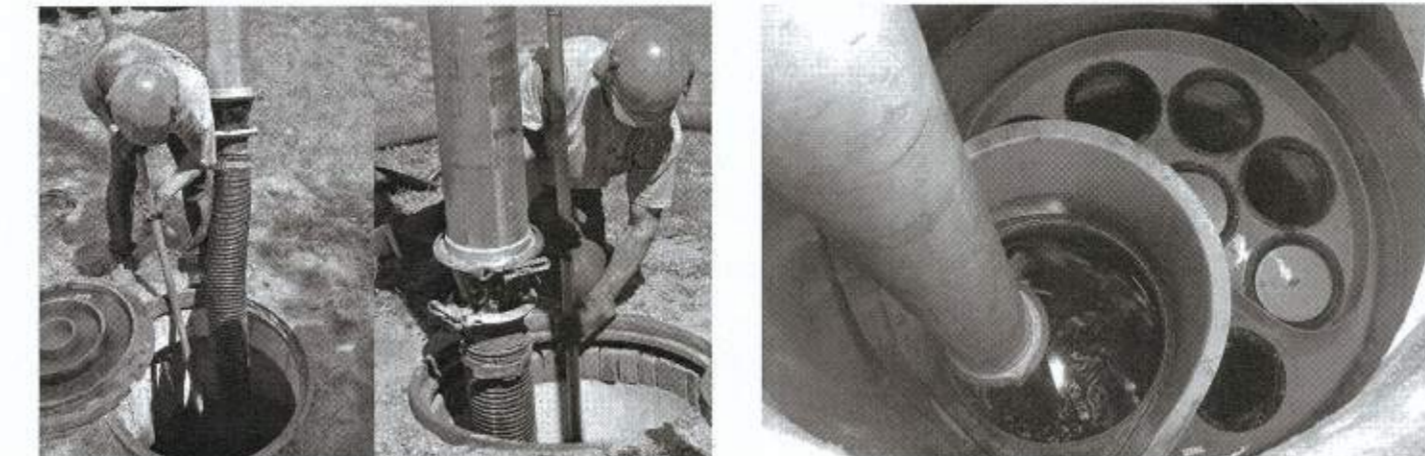
- a snag occur, do not force the cartridge upward as damage to the tentacles may result. Rotate the cartridge with a slight sideways motion to clear the snag and continue removing the cartridge.
- Thread a rope or cord through the lifting loops and lift the filter cartridge from the cartridge deck to the top surface outside the structure.
- Caution:** Immediately replace and secure the lid on the exposed empty receptacle as a safety precaution. Never expose more than one empty cartridge receptacle.
- Repeat the filter cartridge removal procedure until all of the cartridges are located at the top surface outside the structure.
- Disassemble the tentacles from each filter cartridge by rotating counter-clockwise. Remove the tentacles from the cartridge head plate.
- Position a receptacle in a plastic tub or garbage can such that the rinse water is captured. Using a low-pressure garden hose sprayer, direct a wide-angle water spray at a downward 45° angle onto the tentacle membrane, sweeping from top to bottom along the length of the tentacle. Rinse until all sediment is removed from the membrane. **Caution:** Do not use a high pressure sprayer or focused stream of water on the membrane. Excessive water pressure may damage the membrane. Turn membrane upside down and pour out any residual rinsewater to ensure center of tentacle is clear of any sediment.
- Remove rinse water from rinse tub or garbage can using a vacuum hose as needed.
- Slip the o-ring over the tentacle nipple and reassemble onto the cartridge head plate; hand-tighten.
- If rinsing is ineffective in removing sediment from the tentacles, or if tentacles are damaged, provisions must be made to replace the spent or damaged tentacles with new tentacles. Contact Contech to order replacement tentacles.
- Lower a rinsed filter cartridge to the cartridge deck. Remove the cartridge lid on a receptacle and carefully lower the filter cartridge into the receptacle until the head plate gasket is seated squarely on the lip of the receptacle. **Caution:** Should a snag occur when lowering the cartridge into the receptacle, do not force the cartridge downward; damage may occur. Rotate the cartridge with a slight sideways motion to clear the snag and complete the installation.
- Replace the cartridge lid on the exposed receptacle. Rinse away any accumulated grit from the receptacle threads if needed to get a proper fit. **Align the cartridge lid male threads with the cartridge receptacle female threads. Firmly twist the cartridge lid clockwise a minimum 110° to seat the filter cartridge snugly in place, with a proper watertight seal.**
- Repeat cartridge installation until all cartridges are installed.



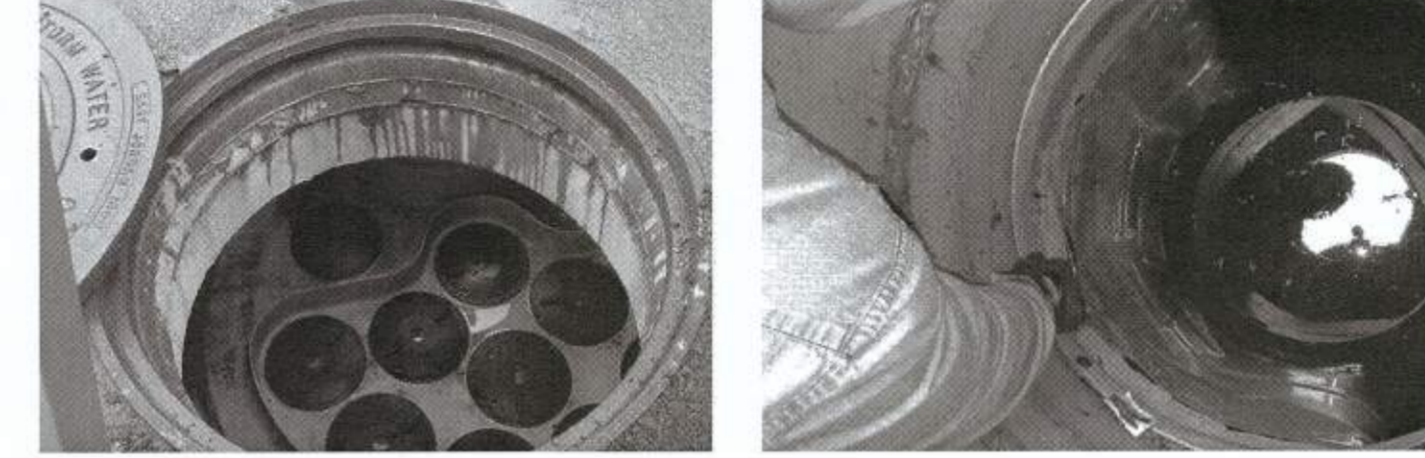
Rinsing of dirty filter cartridge tentacles with a low-pressure garden hose sprayer, and using a plastic garbage container to capture rinse water.

- 3.2.5 – Vacuum Cleaning Procedure**
- Caution:** Perform vacuum cleaning of the Jellyfish Filter only after filter cartridges have been removed from the system. Access the lower chamber for vacuum cleaning **only through the maintenance access wall (MAW) opening**, being careful not to damage the flexible plastic separator skirt that is attached to the underside of the deck. The separator skirt surrounds the filter cartridge zone, and could be torn if contacted by the wand. Do not lower the vacuum wand through a cartridge receptacle, as damage to the receptacle will result.
 - To remove floatable trash, debris, and oil, lower the vacuum hose into the MAW opening and vacuum floatable pollutants off the surface of the water. Alternatively, floatable solids may be removed by a net or skimmer.
 - Using a vacuum hose, remove the water from the lower chamber to the sanitary sewer, if permitted by the local regulating authority, or into a separate containment tank.
 - Remove the sediment from the bottom of the unit through the MAW opening.
 - For larger diameter Jellyfish Filter manholes (8-ft, 10-ft, 12-ft diameter), complete sediment removal may be facilitated by removing a cartridge lid from an empty receptacle and inserting a jetting wand (not a vacuum wand) through the receptacle. Use the sprayer to rinse loosened sediment toward the vacuum hose in the MAW opening, being careful not to damage the receptacle.
 - After the unit is clean, re-fill the lower chamber with water if required by the local jurisdiction, and re-install filter cartridges.
 - Dispose of sediment, floatable trash and debris, oil, spent tentacles, and water according to local regulatory requirements.

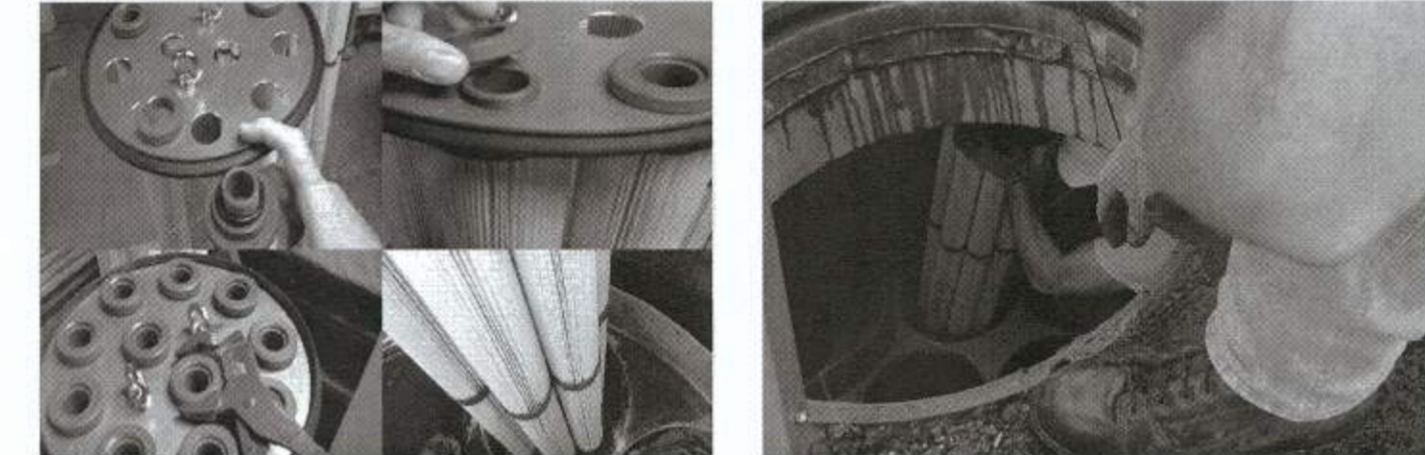
- 3.2.6 – Chemical Spills**
- Caution:** If a chemical spill has been captured by the Jellyfish Filter, do not attempt maintenance. Immediately contact the local hazard response agency.



A maintenance worker stationed on the surface uses a vacuum hose to evacuate water, sediment, and floatables from the Jellyfish Filter by inserting the vacuum wand through the maintenance access wall opening.



A view of a Jellyfish Filter cartridge deck from the surface showing all the cartridge lids intact and no standing water on the deck (left image), and inspection of the flexible separator skirt from inside the maintenance access wall opening (right image).



Assembly of a Jellyfish Filter cartridge (left) and installation of a filter cartridge into a cartridge receptacle in the deck (right).

- 3.3 – Disposal Procedures**
 Disposal requirements for recovered pollutants and spent filtration tentacles may vary depending on local guidelines. In most areas the sediment and spent filtration tentacles, once dewatered, can be disposed of in a sanitary landfill. It is not anticipated that the sediment would be classified as hazardous waste.
- Petroleum-based pollutants captured by the Jellyfish Filter, such as oil and fuels, should be removed and disposed of by a licensed waste management company.
- Although the Jellyfish Filter captures virtually all free oil, a sheen may still be present at the MAW. A rainbow or sheen can be visible at oil concentrations of less than 10 mg/L (ppm).

GREEN ROOF MAINTENANCE NOTES

Vegetated Roof Maintenance Schedule and Guidelines

This document must be recorded as an addendum to the stormwater management/ BMP facilities operation and maintenance agreement

First Year Maintenance Guidelines

Successful establishment of vegetated roofs require that the following tasks be undertaken during the first year following construction:

- Initial inspections. The roof should be inspected monthly during the vegetation establishment period, and then every six months thereafter to assess the state of vegetative cover and to look for leaks, drainage problems and other functional or structural concerns

Routine Maintenance Guidelines

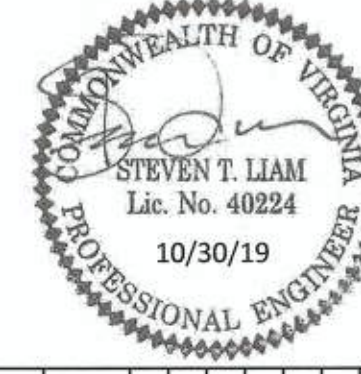
Vegetated roofs must be inspected to ensure that they operate in good working condition and in accordance with the approved design and specifications. Items in need of repair must be immediately addressed.

The use of herbicides, insecticides, fungicides, and fertilizers should be avoided, since their presence could hasten degradation of the waterproof membrane. Also, power-washing and other exterior maintenance operations should be avoided so that cleaning agents and other chemicals do not harm the vegetated roof plant communities.

Routine Maintenance Tasks	Frequency
Remove trash and debris	Semi-annually
Inspect waterproof membrane for leaks or cracks and repair any damage	Semi-annually
Remove invasive plants	Semi-annually
Inspect and remove overgrowth and debris from roof drains, scuppers and gutters	Semi-annually
Inspect plant composition for consistency with approved plans and correct any deficiencies	Semi-annually
Replace any dead or dying plants	Semi-annually
Remove excess debris, fallen leaves, and overgrowth	Semi-annually
Check and repair areas of erosion	Semi-annually
Water to promote plant growth and survival	As needed

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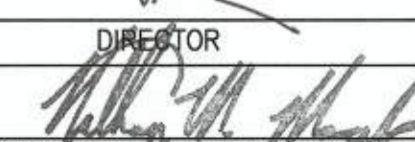
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 DATE: OCTOBER, 2019
 DRAWN: CA
 PLAN STATUS
 DATE: 10/30/19
 MVAR SUBMISSION
 DESCRIPTION
 DATE

SEAL:

 REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

2395 MILL ROAD
 FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: STORMWATER MAINTENANCE NOTES

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
 11/6/19
 DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____
 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

ESI
 Peer Review

SANITARY SEWER OUTFALL CALCULATIONS
 THE AVERAGE DAY AND PEAK HOUR WASTEWATER DISCHARGE FLOW FOR THE HOLMES RUN TRUNK SANITARY SEWER ALONG EISENHOWER AVENUE WAS PROVIDED BY THE CITY OF ALEXANDRIA AND ACCOUNTS FOR THE FLOWS PROJECTED ON THE APPROVED CDD. THE SUBJECT PROPERTY IS PROPOSING A BUILDING FOR OFFICE USE. CALCULATIONS PROVIDED WERE COMPUTED USING THE METHOD PROVIDED BY THE CITY OF ALEXANDRIA IN MEMORANDUM NO. 06-14. THE AVERAGE DAILY FLOW IS DESCRIBED BELOW:

PROPOSED FLOWS PER THIS PLAN (SUP 2018-0028)

OFFICE: 200 GPD/1000 SF X 331,877 SF = 66,375 GPD OR 0.10 CFS

TO ACCOUNT FOR THE DAILY PEAK PERIOD, THE ABOVE FLOW IS MULTIPLIED BY A FACTOR OF 4

TOTAL PEAK FLOW = 66,375 GPD X 4 = 265,500 GPD OR 0.41 CFS

THIS PROJECT IS ANTICIPATED TO GENERATE AN INCREASE IN EXCESS OF 10,000 GPD IN SANITARY WASTE OUTFLOW. AN AVERAGE DAILY FLOW OF APPROXIMATELY 66,375 GPD IS EXPECTED FOR THIS DEVELOPMENT RESULTING IN A PEAK FLOW OF 265,500 GPD. THEREFORE THE PROPOSED PROJECT IS SUBJECT TO A SANITARY SEWER OUTFALL ANALYSIS. THIS SANITARY SEWER OUTFALL ANALYSIS SHOWS ADEQUACY OF SANITARY SEWER OUTFALL IN ACCORDANCE WITH MEMO TO INDUSTRY 06-14. THE GENERAL AREA IS NOT KNOWN TO HAVE SANITARY SEWER CAPACITY PROBLEMS.

THIS PROJECT WILL CONNECT TO THE 12" SANITARY SEWER AT 003544SSMH LOCATED IN MILL ROAD WHICH IS MAINTAINED BY THE CITY OF ALEXANDRIA. ONCE WITHIN THE CITY MAINTAINED SANITARY SEWER SYSTEM, THE FLOW IS CONVEYED SOUTH ON MILL RACE LANE OUTFALLS INTO THE ALEXRENEW HOLMES RUN TRUNK SEWER AT MANHOLE 003528SSMH.

BEGIN SANITARY OUTFALL ANALYSIS

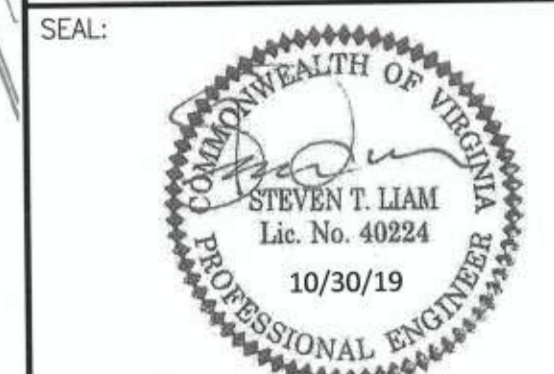
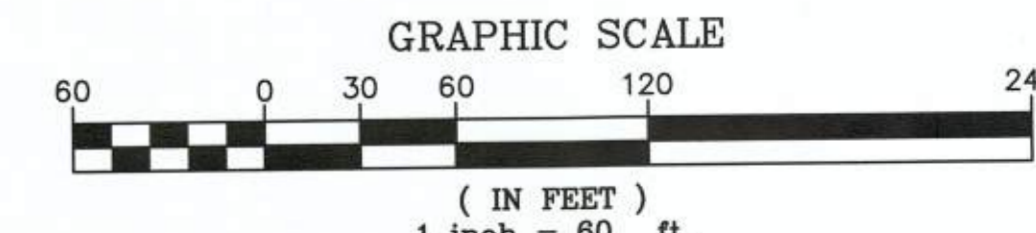
END OF SANITARY OUTFALL ANALYSIS

SANITARY SEWER COMPUTATIONS

Manhole Number	From	To	Total Site Flow (MGD)	Cumulative Combined Flow (MGD)	Peak Flow Factor	Peak Flow	Pipe Run							Capacity of Pipe (Full)		Proportional Pipe Flow	Remarks	
							Length (ft)	Material	Dia. (in)	Slope (%)	Manning's Coefficient	Upper (ft)	Lower (ft)	MGD	CFS			Velocity (fps)
003544SSMH	EX 2072	003544SSMH	0.0664	0.0664	4.00	0.266	166.16	PVC	12	3.01%	0.010	20.68	15.68	5.1828	8.02	10.21	0.05	Area 6
EX 2072	003544SSMH	003544SSMH	0.0748	0.0748	4.00	0.299	75.53	PVC	12	2.71%	0.010	15.28	13.23	4.9222	7.62	9.70	0.06	Area 6
003545SSMH	EX 2291	003545SSMH	0.0438	0.1102	4.00	0.441	62.96	PVC	12	9.47%	0.010	13.13	7.17	9.1925	14.22	18.11	0.05	Area 5
EX 2291	EX 2291	EX 2291	0.0000	0.1102	4.00	0.441	51.07	PVC	12	0.49%	0.010	7.13	6.88	2.0904	3.23	4.12	0.21	
EX 2292	EX 2293	EX 2293	0.0000	0.1102	4.00	0.441	63.53	PVC	12	0.54%	0.010	6.74	6.40	2.1857	3.38	4.31	0.25	
EX 2293	EX 2296	EX 2296	0.0000	0.1102	4.00	0.441	97.06	PVC	12	0.34%	0.010	6.27	5.94	1.7421	2.70	3.43	0.26	
EX 2296	007930SSMH	007930SSMH	0.0000	0.1102	4.00	0.441	60.05	PVC	12	0.33%	0.010	6.03	5.93	1.7242	2.67	3.40	0.26	
007930SSMH	007936SSMH	007936SSMH	0.0000	0.1102	4.00	0.441	82.53	PVC	12	0.40%	0.010	5.75	5.42	1.6893	2.92	3.72	0.23	
007936SSMH	007929SSMH	007929SSMH	0.0000	0.1102	4.00	0.441	39.35	RCP	24	0.08%	0.015	4.72	4.44	11.6124	17.97	5.72	0.06	Area 2
007929SSMH	007928SSMH	007928SSMH	0.0000	0.1602	4.00	0.641	7.15	RCP	24	0.84%	0.015	4.50	4.44	7.7383	11.97	3.81	0.08	
007928SSMH	007935SSMH	007935SSMH	0.0000	0.1602	4.00	0.641	91.24	RCP	24	0.37%	0.015	4.39	4.05	7.9760	12.34	3.93	0.08	
007935SSMH	007934SSMH	007934SSMH	0.0000	0.1602	4.00	0.641	50.52	RCP	24	0.40%	0.015	3.97	3.77	7.9760	12.34	3.93	0.08	
007934SSMH	007927SSMH	007927SSMH	0.0000	0.1602	4.00	0.641	59.67	RCP	24	0.17%	0.015	3.55	3.45	5.1895	8.03	2.56	0.12	
007927SSMH	007926SSMH	007926SSMH	0.0000	0.1602	4.00	0.641	92.73	RCP	24	0.51%	0.015	3.28	2.81	9.0248	13.96	4.44	0.07	
007926SSMH	007962SSMH	007962SSMH	0.0000	0.1602	4.00	0.641	67.35	RCP	24	0.59%	0.015	2.79	2.39	9.7693	15.12	4.81	0.11	Area 3
007962SSMH	007961SSMH	007961SSMH	0.1107	0.2709	4.00	1.084	70.50	RCP	24	0.82%	0.015	2.31	1.73	11.4979	17.79	5.66	0.13	Area 1
007961SSMH	007960SSMH	007960SSMH	0.0384	0.3893	4.00	1.477	70.50	RCP	24	0.82%	0.015	2.31	1.73	11.4979	17.79	5.66	0.13	
007960SSMH	003528SSMH	003528SSMH	0.0000	0.3893	4.00	1.477	76.89	RCP	24	0.51%	0.015	1.87	1.28	9.0281	13.97	4.45	0.16	Minimum pipe slope @ 0.5% Assumed

SANITARY SEWER HYDRAULIC GRADE LINE ANALYSIS

STRUCTURE	INLET WATER SURFACE ELEVATION	OUTLET WATER SURFACE ELEVATION	Do	Qo	Lo	Sfo%	Hf	JUNCTION LOSSES													FINAL H	INLET WATER SURFACE ELEVATION	RIM ELEVATION	REMARKS	FREE-BOARD (FT)	HOW OUTLET WISE DETERMINED
								Downstream WSE = 12.00																		
								V0	H0	Q1	V1	Q1V1	V2	H1	ANGLE	H_delta	Ht	1.3	0.5	0.85						
STRUCTURE 003544SSMH TO 003528SSMH	12.00	24	2.29	76.89	0.01	0.00	3.19	0.04	2.29	3.88	8.88	0.23	0.08	0	0.00	0.12	-	0.06	-	0.07	12.07	14.45	OK	-2.38	IWSE	
007960SSMH	12.07	24	2.29	70.50	0.01	0.00	3.88	0.06	1.68	3.14	5.26	0.15	0.05	4	0.01	0.12	-	0.06	-	0.06	12.13	14.66	OK	-2.53	IWSE	
007961SSMH	12.13	24	1.68	67.35	0.00	0.00	3.14	0.04	0.99	2.57	2.55	0.10	0.04	1	0.00	0.08	-	0.04	-	0.04	12.17	15.18	OK	-3.01	IWSE	
007962SSMH	12.17	24	0.99	92.73	0.00	0.00	2.57	0.03	0.99	1.67	1.65	0.04	0.02	58	0.02	0.06	-	0.03	-	0.03	12.20	16.43	OK	-4.23	IWSE	
007928SSMH	12.20	24	0.99	59.67	0.00	0.00	1.67	0.01	0.99	2.27	2.27	0.08	0.03	32	0.03	0.07	-	0.03	-	0.04	12.24	17.86	OK	-5.62	IWSE	
007927SSMH	12.20	24	0.99	92.73	0.00	0.00	2.27	0.02	0.99	2.27	2.25	0.08	0.03	90	0.06	0.10	-	0.05	-	0.05	12.29	17.43	OK	-5.14	IWSE	
007934SSMH	12.24	24	0.99	30.04	0.00	0.00	2.27	0.02	0.99	2.27	2.19	0.08	0.03	47	0.04	0.08	-	0.04	-	0.04	12.33	16.22	OK	-3.89	IWSE	
007935SSMH	12.29	24	0.99	50.52	0.00	0.00	2.27	0.02	0.99	2.21	2.19	0.08	0.03	47	0.04	0.08	-	0.04	-	0.04	12.33	16.22	OK	-3.89	IWSE	
007929SSMH	12.33	24	0.99	91.24	0.00	0.00	2.21	0.02	0.99	2.84	2.82	0.13	0.04	31	0.04	0.11	-	0.03	-	0.03	12.41	17.33	OK	-4.92	IWSE	
007936SSMH	12.39	24	0.99	7.15	0.00	0.00	2.84	0.03	0.68	1.12	0.77	0.02	0.01	110	0.01	0.05	-	0.03	-	0.03	12.41	17.33	OK	-4.92	IWSE	
007926SSMH	12.41	24	0.68	39.35	0.00	0.00	1.12	0.00	0.68	3.01	2.05	0.14	0.05	95	0.10	0.15	-	0.08	-	0.08	12.49	17.01	OK	-4.52	IWSE	
007930SSMH	12.49	12	0.68	82.53	0.02	0.02	3.01	0.04	0.68	2.74	1.87	0.12	0.04	86	0.08	0.15	-	0.08	-	0.09	12.66	18.62	OK	-5.86	IWSE	
EX 2296	12.58	12	0.68	80.05	0.02	0.01	2.74	0.03	0.68	2.74	1.87	0.12	0.04	86	0.08	0.15	-	0.08	-	0.10	12.76	13.97	OK	-1.21	IWSE	
EX 2293	12.66	12	0.68	97.06	0.02	0.02	2.74	0.03	0.68	2.77	1.89	0.12	0.04	78	0.08	0.15	-	0.07	-	0.07	12.76	16.74	OK	-2.92	IWSE	
EX 2292	12.76	12	0.68	63.53	0.02	0.01	2.77	0.03	0.68	3.36	2.29	0.18	0.06	4	0.01	0.10	-	0.05	-	0.06	12.82	15.74	OK	-2.92	IWSE	
EX 2291	12.82	12	0.68	51.07	0.02	0.01	3.36	0.04	0.68	9.01	6.15	1.26	0.44	15	0.24	0.72	-	0.36	-	0.37	13.20	18.22	OK	-5.02	IWSE	
003545SSMH	13.20	12	0.68	62.96	0.02	0.01	9.01	0.32	0.46	5.24	2.42	0.43	0.15	37	0.17	0.64	-	0.32	-	0.33	13.53	21.73	OK	-8.20	IWSE	
EX 2072	14.03	12	0.46	75.53	0.01	0.01	5.24	0.11	0.41	5.08	2.09	0.40	0.14	0	0.00	0.25	0.32	-	-	0.33	15.75	25.78	OK	-10.03	0.8D	
003544SSMH	16.48	12	0.41	166.16	0.01	0.01	5.08	0.10	0.00	0.00	0.00	0.00	0.00	0	0.00	0.10	0.13	-	-	0.30	20.70	32.78	OK	-12.08	0.8D	



REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING
 DIRECTOR FOR ZONING: *Ashley Fox KM* 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. *11/6/19*
 CHAIRMAN, PLANNING COMMISSION: *William J. ...* 11/6/19

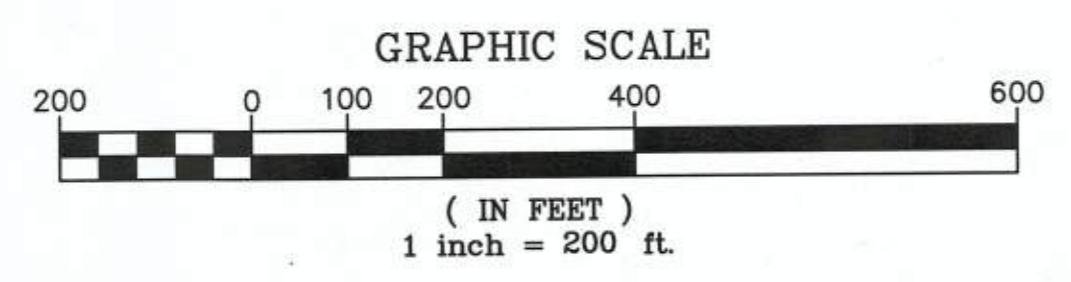
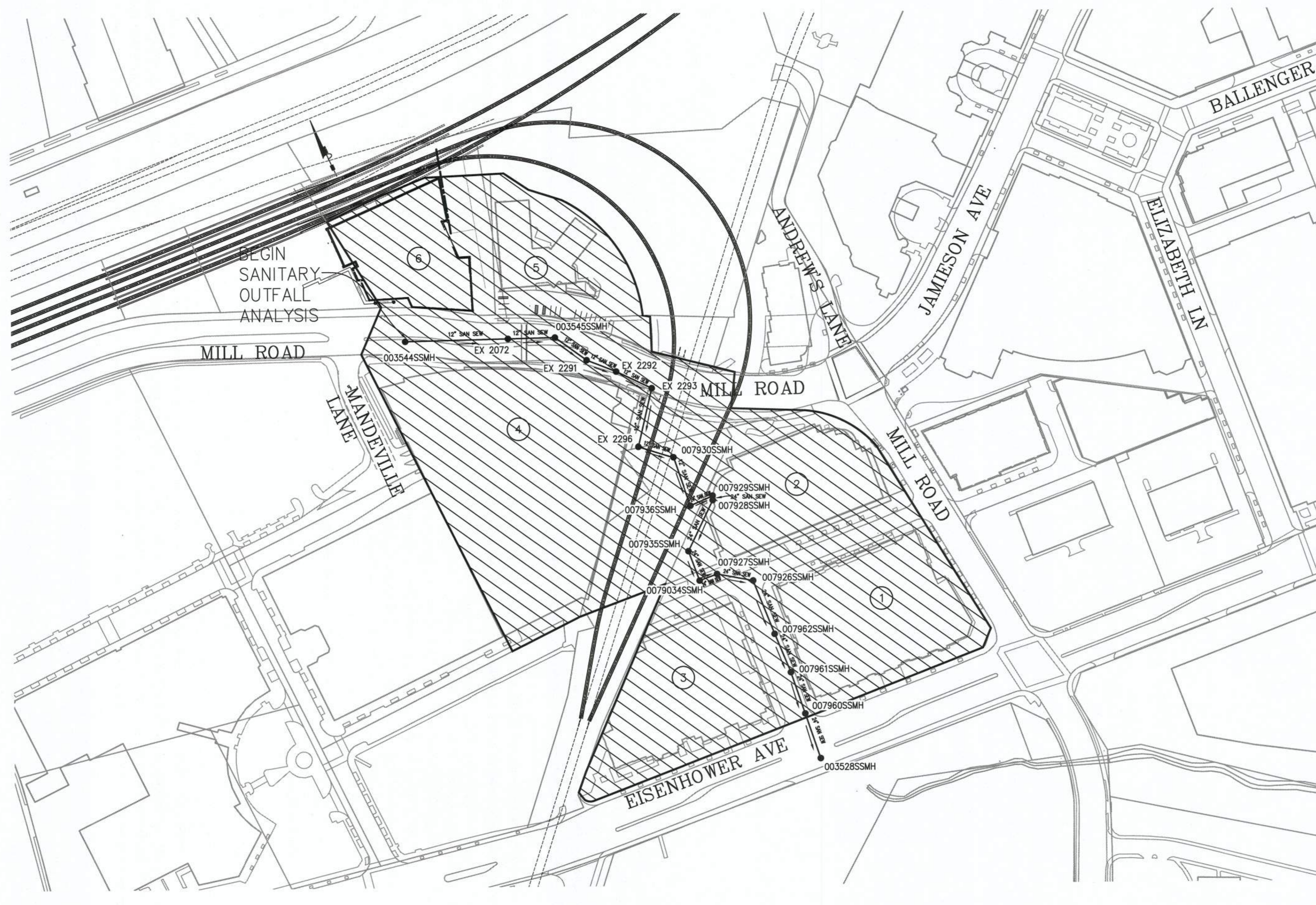
DATE RECORDED
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

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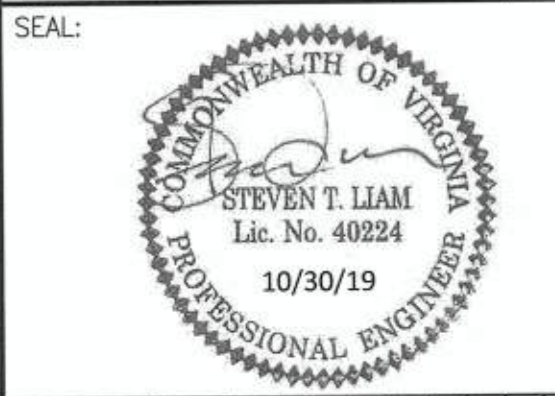
SCALE: 1"=60'
 DATE: OCTOBER, 2019
 DRAWN: CA
 PLAN STATUS
 DATE DESCRIPTION DATE
 10/29/19 MYLAR SUBMISSION

SHEET NAME: **SANITARY SEWER ADEQUATE OUTFALL ANALYSIS**
 SHEET: C19.00



Area	Parcel #	Use	Gross Building Area (Sq. Ft.)	# of Units	Unit Flow (GPD)	Total Flow (GPD)	Total Flow (MGD)	Peak Flow Factor	Peak (MGD)
1	072.04-03-21	Apartments		328	300	98,400	0.0984	4	0.3936
2	072.04-0A-00	Office Buildings	250,000		200/1000	50,000	0.0500	4	0.2000
3	072.04-03-23	Apartments		369	300	110,700	0.1107	4	0.4428
4	072.04-03-26	Parking Garage	960,508		200/1000	-	-	4	-
5	072.02-02-10	Group Care Homes				43,800	0.0438	4	0.1752
6	072.02-02-18	Office Buildings	331,877		200/1000	66,375	0.0664	4	0.2655
Total			1,542,385	697	600	369,275	0.3693	-	1.4771

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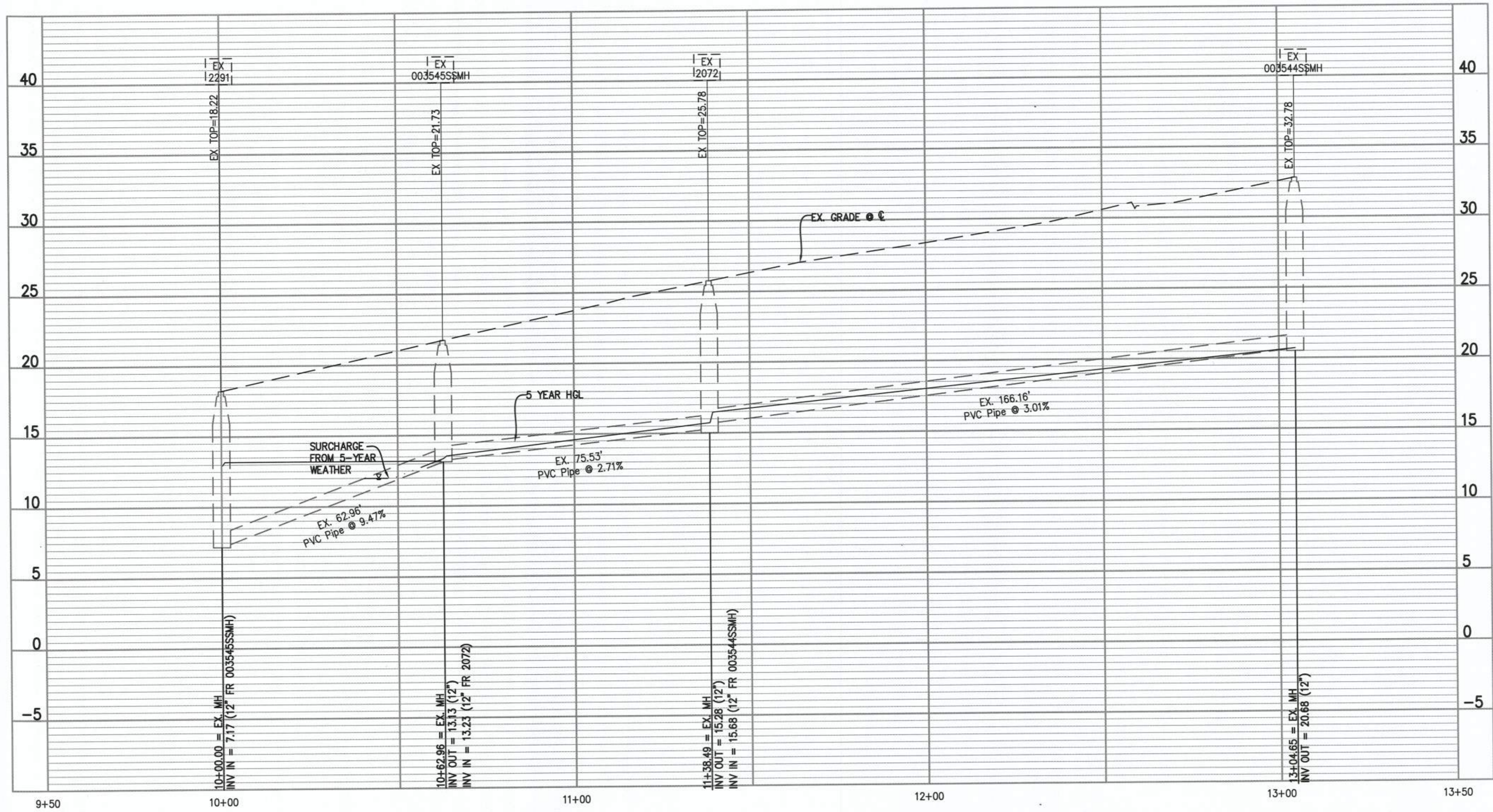
NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

**2395 MILL ROAD
 FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA**

SHEET NAME: SANITARY SEWER SHED

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR [Signature] DATE 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. [Signature] DATE 11/6/19
 DIRECTOR [Signature] DATE 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE 11/6/19
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

ESI Peer Review

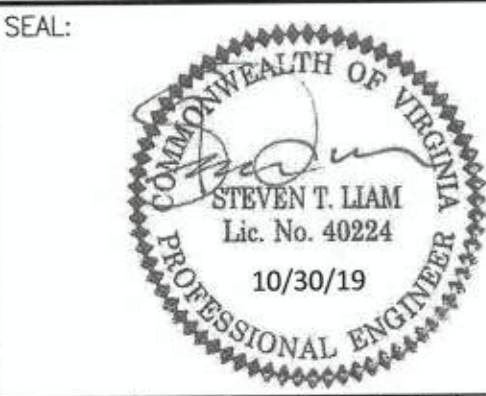


EXISTING SANITARY SEWER PROFILE VIEW
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'

OUTFALL NARRATIVE

A HGL COMPUTATION HAS BEEN COMPUTED FOR THE SEWER OUTFALL TO THE HOLMES RUN TRUNK SEWER. A STARTING 5 YEAR HGL AT THE MAIN IS AT 12 FEET NAVD88. SEE COMPUTATIONS ON SHEET C19.00. THE ABOVE GRAPHICAL PROFILE SHOWS THE HGL BACK INTO THE SEWER PIPE AT EX003545SSMH.

DESIGN ENGINEER / SURVEYOR
Bowman CONSULTING
 Bowman Consulting Group, Ltd.
 13461 Sunrise Valley Drive, Suite 500
 Herndon, Virginia 20171
 Phone: (703) 464-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com



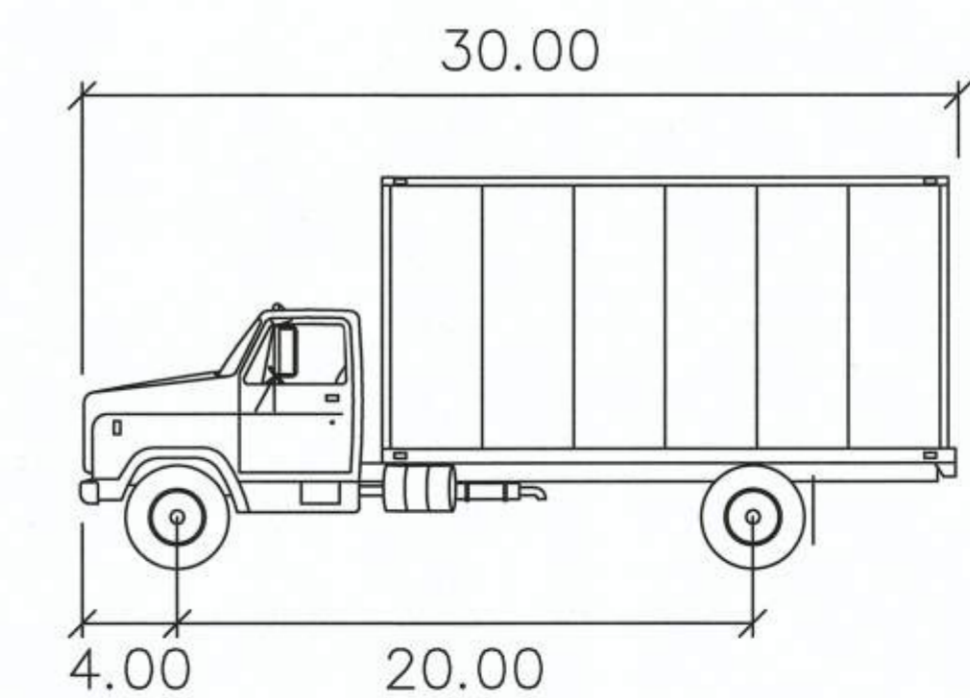
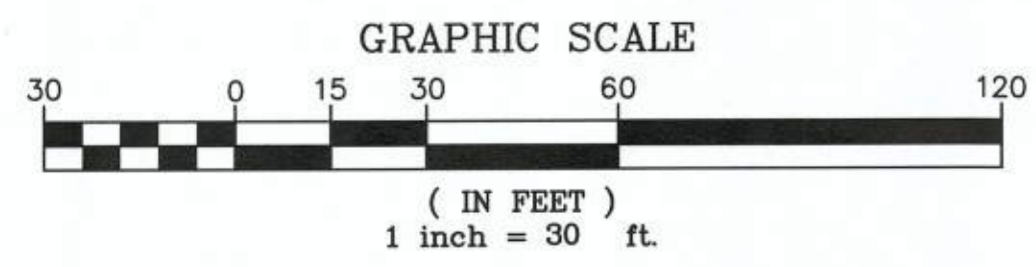
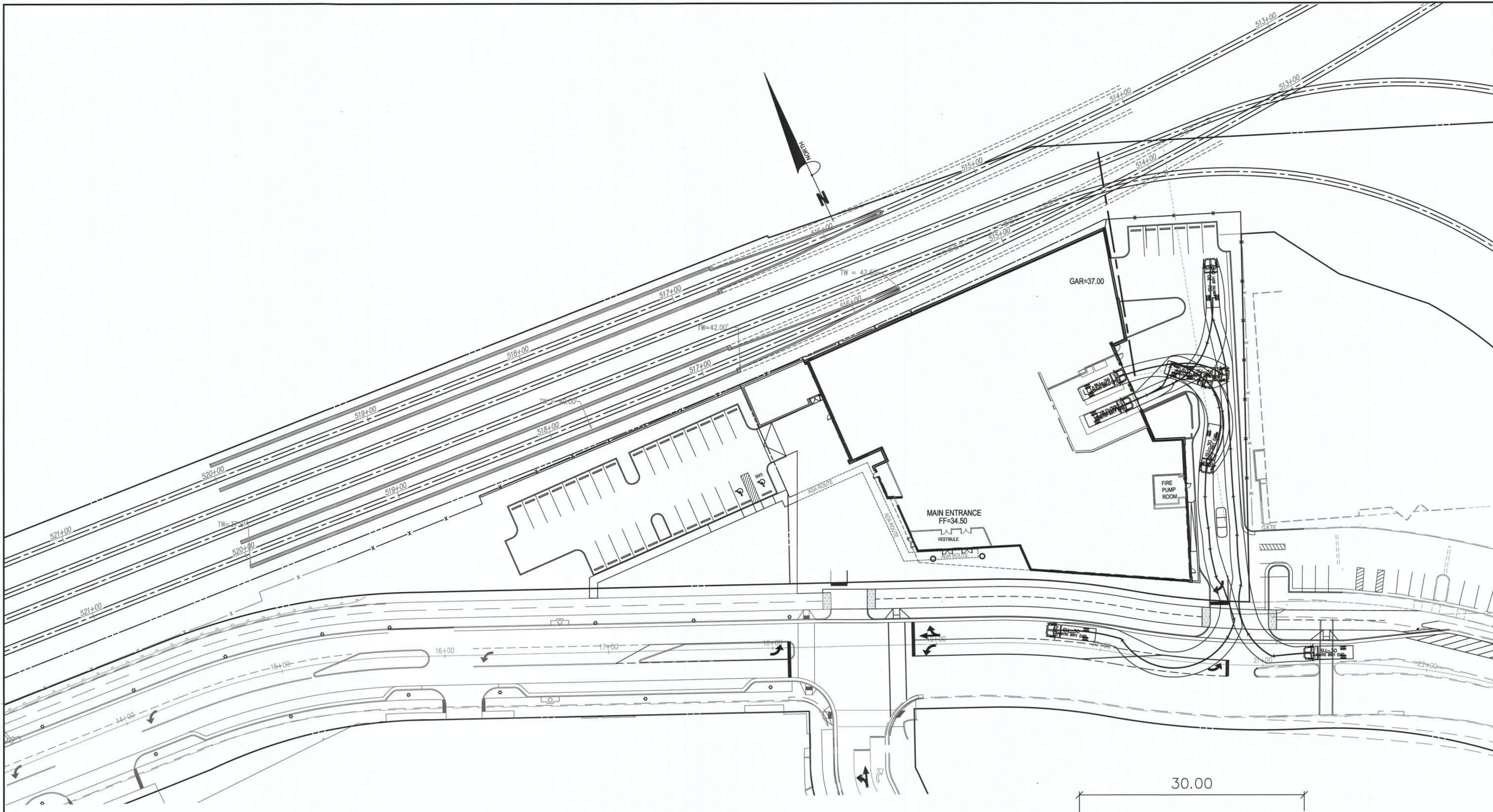
REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: **SANITARY SEWER HGL PROFILE**

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR DATE 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. [Signature] DATE 11/6/19
 DIRECTOR DATE 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE 11/6/19
 DATE RECORDED _____
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

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SU-30

Width : 8.00
Track : 8.00
Lock to Lock Time : 6.0
Steering Angle : 31.8

feet

DESIGN ENGINEER / SURVEYOR

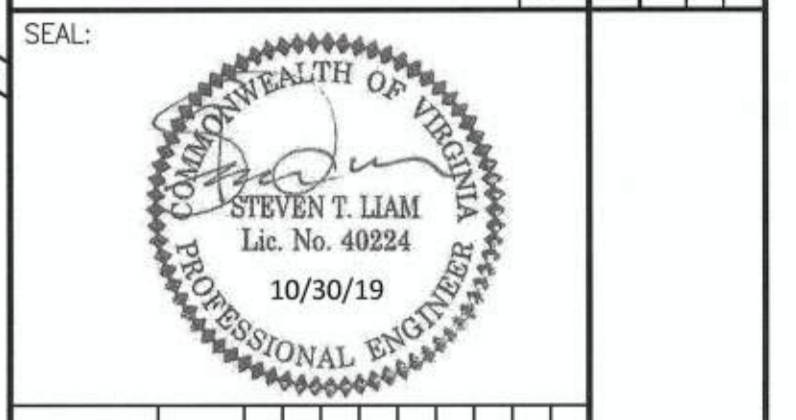
Bowman CONSULTING
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13461 Sunrise Valley Drive, Suite 500
Herndon, Virginia 20171
www.bowmanconsulting.com

Phone: (703) 464-1000
Fax: (703) 481-9720

SCALE: 1"=30'

DATE: OCTOBER, 2019 | DRAWN: CA

DATE	DESCRIPTION	PLAN STATUS
10/30/19	FINAL SUBMISSION	DATE



REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: TRUCK TURNING MOVEMENT

APPROVED
SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

[Signature] FOR ICM 11/6/19
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

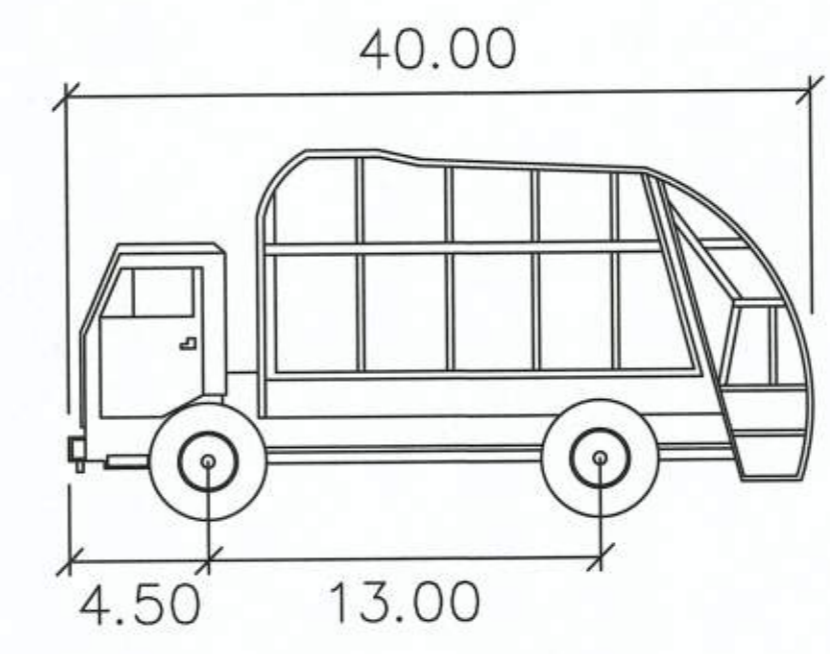
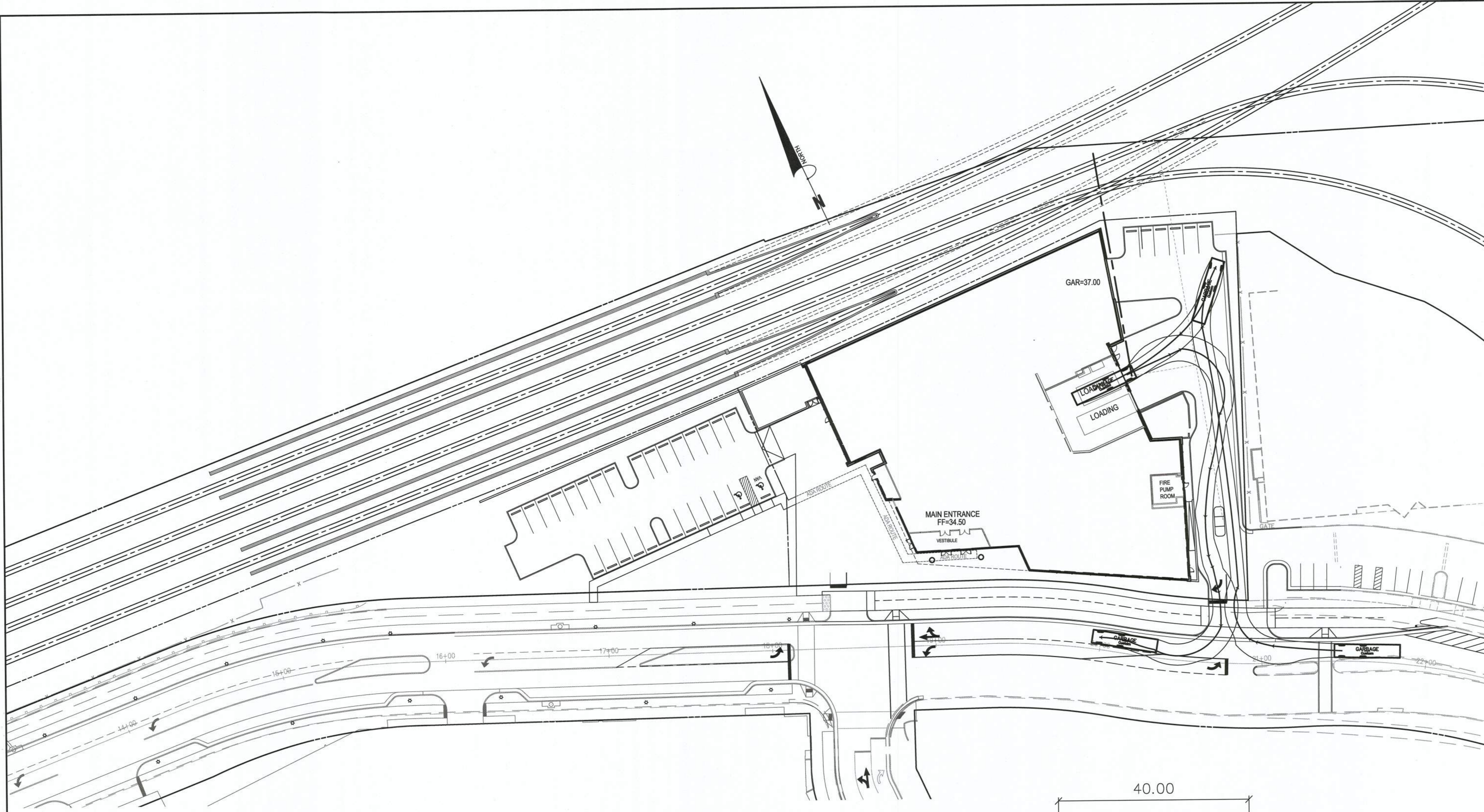
SITE PLAN No. *[Signature]* 11/6/19
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

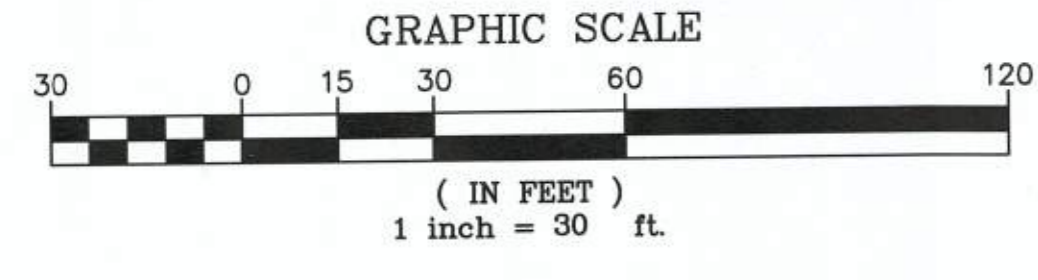
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI
Peer Review



GARBAGE

Width	: 8.00	feet
Track	: 8.00	
Lock to Lock Time	: 6.0	
Steering Angle	: 28.1	



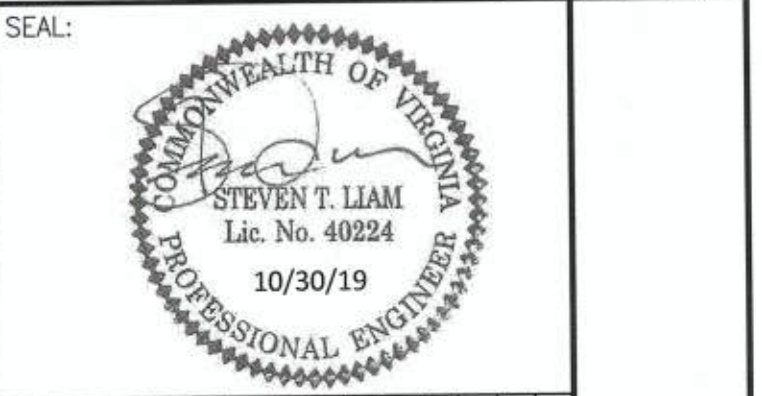
DESIGN ENGINEER / SURVEYOR

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13461 Sunrise Valley Drive, Suite 500
Herndon, Virginia 20171
Phone: (703) 464-1000
Fax: (703) 481-9720
www.bowmanconsulting.com

SCALE: 1"=30'
DATE: OCTOBER, 2019
DRAWN: CA

DATE	DESCRIPTION	PLAN STATUS
10/30/19	MTLAR SUBMISSION	



REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: GARBAGE TRUCK TURNING MOVEMENT

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

Atanville Fox KM 11/6/19
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

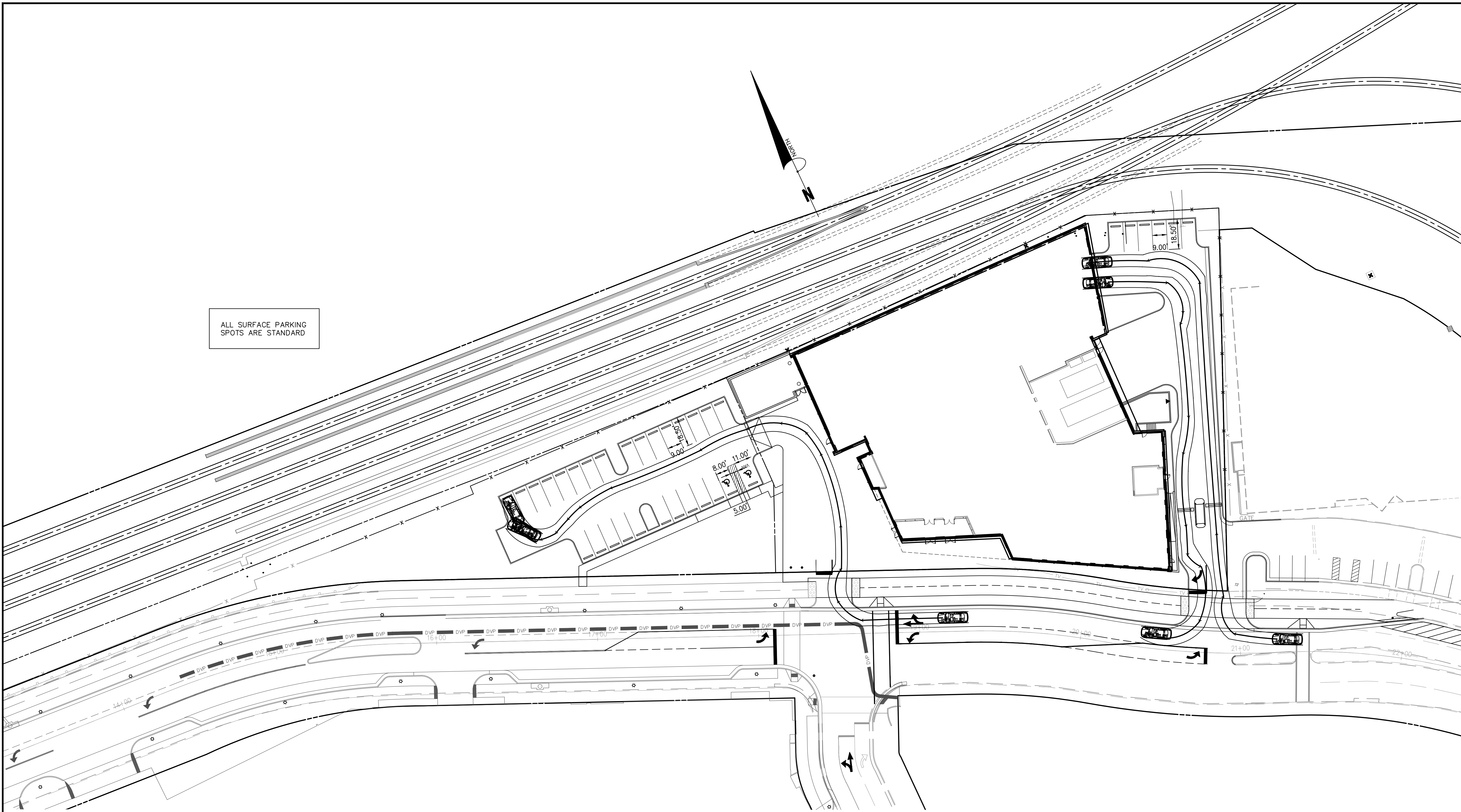
[Signature] 11/6/19
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

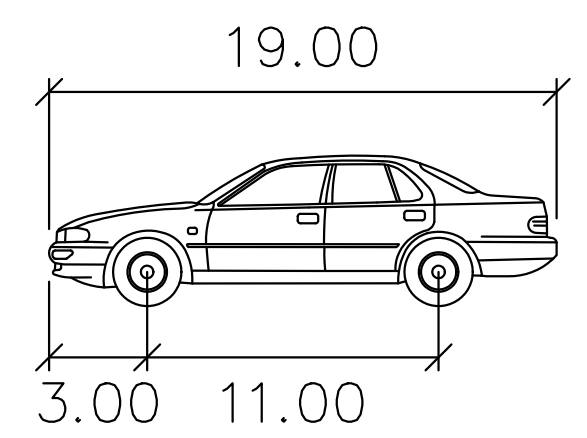
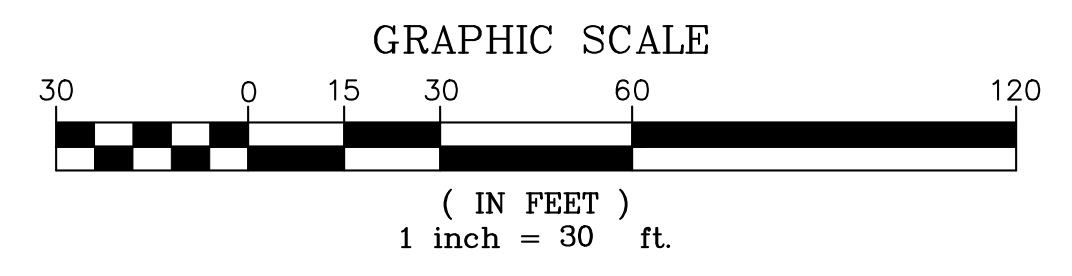
DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review

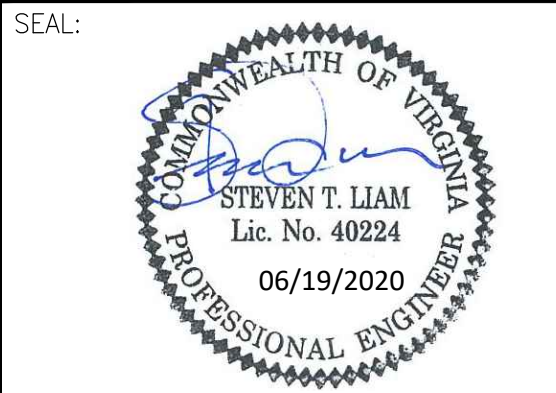


ALL SURFACE PARKING SPOTS ARE STANDARD



P
 Width : 7.00 feet
 Track : 6.00
 Lock to Lock Time : 6.0
 Steering Angle : 31.6

DESIGN ENGINEER / SURVEYOR
Bowman CONSULTING
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 www.bowmanconsulting.com



REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED
1	EAST TRANSFORMER YARD	07/06/2020	STL/DA, CITY OF ALEXANDRIA
2	STATION SEWER REVISION	07/06/2020	STL/DA, CITY OF ALEXANDRIA
3	PHILADELPHIA STREET IMPROVEMENT	06/19/2020	STL/DA, CITY OF ALEXANDRIA

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

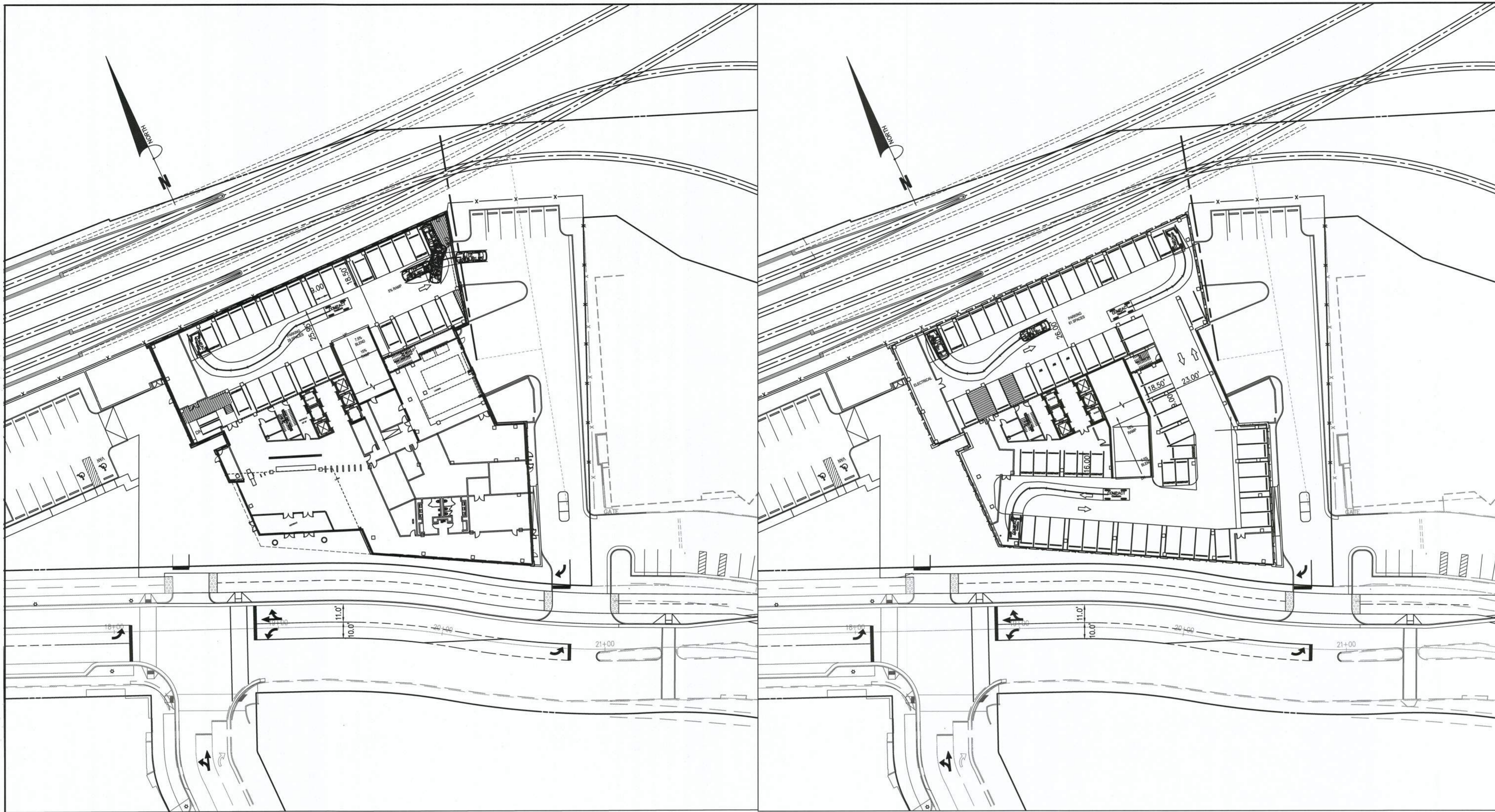
SHEET NAME: VEHICLE TURNING MOVEMENT - GROUND LEVEL

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. 7.29.20
 DIRECTOR DATE

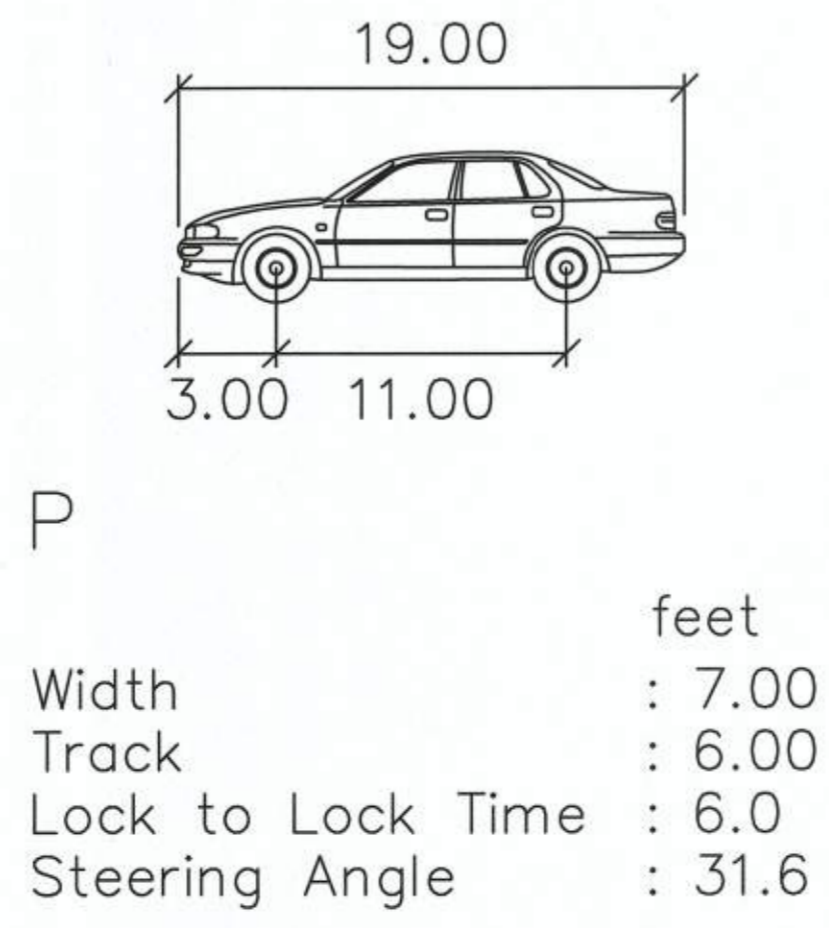
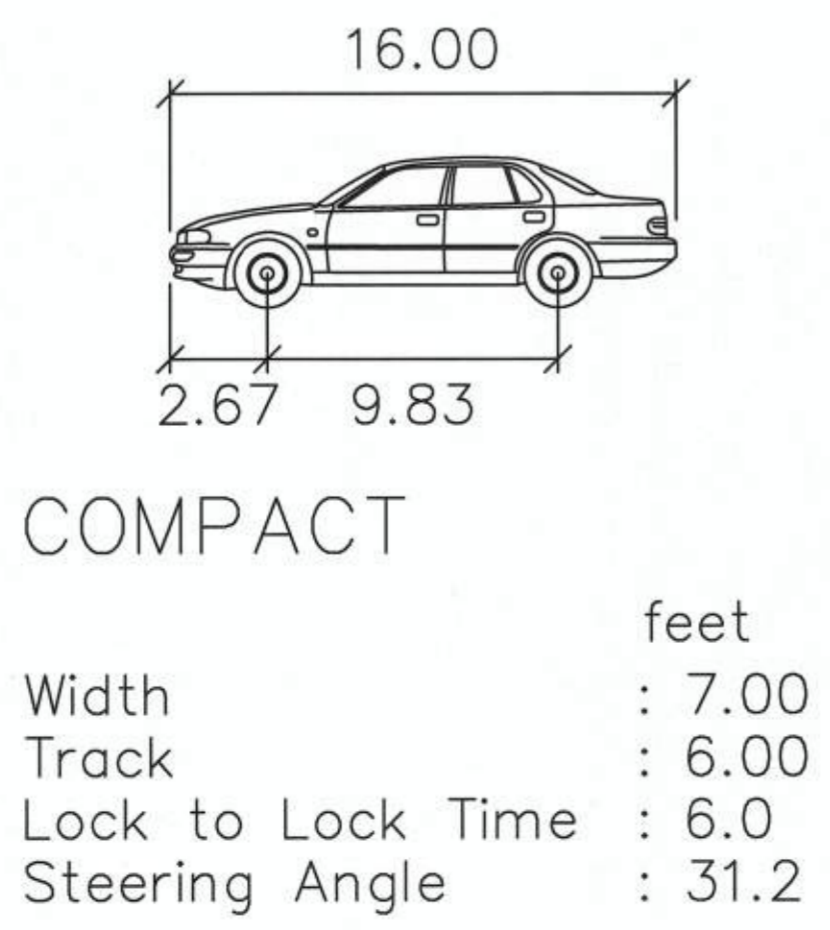
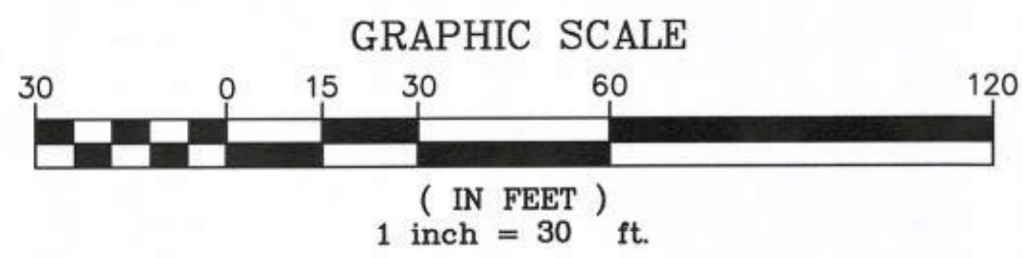
CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

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GARAGE LEVEL 1

GARAGE TYPICAL LEVEL



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Fax: (703) 481-8720
www.bowmanconsulting.com

SCALE: 1"=30'
DATE: OCTOBER, 2019
DRAWN: CA

DATE	DESCRIPTION	DATE	PLAN STATUS
10/30/19	FINAL SUBMISSION		

SEAL:

REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

2395 MILL ROAD FINAL SITE PLAN CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: VEHICLE TURNING MOVEMENT - GARAGE

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

[Signature] FOR KM 11/6/19
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. *[Signature]* 11/6/19
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION 11/6/19
DATE

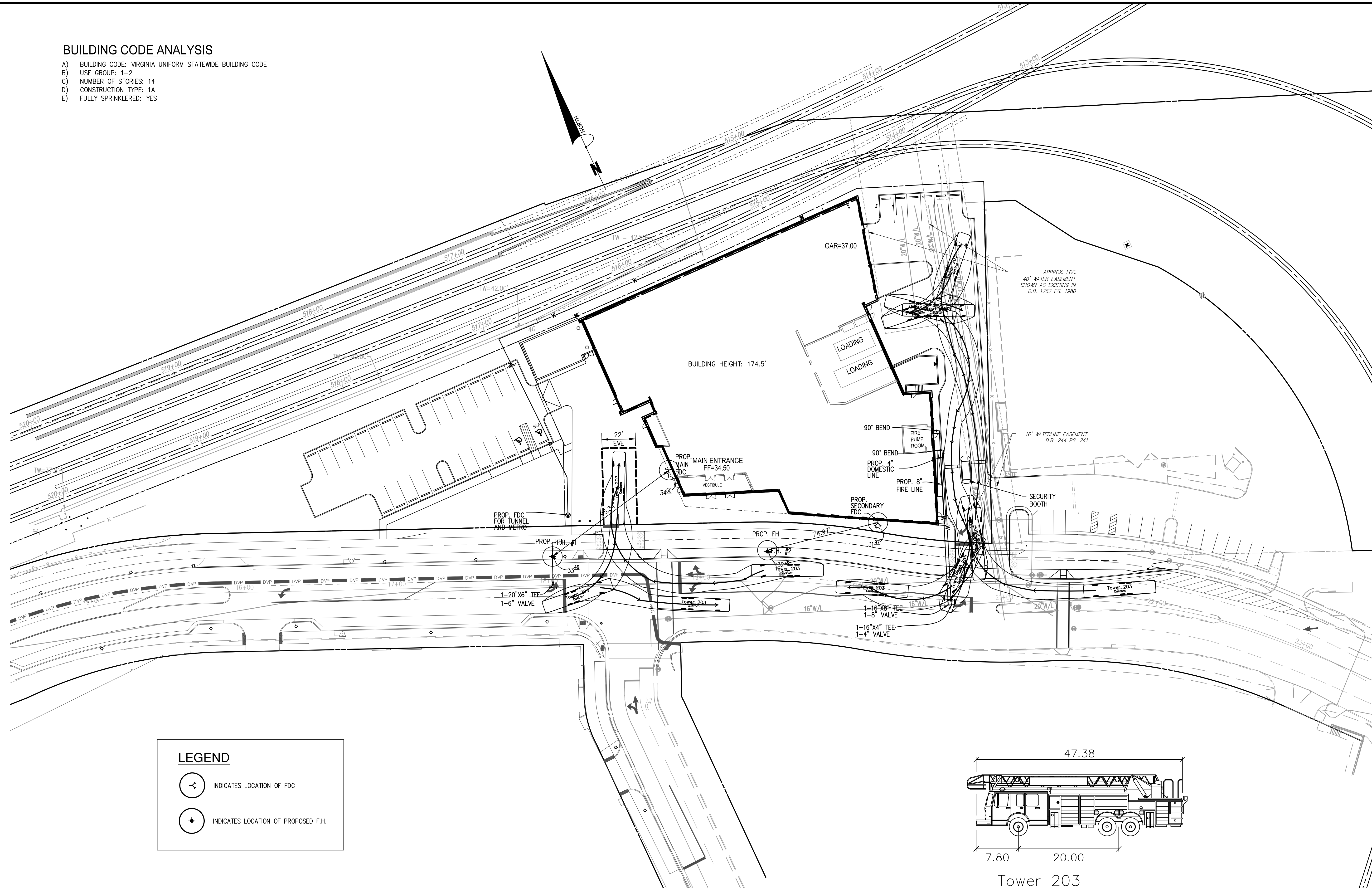
DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI
Peer Review

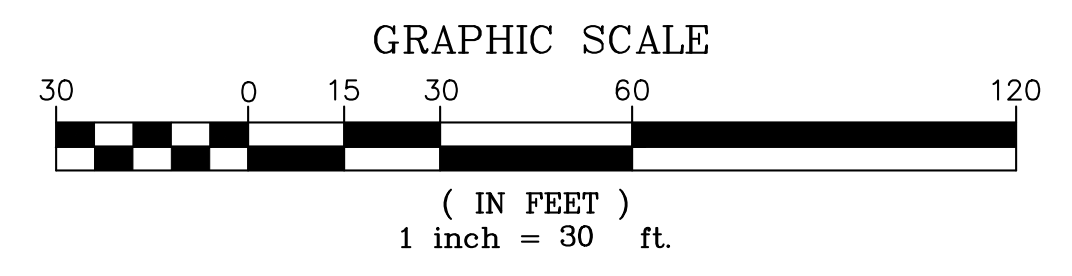
BUILDING CODE ANALYSIS

- A) BUILDING CODE: VIRGINIA UNIFORM STATEWIDE BUILDING CODE
- B) USE GROUP: 1-2
- C) NUMBER OF STORIES: 14
- D) CONSTRUCTION TYPE: 1A
- E) FULLY SPRINKLERED: YES



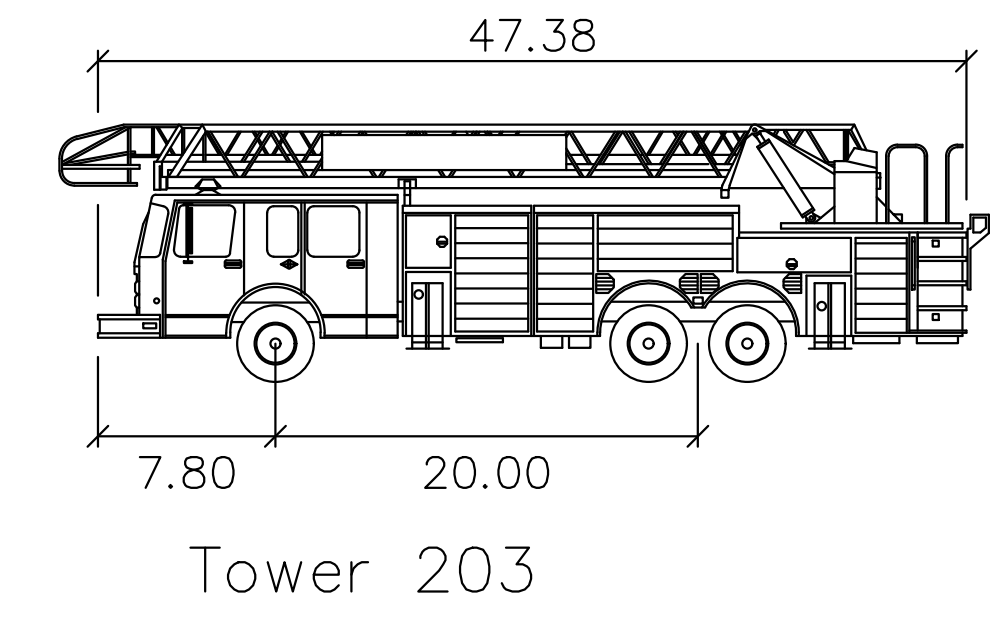
LEGEND

- INDICATES LOCATION OF FDC
- INDICATES LOCATION OF PROPOSED F.H.



FIRE FLOW

THE REQUIRED FIRE FLOWS AND PRESSURES FOR THE PROPOSED BUILDING SHALL BE PROVIDED TO THE CITY OF ALEXANDRIA UNDER A SEPARATE COVER. THIS REPORT SHALL BE PROVIDED BY THE APPLICANT OR THE MEP OF RECORD.



Tower 203

Width	: 8.17
Track	: 8.17
Lock to Lock Time	: 6.0
Steering Angle	: 25.6

DESIGN ENGINEER / SURVEYOR

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13461 Sunrise Valley Drive, Suite 500
Herndon, Virginia 20171
Phone: (703) 464-1000
Fax: (703) 461-1920
www.bowmanconsulting.com

SCALE: 1"=30'

DATE: JUNE, 2020

DRAWN: CA

DATE	DESCRIPTION	DATE	DESCRIPTION
05/29/2020	ADDENDUM 3		
06/19/2020	ADDENDUM 4		

SEAL:

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE
1	EAST TRANSFORMER YARD	07/06/2020	STL/CA, CITY OF ALEXANDRIA	07/07/2020
2	EAST TRANSFORMER YARD	07/06/2020	STL/CA, CITY OF ALEXANDRIA	07/07/2020
3	PHILADELPHIA STREET	06/19/2020	STL/CA, CITY OF ALEXANDRIA	07/27/2020

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: FIRE SERVICE PLAN

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. 7.29.20

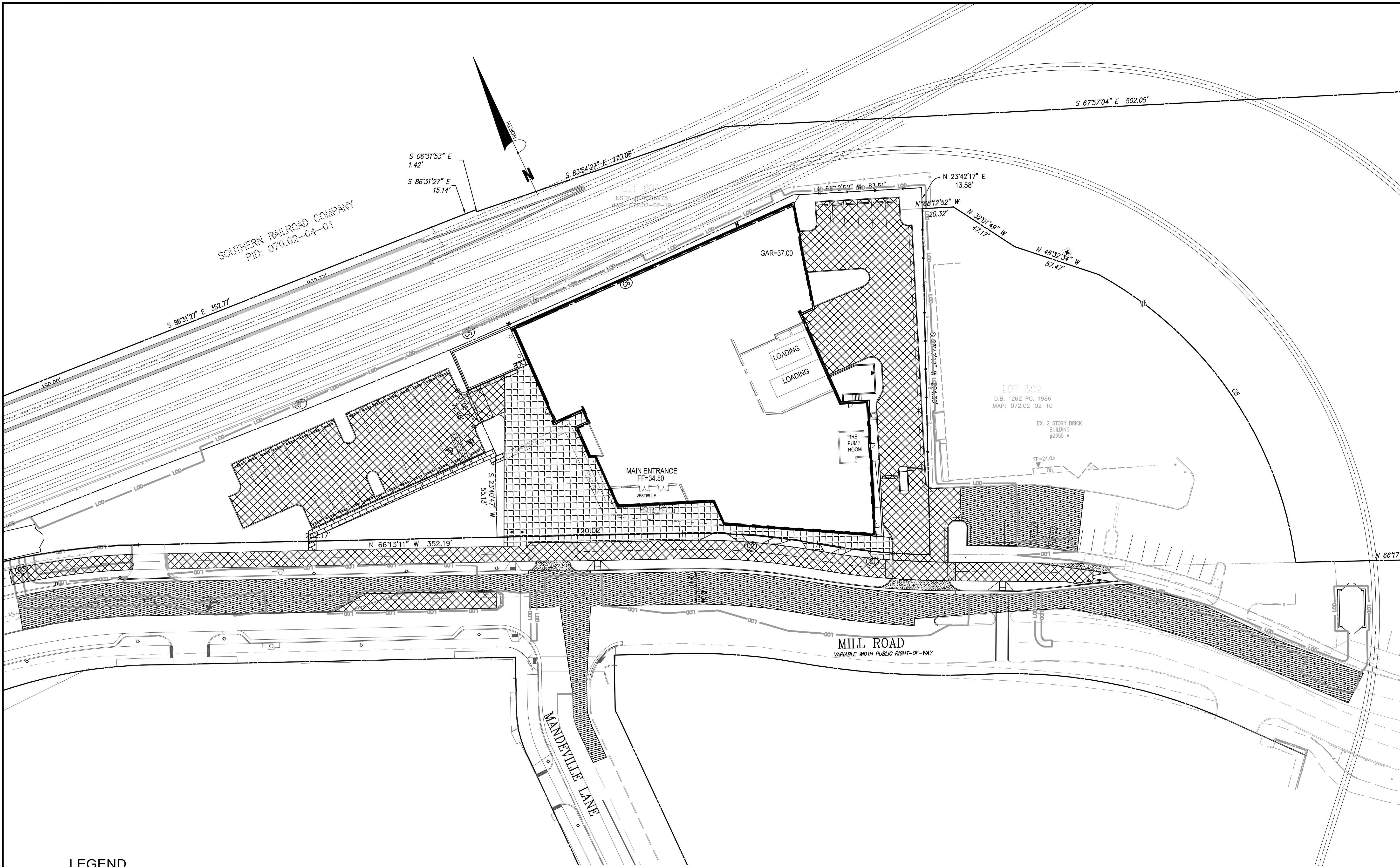
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review



SOUTHERN RAILROAD COMPANY
FD: 070.02-04-01

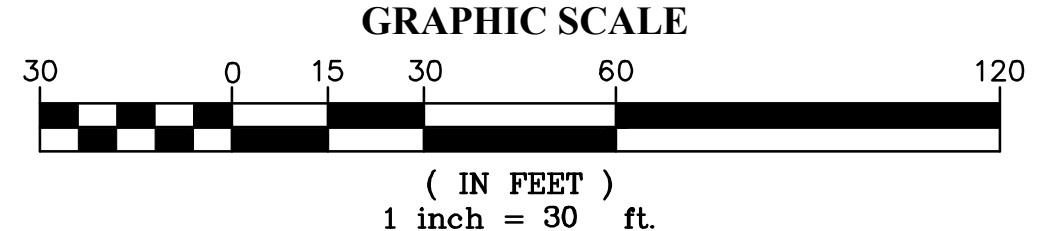
- LEGEND**
- LIMITS OF SIDEWALK (SEE LANDSCAPE PLANS FOR DETAIL)
 - LIMITS OF PAVERS (SEE LANDSCAPE PLANS FOR DETAIL)
 - LIMITS OF MILL & OVERLAY OF PAVEMENT (SEE SHEET C23.00 FOR DETAIL)
 - LIMITS OF PAVEMENT FOR SURFACE PARKING LOT AND MULTIMODAL TRAIL (SEE SHEET C23.10 FOR DETAIL CSAP-1)
 - LIMITS OF DRIVEWAY CONCRETE APRON (SEE SHEET C23.00 FOR DETAIL CSER-1)

PAVEMENT NOTE.

- REFER TO ELECTRICAL SITE PLAN SHEET ES.001 FOR CONCRETE PAVING TO BE USED IN MECHANICAL EQUIPMENT YARD.

ARCHAEOLOGY NOTES

- THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.



**ESI
Peer Review**

Bowman CONSULTING
DESIGN ENGINEER / SURVEYOR
Bowman Consulting Group, Ltd.
13461 Sunrise Valley Drive, Suite 500
Herndon, Virginia 20171
Phone: (703) 464-1000
Fax: (703) 461-9720
www.bowmanconsulting.com

DATE: SEPTEMBER, 2020
SCALE: 1"=30'
PLAN STATUS: DRAWN: CA

DATE	DESCRIPTION	DATE	DESCRIPTION
05/29/2020	ADDENDUM 3	08/07/2020	CONSTRUCTION DOMAINS - CORE & SEEL
06/19/2020	ADDENDUM 4	09/29/2020	RE-SET

SEAL:

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED	DATE
1	EAST TRANSFORMER YARD	07/06/2020	STL/SA, CITY OF ALEXANDRIA	03/02/2020
2	STORM SEWER REVISION	07/06/2020	STL/SA, CITY OF ALEXANDRIA	03/02/2020
3	PROPOSED SEWER IMPROVEMENT	06/19/2020		
4	DRY UTILITY PLAN	10/06/2020		

**2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA**

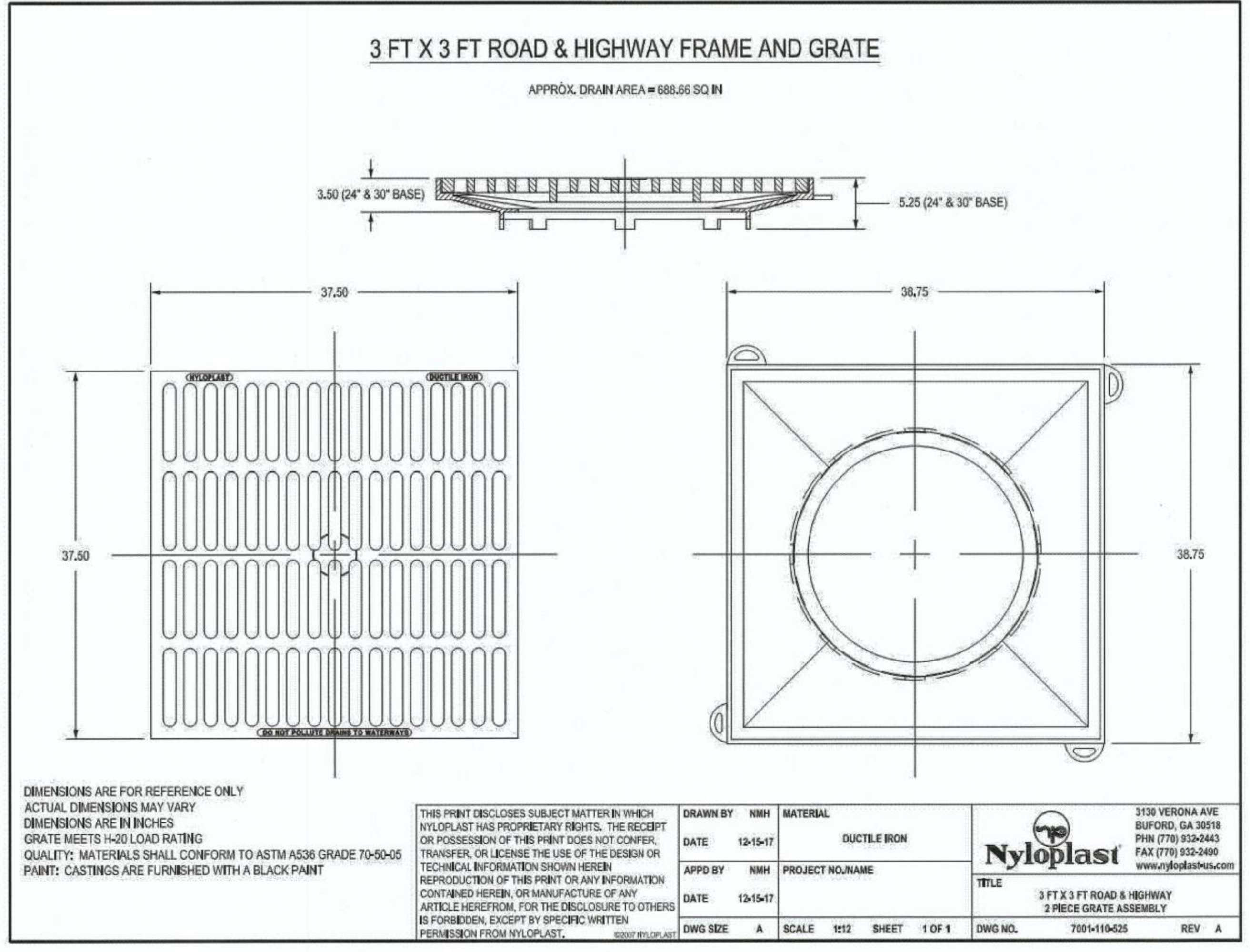
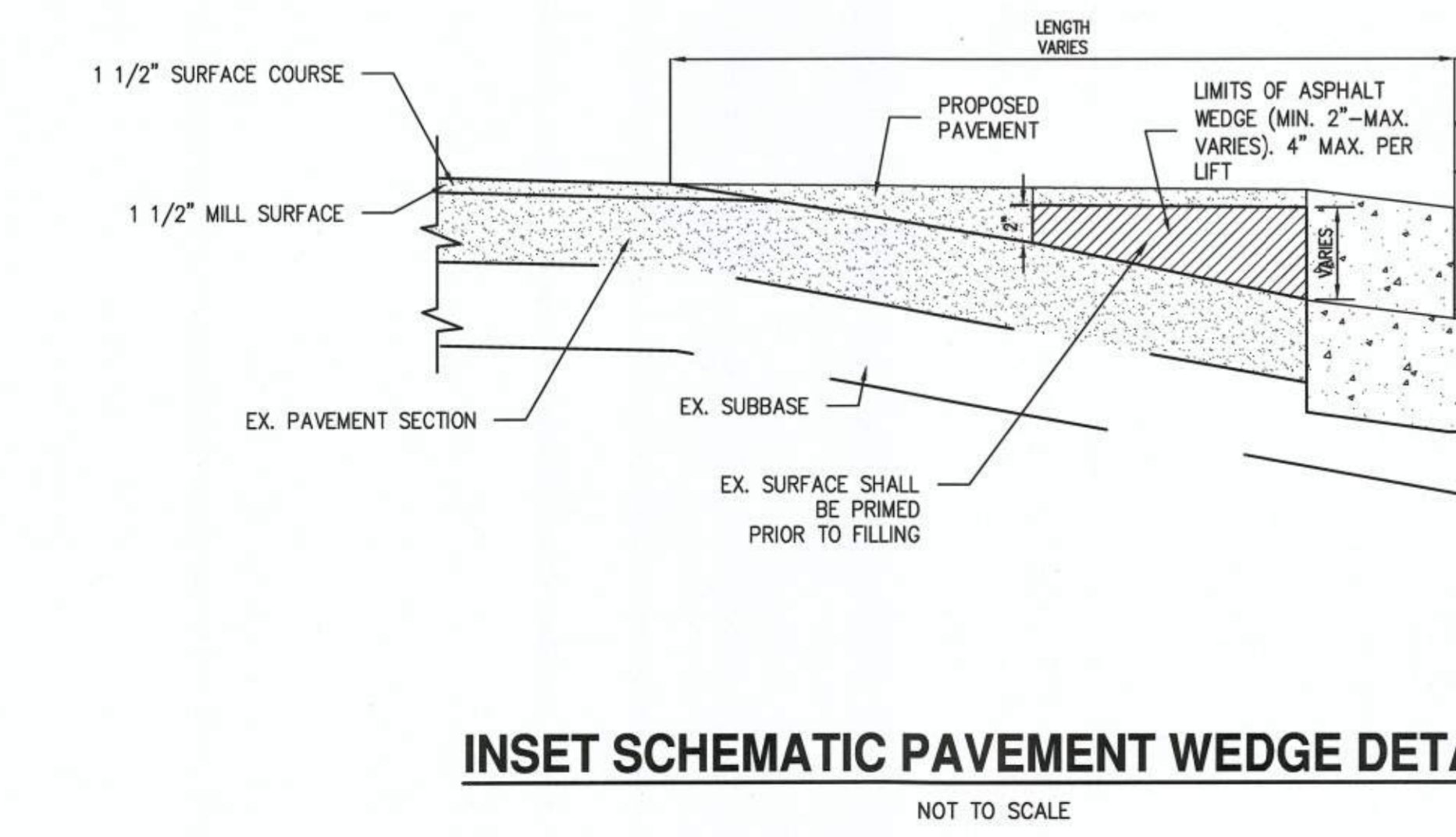
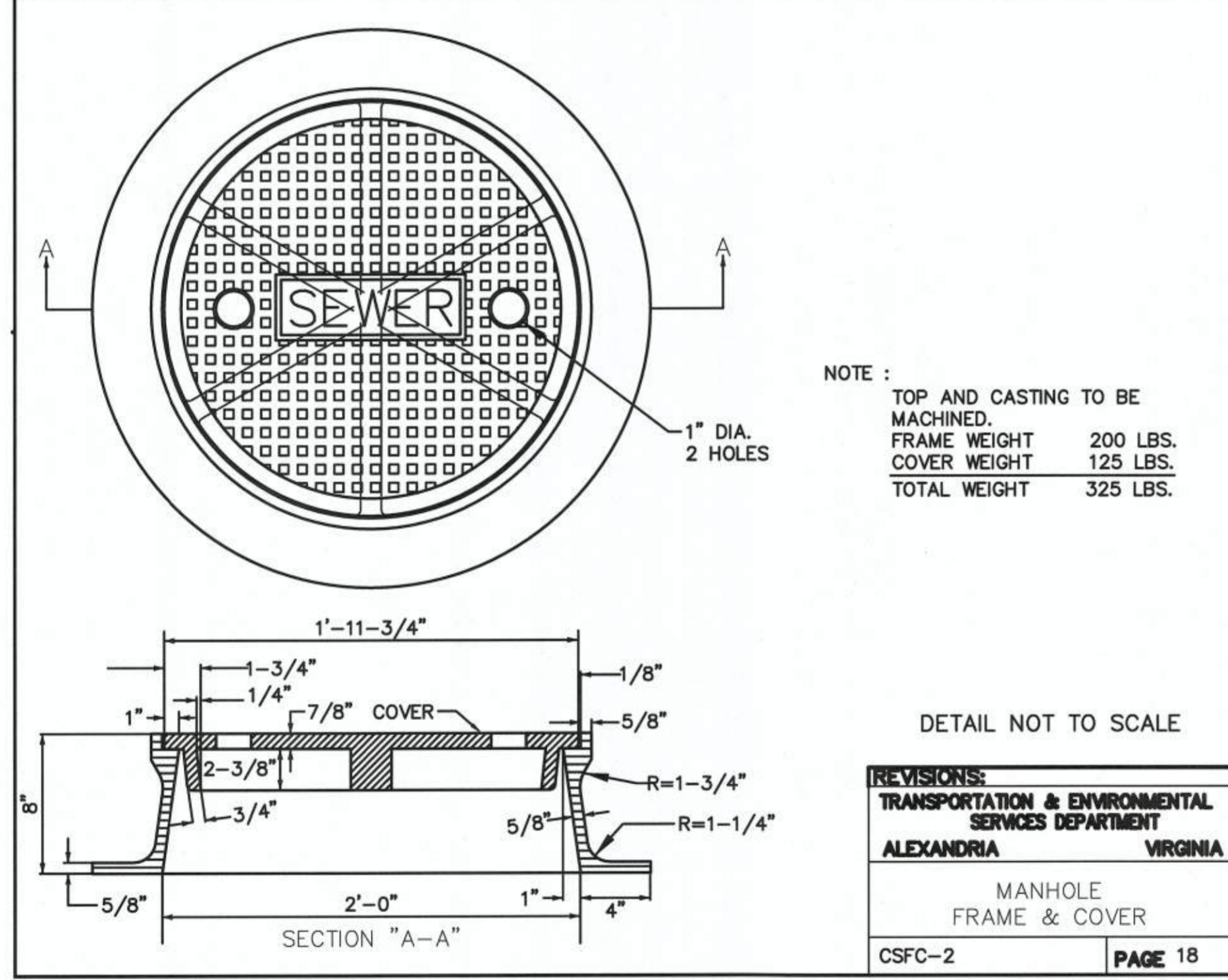
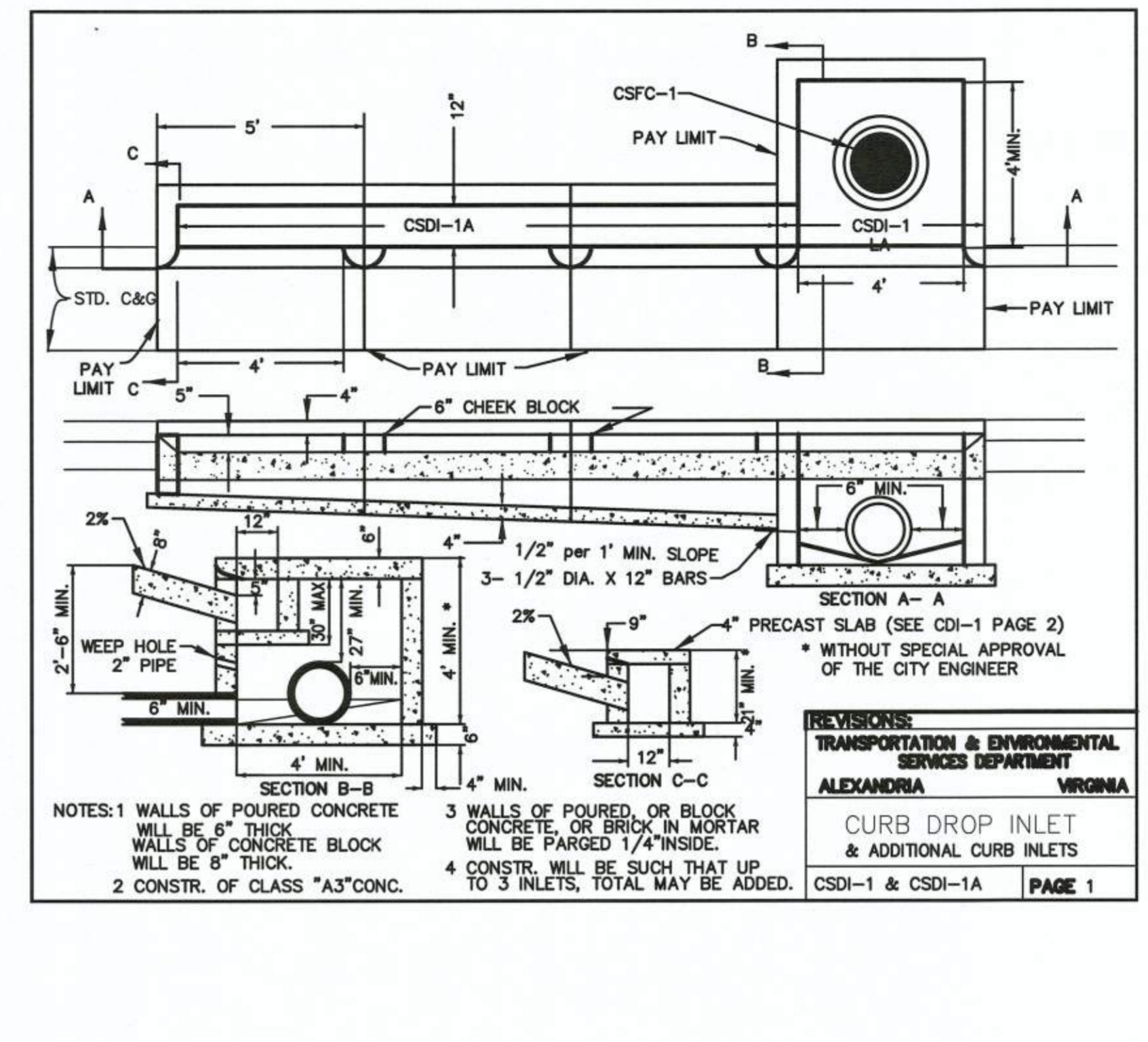
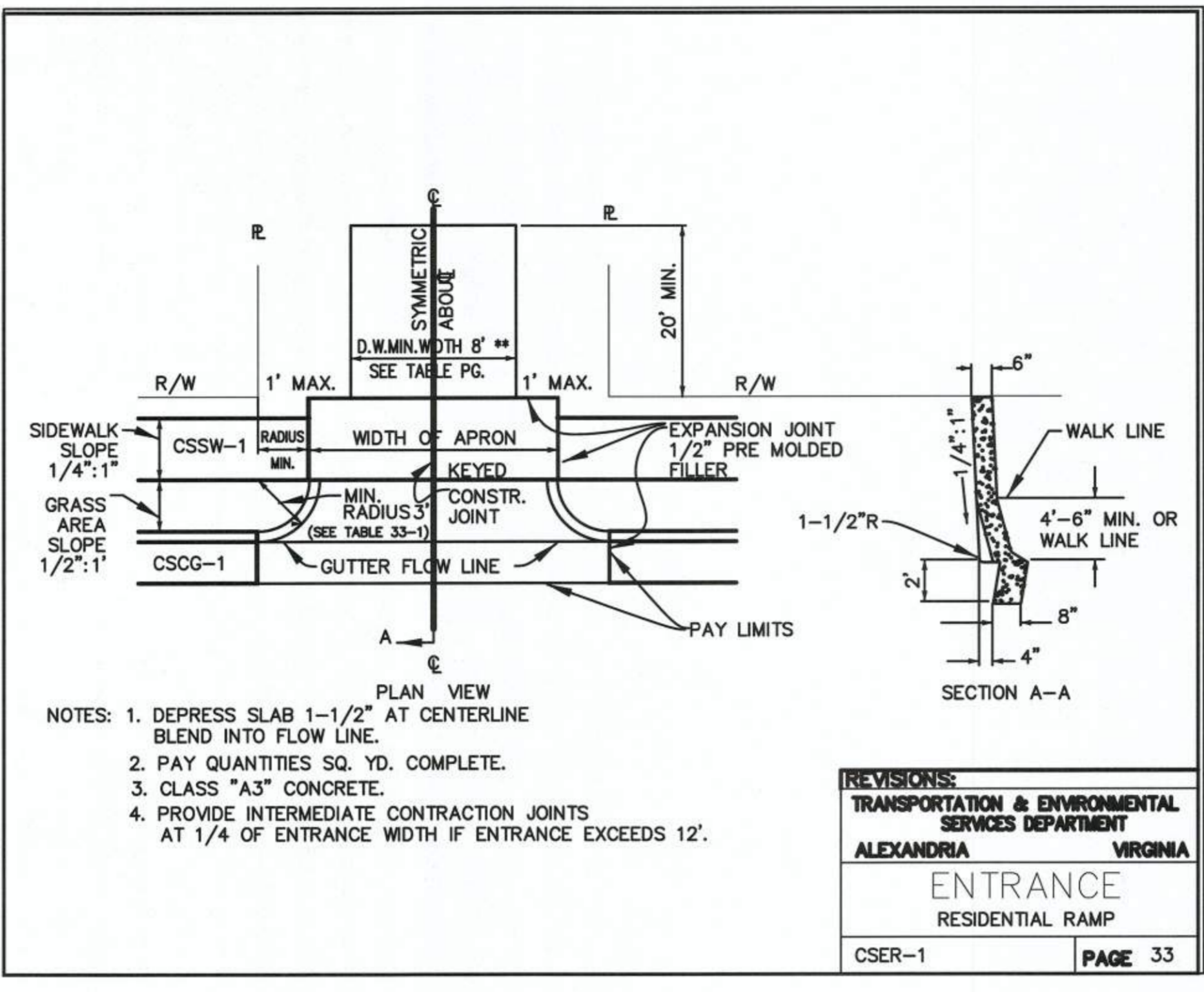
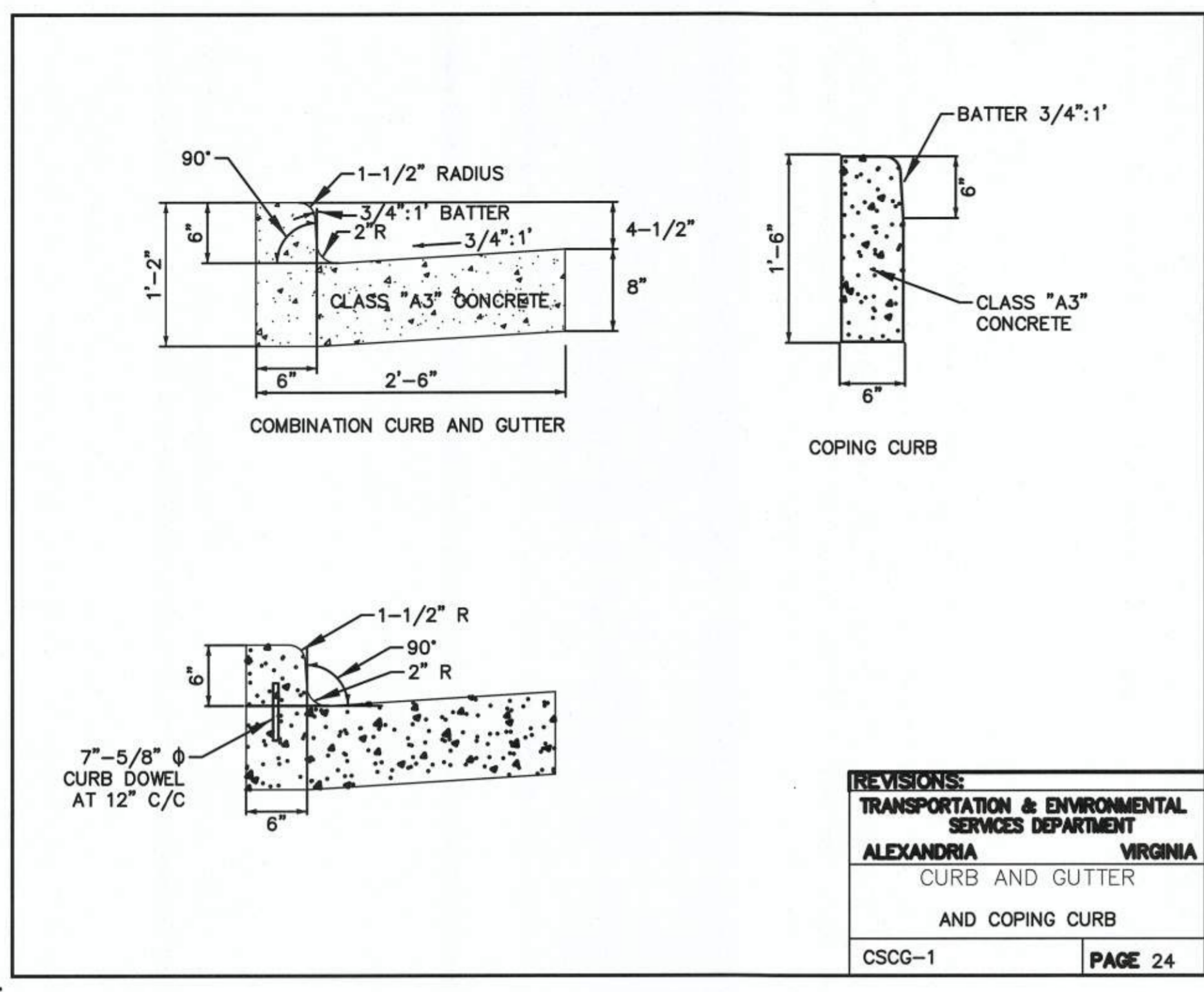
SHEET NAME: PAVEMENT PLAN

APPROVED 2018-0028
SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____
10-23-20
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



DESIGN ENGINEER / SURVEYOR

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13481 Sunrise Valley Drive, Suite 500
Herndon, Virginia 20171
Phone: (703) 864-1000
Fax: (703) 861-9720
www.bowmanconsulting.com

SCALE: N/A DATE: OCTOBER, 2019 DRAWN: CA

PLAN STATUS	DATE	DESCRIPTION
10/29/19		INT'L SUBMISSION

SEAL:

PROFESSIONAL ENGINEER

REVISION APPROVED BY	DATE	APPROVED
REV. BY	DATE	APPROVED
NO.	DESCRIPTION	

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: SITE DETAILS (1 OF 3)

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

Harrell For Km 11/6/19
DIRECTOR DATE

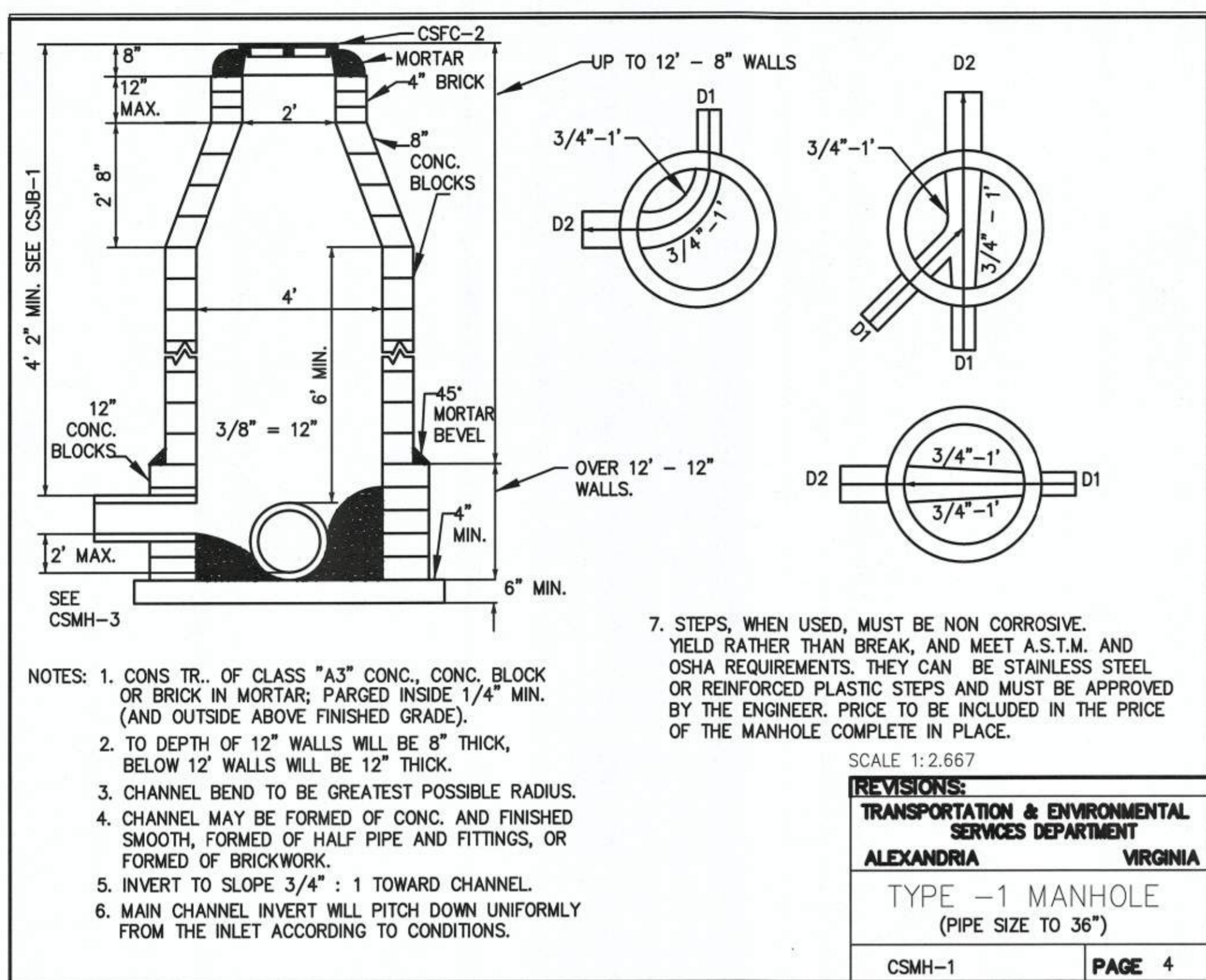
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

[Signature] 11/21/19
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

ESI
Peer Review



NOTES: 1. CONS TR. OF CLASS "A3" CONC. CONC. BLOCK OR BRICK IN MORTAR; PARGED INSIDE 1/4" MIN. (AND OUTSIDE ABOVE FINISHED GRADE).
 2. TO DEPTH OF 12" WALLS WILL BE 8" THICK, BELOW 12" WALLS WILL BE 12" THICK.
 3. CHANNEL BEND TO BE GREATEST POSSIBLE RADIUS.
 4. CHANNEL MAY BE FORMED OF CONC. AND FINISHED SMOOTH, FORMED OF HALF PIPE AND FITTINGS, OR FORMED OF BRICKWORK.
 5. INVERT TO SLOPE 3/4" : 1 TOWARD CHANNEL.
 6. MAIN CHANNEL INVERT WILL PITCH DOWN UNIFORMLY FROM THE INLET ACCORDING TO CONDITIONS.

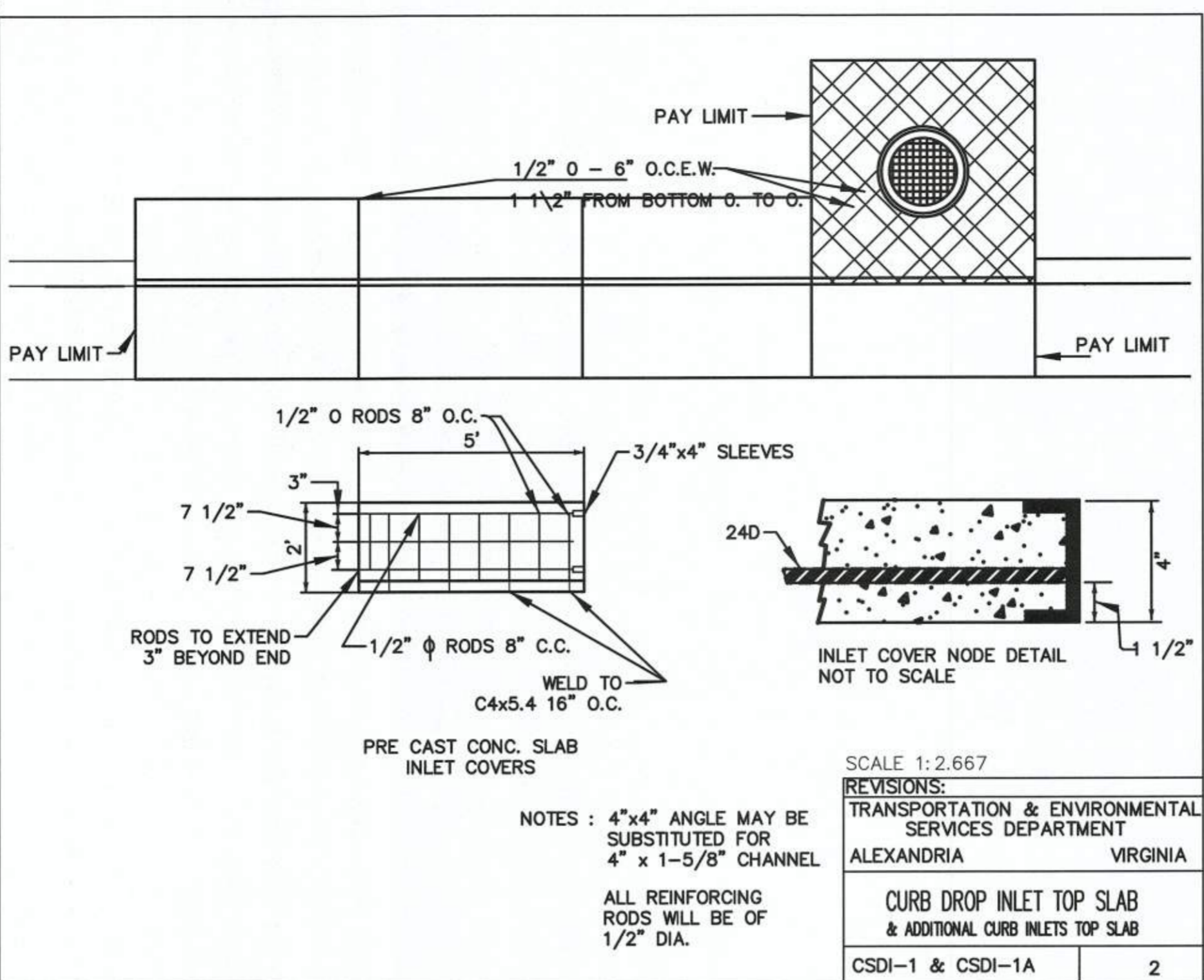
7. STEPS, WHEN USED, MUST BE NON CORROSIVE. YIELD RATHER THAN BREAK, AND MEET A.S.T.M. AND OSHA REQUIREMENTS. THEY CAN BE STAINLESS STEEL OR REINFORCED PLASTIC STEPS AND MUST BE APPROVED BY THE ENGINEER. PRICE TO BE INCLUDED IN THE PRICE OF THE MANHOLE COMPLETE IN PLACE.

SCALE 1:2.667

REVISIONS:
 TRANSPORTATION & ENVIRONMENTAL SERVICES DEPARTMENT
 ALEXANDRIA VIRGINIA

TYPE -1 MANHOLE
 (PIPE SIZE TO 36")

CSMH-1 PAGE 4



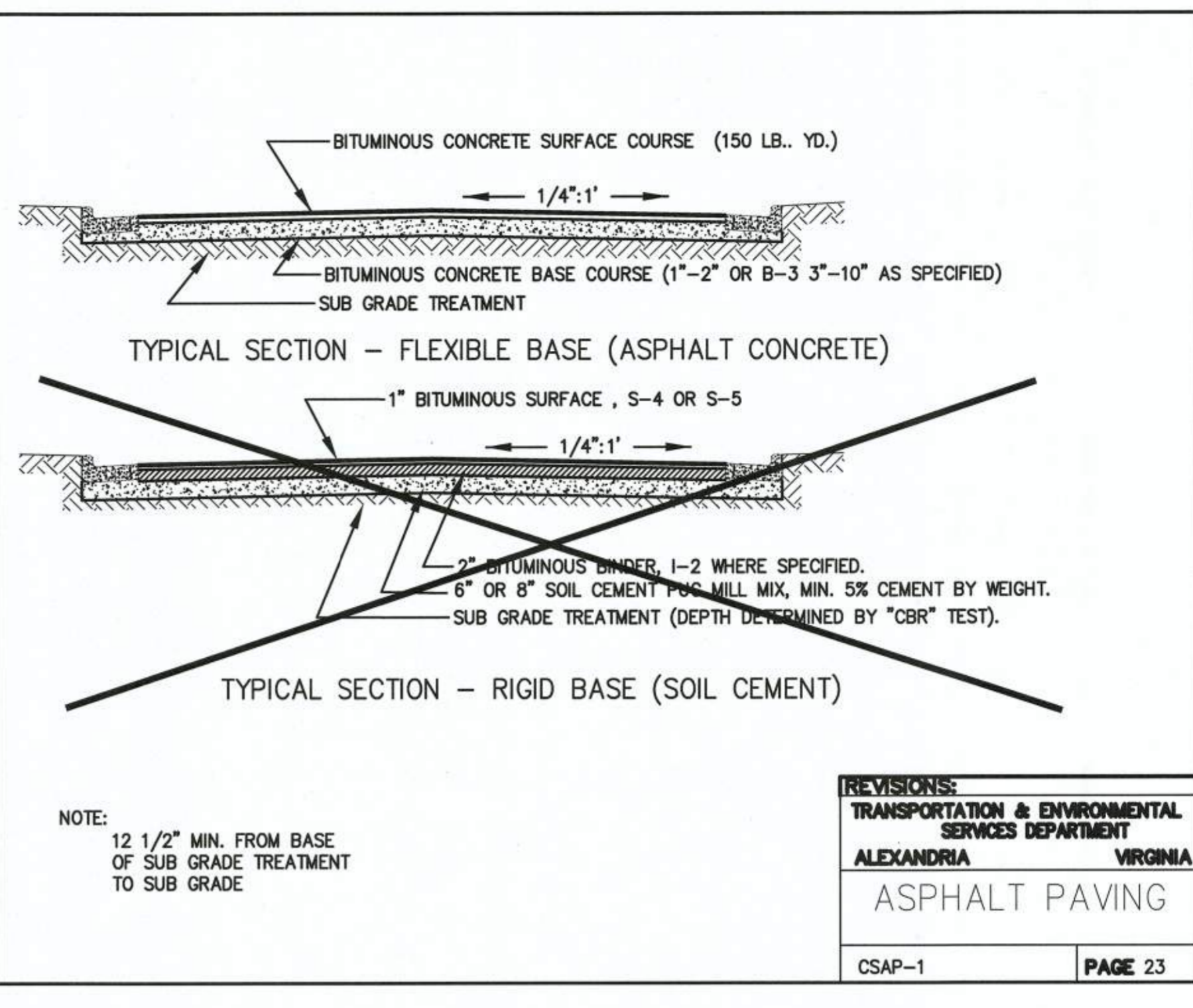
NOTES: 4"x4" ANGLE MAY BE SUBSTITUTED FOR 4" x 1-5/8" CHANNEL
 ALL REINFORCING RODS WILL BE OF 1/2" DIA.

SCALE 1:2.667

REVISIONS:
 TRANSPORTATION & ENVIRONMENTAL SERVICES DEPARTMENT
 ALEXANDRIA VIRGINIA

CURB DROP INLET TOP SLAB & ADDITIONAL CURB INLETS TOP SLAB

CSDI-1 & CSDI-1A 2



NOTE: 12 1/2" MIN. FROM BASE OF SUB GRADE TREATMENT TO SUB GRADE

REVISIONS:
 TRANSPORTATION & ENVIRONMENTAL SERVICES DEPARTMENT
 ALEXANDRIA VIRGINIA

ASPHALT PAVING

CSAP-1 PAGE 23

DESIGN ENGINEER / SURVEYOR

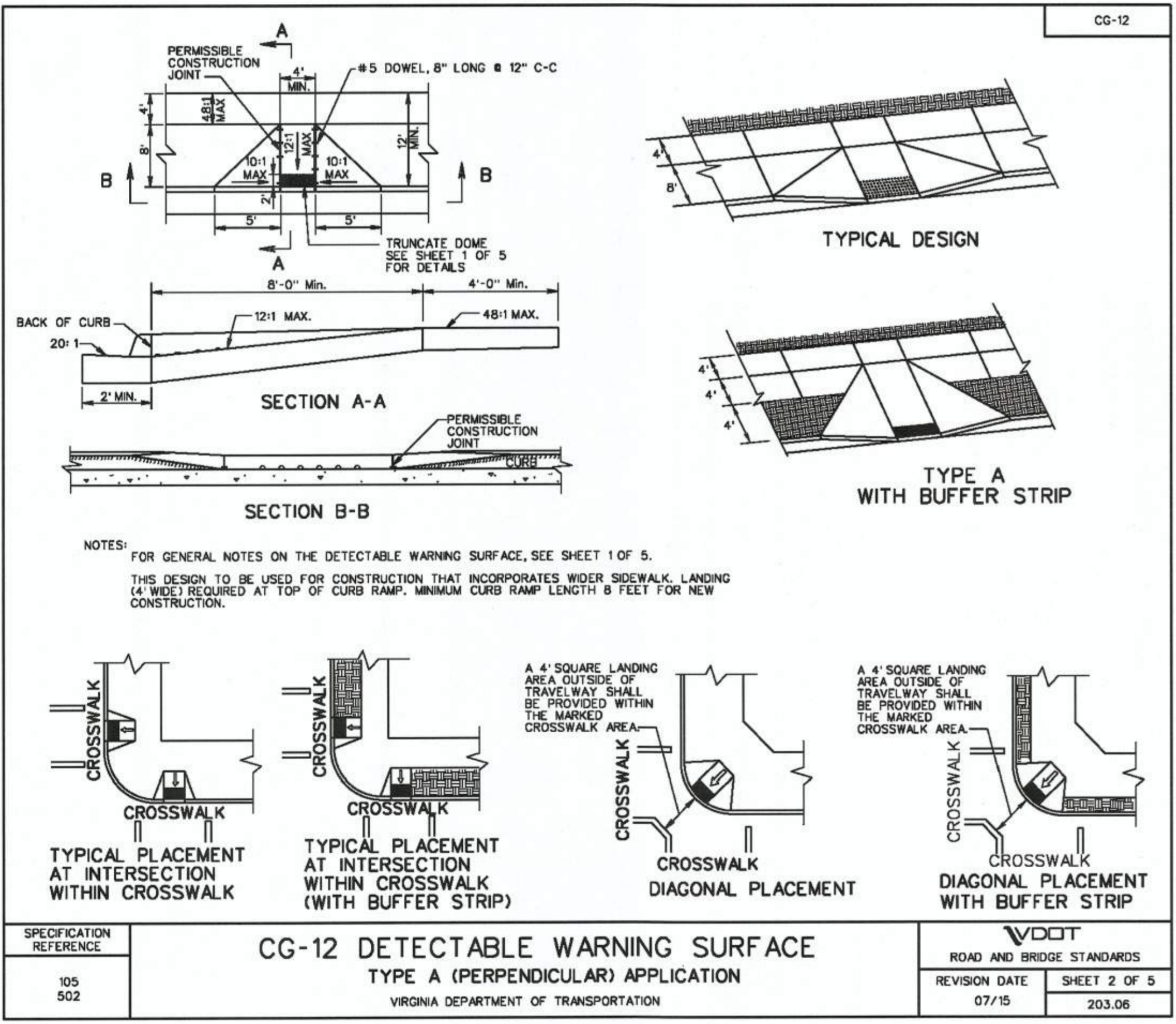
Bowman CONSULTING

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 13461 Sunrise Valley Drive, Suite 500
 Herndon, Virginia 20171
 Phone: (703) 664-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com

DATE: OCTOBER, 2019 DRAWN: CA
 PLAN STATUS: DESCRIPTION DATE
 10/20/19 MVAR SUBMISSION

SEAL: COMMONWEALTH OF VIRGINIA
 STEVEN T. LIAM
 Lic. No. 40224
 10/30/19
 PROFESSIONAL ENGINEER

NO.	DESCRIPTION	DATE	APPROVED BY



NOTES: FOR GENERAL NOTES ON THE DETECTABLE WARNING SURFACE, SEE SHEET 1 OF 5.
 THIS DESIGN TO BE USED FOR CONSTRUCTION THAT INCORPORATES WIDER SIDEWALK LANDING (4' WIDE) REQUIRED AT TOP OF CURB RAMP. MINIMUM CURB RAMP LENGTH 8 FEET FOR NEW CONSTRUCTION.

CG-12 DETECTABLE WARNING SURFACE
 TYPE A (PERPENDICULAR) APPLICATION

VDOT ROAD AND BRIDGE STANDARDS
 REVISION DATE 07/15 SHEET 2 OF 5
 203.06

SPECIFICATION REFERENCE: 105 502

SETON FLEXIBLE DELINEATORS

PEXCO, DAVIDSON TRAFFIC CONTROL PRODUCTS
 3110 70TH AVENUE EAST
 TACOMA, WA 98424
 TOLL FREE: 1-877-335-4638
 PHONE: (253) 284-8000
 FAX: (253) 284-8080
 www.davidsontraffic.com

SELECT DESIRED POST:
 EFX GRADE
 UR GRADE

SPECIFY DESIRED HEIGHT:
 18" 36"
 24" 42"
 28" 48"
 CUSTOM (SEE NOTE 4)

SELECT DESIRED POST COLOR:
 WHITE
 YELLOW
 FLUORESCENT ORANGE
 CUSTOM (SEE NOTE 3)

SELECT DESIRED REFLECTIVE SHEETING:
 REFLEXITE AR 1000
 3M HIGH INTENSITY GRADE

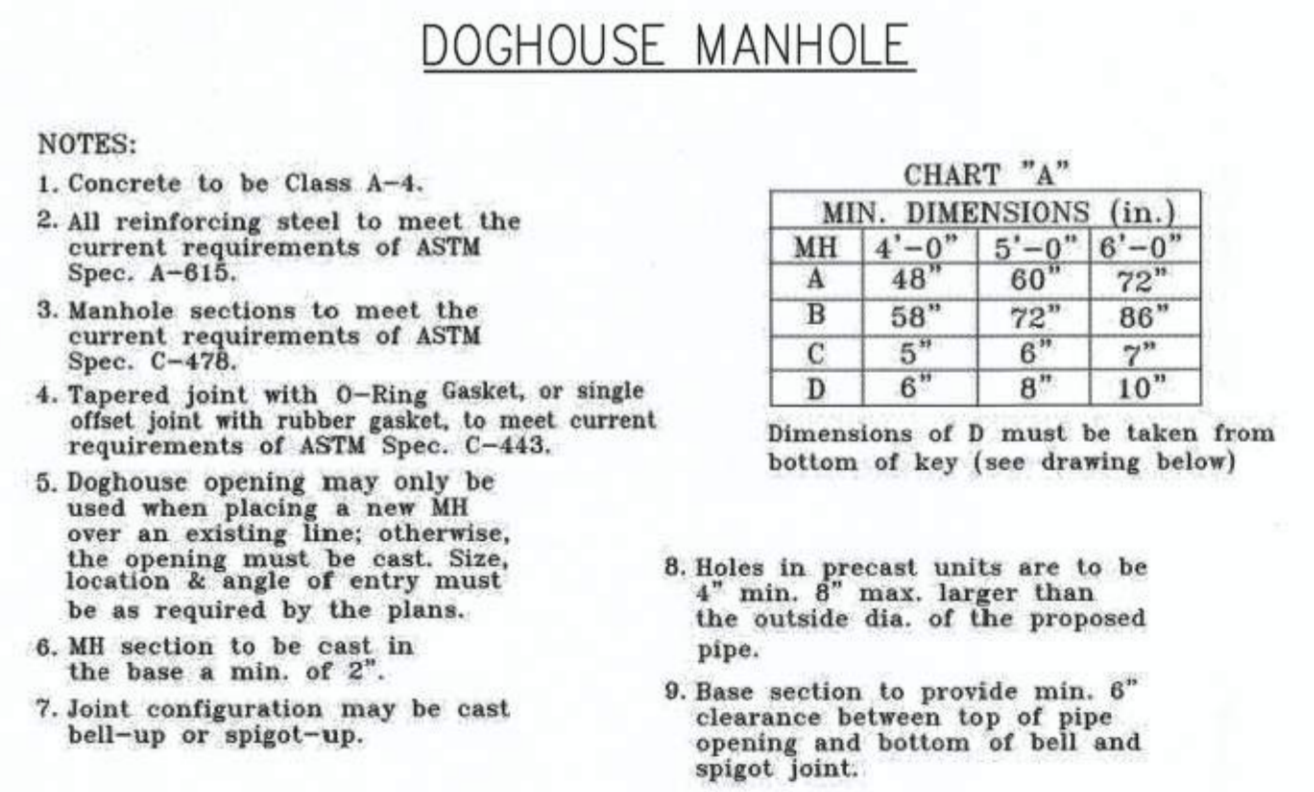
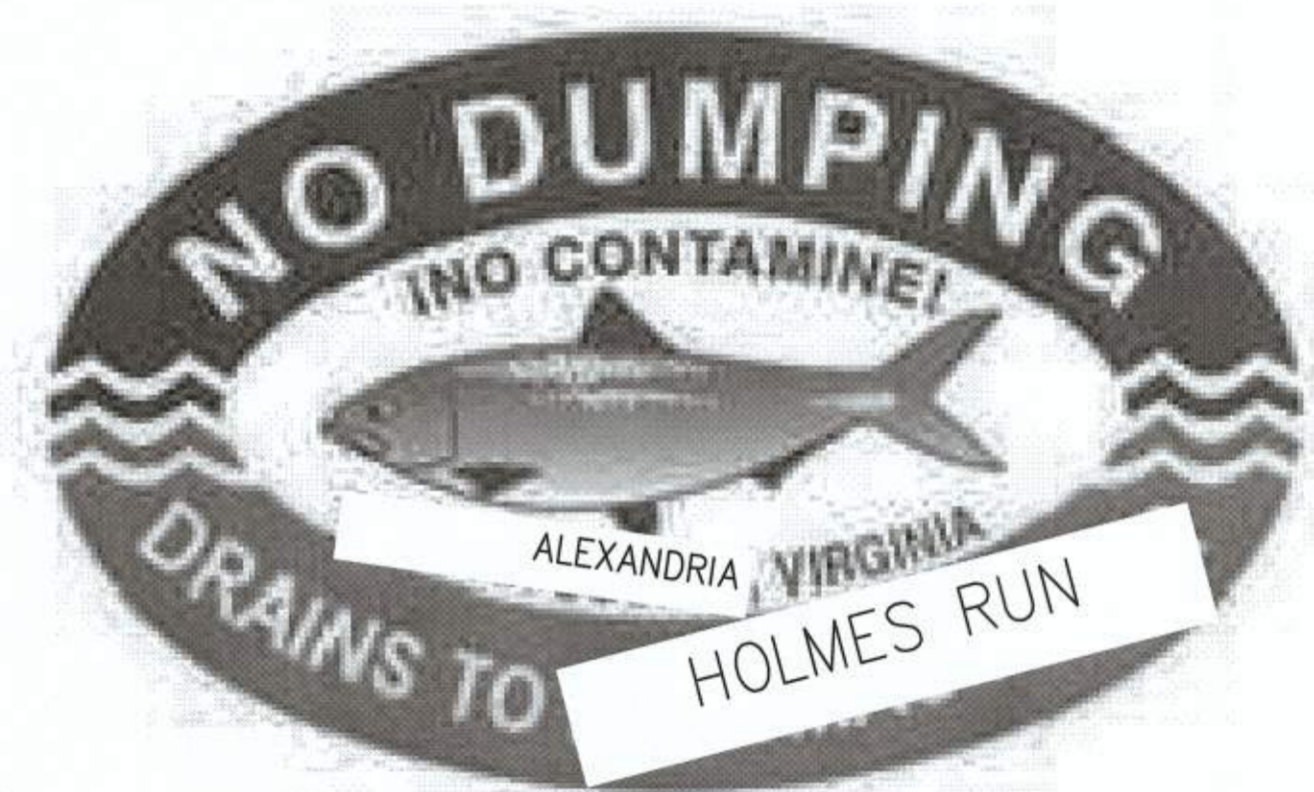
SELECT DESIRED SHEETING COLOR:
 WHITE
 YELLOW
 FLUORESCENT YELLOW
 CUSTOM (SEE NOTE 3)

SELECT DESIRED OPTIONAL VP:
 4" X 22" VERTICAL PANEL
 8" X 33" VERTICAL PANEL

MANUFACTURER NOTE:
 1. CRASHWORTHINESS TESTED TO M.A.S.H. 2016 STANDARDS.
 NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. FLUORESCENT COLORS ARE RECOMMENDED FOR APPLICATIONS REQUIRING THE HIGHEST VISIBILITY.
 4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 6. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com AND ENTER REFERENCE NUMBER 644-042.

FG 300 TURNPIKE GRADE CURB SYSTEM
 HOT, HOV, TOLLWAY, CONSTRUCTION SOLUTION

REVISION DATE 04/02/2019
 CADdetails.com



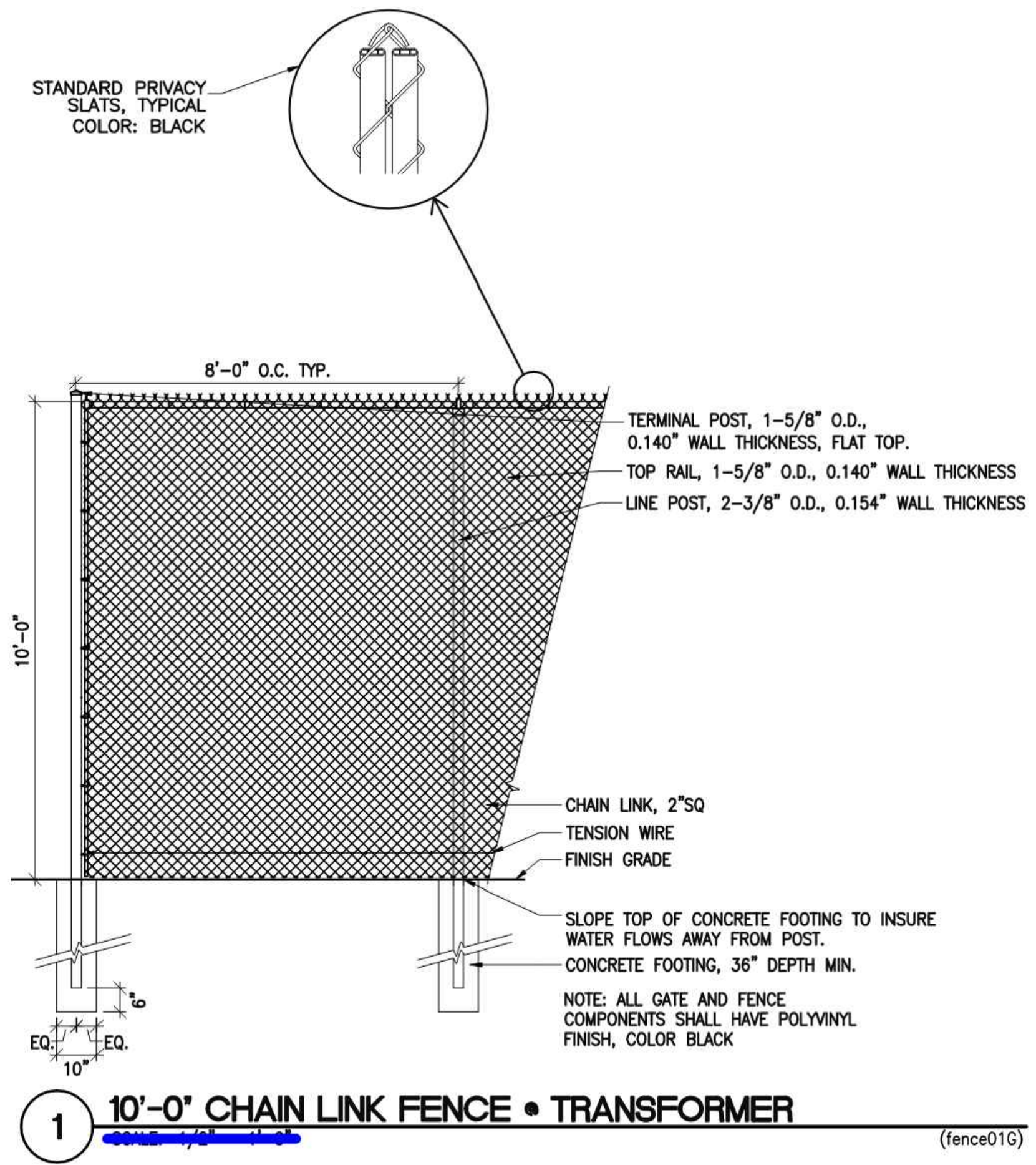
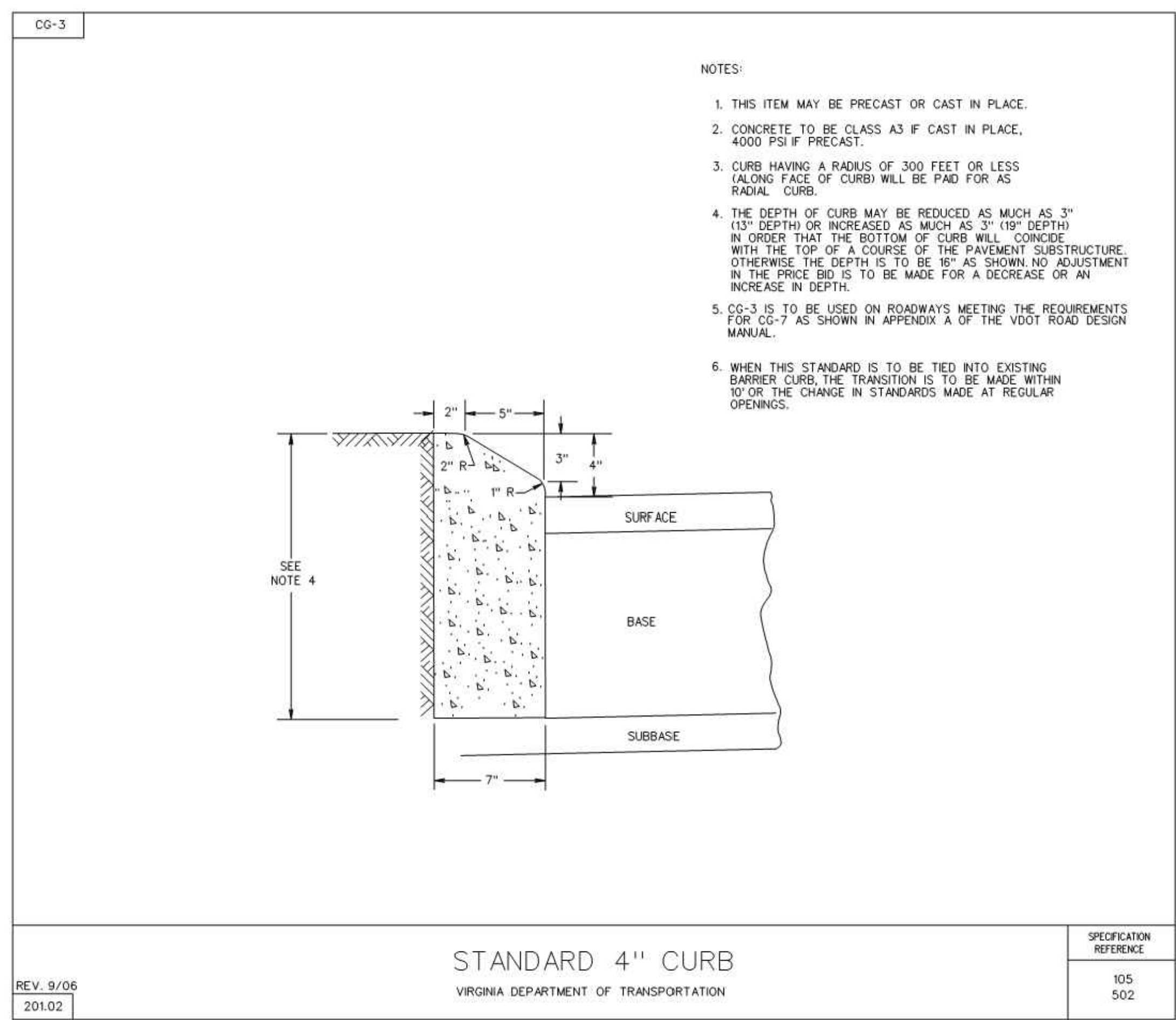
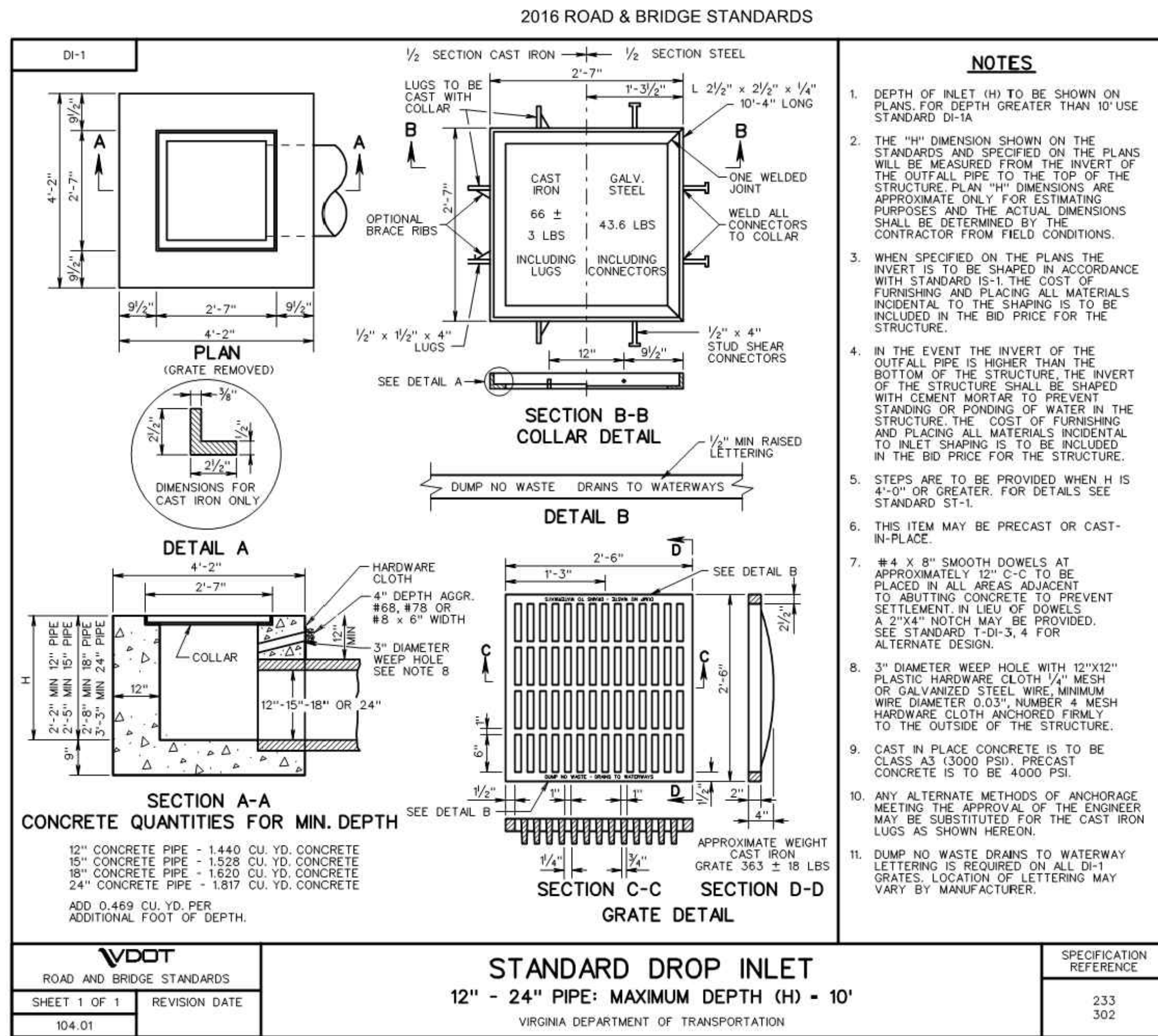
2395 MILL ROAD
 FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: SITE DETAILS (2 OF 3)

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

Director: [Signature] DATE: 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. [Signature] DATE: 11/6/19
 Director: [Signature] DATE: 11/6/19
 CHAIRMAN, PLANNING COMMISSION: [Signature] DATE: 11/6/19
 DATE RECORDED: _____
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review



Bowman CONSULTING

DESIGN ENGINEER / SURVEYOR

Bowman Consulting Group, Ltd.
13461 Sunrise Valley Drive, Suite 500
Herndon, Virginia 20171
Phone: (703) 464-1000
Fax: (703) 461-9720
www.bowmanconsulting.com

DATE: 09/29/2020
DESCRIPTION: ADDENDUM 3
DATE: 09/29/2020
DESCRIPTION: ADDENDUM 4

SCALE: N/A
DATE: SEPTEMBER, 2020
DRAWN: CA

SEAL:

STEVEN T. LIAM
Lic. No. 40924
10/06/2020
PROFESSIONAL ENGINEER

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED
1	EAST TRANSFORMER YARD	07/06/2020	STL, CITY OF ALEXANDRIA
2	EAST TRANSFORMER YARD	07/06/2020	STL, CITY OF ALEXANDRIA
3	PROPOSED STREET IMPROVEMENT	06/19/2020	
4	DRY UTILITY PLAN	10/06/2020	

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: SITE DETAILS (3 OF 3)

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 10-23-20
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

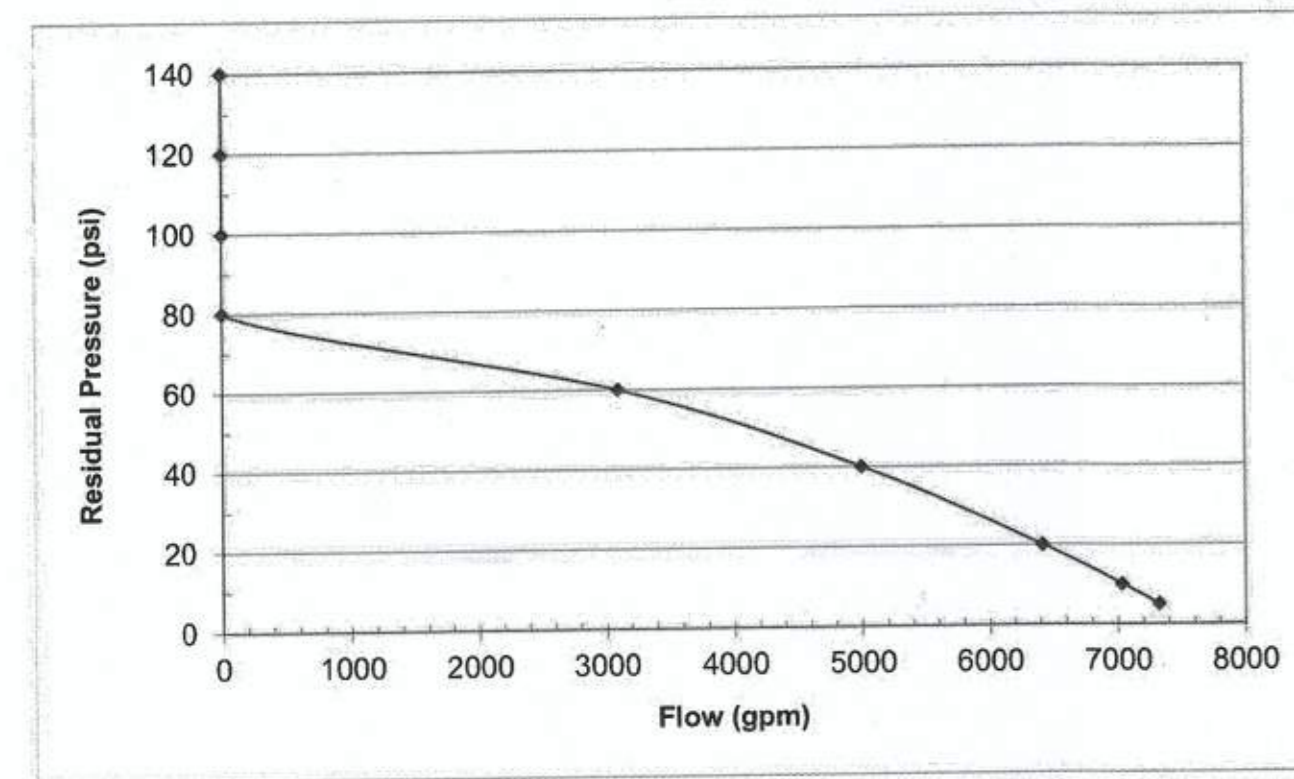
ESI
Peer Review

**Virginia American Water
Fire Hydrant Flow Test Summary**

Location:	2395 Mill Road	Contact Person	Matthew Ganci
Date:	6/21/2019	Project Engineer	Virginia American Water
Time:	2:00PM	2225 Duke St.	Alexandria, VA 22314
		Office: 703-706-3862	Email: matthew.ganci@amwater.com
Total Flow	2717 gpm	Flow Hydrant #	4098
Static pressure	74 psi	Residual Hydrant #	4087
Residual pressure	63 psi		

Calculated Flow gpm	Residual psi
7223	5
7031	10
6415	20
4997	40
3095	60
#NUM!	80
#NUM!	100
#NUM!	120
#NUM!	140

- Notes:
- Table calculation is for reference only. Virginia American Water will not guarantee the calculated flow.
 - 3500 gpm is the limit of available fire flow.
 - Individual (Non-public water supply) fire suppression systems shall be designed by the property owner to meet needed fire flow in excess of 3,500 gpm.
 - VAW does not provide hydrant elevations.

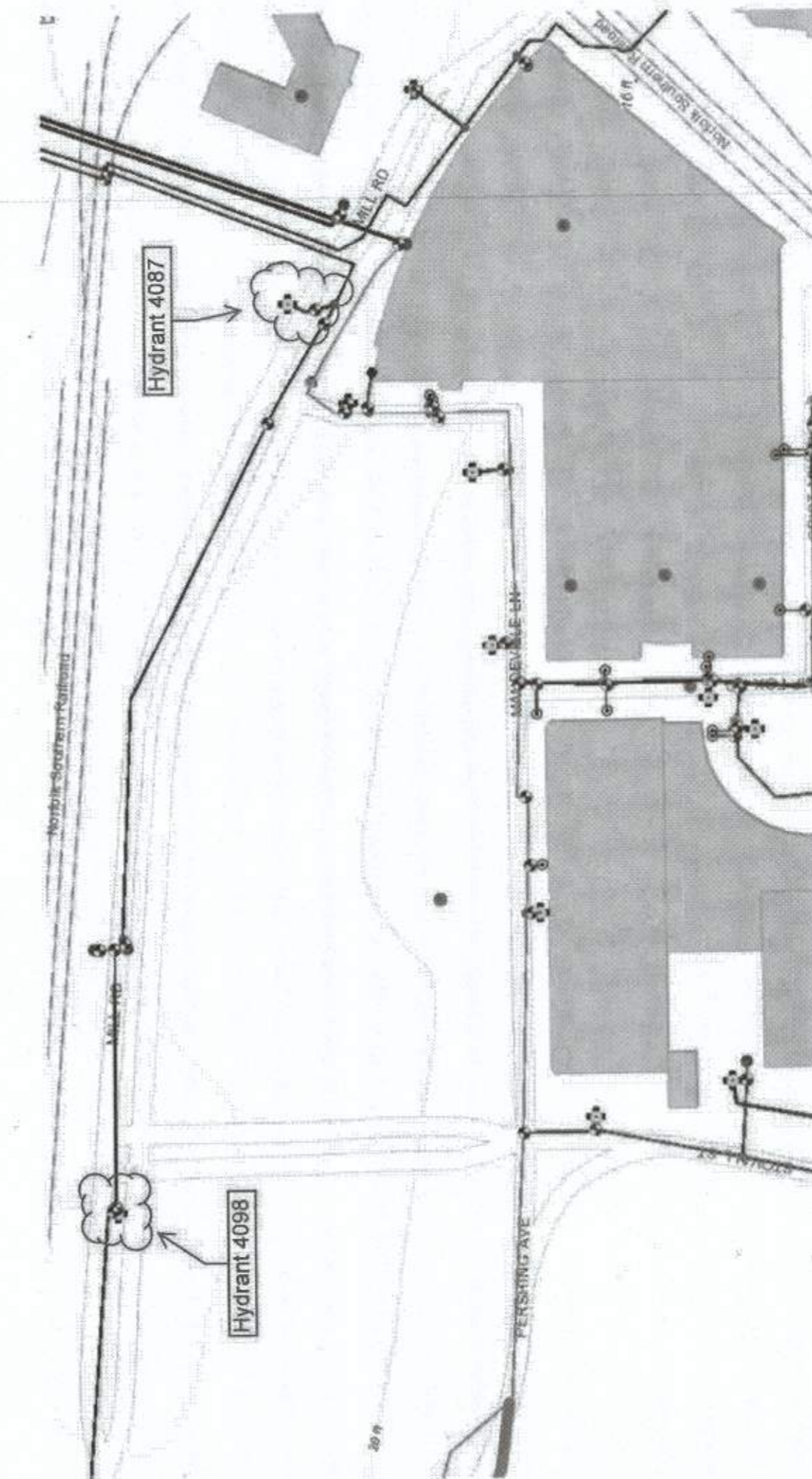


REQUEST FOR FIRE FLOW TEST INFORMATION

Requested by Camilo Apolinares
 Phone 703-464-1000 Fax _____
 Email capolinares@bownmanco.com
 Project Name 2395 Mill Road
 Request Reason Need flow information for hydraulic calculations
 District A P
 Project address 2395 Mill Road
 Map sheet # _____
 Flow Hydrant# 4098 use 4" nozzle w/diffuser
 Residual Hydrant # 4087
 Main size 20 inches
 Note: Before running this flow test, check all surroundings to avoid any potential damage to nearby residents landscaping, grounds, etc.
 Flow duration 3-5 minutes
 Tester D. Kiyamp
 Date 6/21/19
 Time 2:00p
 Residual Hyd# 4087 Make Muciller
 Static Pressure (PSI) 74
 Residual Pressure (PSI) 63
 Residual FH MUST Get at least a 10 lb. drop
 Flow Hydrants

Hydrant#	1	2	3	4
Hydrant#	4098			
Hydrant make	Muciller			
Nozzle Diameter (inch)	4			
Flow reading (PSI)	40			
Static Reading (PSI)	69			

 Engineering Department
 Requested by Matthew Ganci Date 6/13/2019



DEQ APPROVAL LETTER

VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY
 NORTHERN REGIONAL OFFICE
 13901 Crown Court, Woodbridge, Virginia 22193
 (703) 583-3800
www.deq.virginia.gov

October 22, 2019
 DEQ Plan #: 2019-0214
 Page: 2 of 2

Department of Environmental Quality
 Northern Regional Office
 Attn: Stormwater Plan Review
 13901 Crown Court
 Woodbridge, Virginia 22193

It is the responsibility of the owner and/or operator to ensure that the project is constructed in accordance with the approved Plan and accompanying specifications. Upon completion of the project, the owner and/or operator will be required to submit a construction record drawing for all permanent stormwater management facilities (i.e., post-development best management practices) constructed in accordance with the approved Plan.

Prior to the commencement of construction, all land-disturbing activities equal to or greater than one acre, or less than one acre and part of a larger common plan of development or sale, must register for coverage under the General VPDES Permit for Discharges of Stormwater from Construction Activities (VAR10). If not already submitted, a copy of the General Permit registration statement can be obtained from DEQ's website at the following location:
<https://www.deq.virginia.gov/Programs/Water/StormwaterManagement/VSMPPermits/ConstructionGeneralPermit.aspx>

Please contact April Rhodes at (703) 583-3866 or April.Rhodes@deq.virginia.gov if you have any questions about this letter.

Respectfully,

 Trisha Beasley, Manager
 Regional VWP/Stormwater Program

- Cc: Larry Gavan, DEQ-CO
 Kelly Vanover, DEQ-NRO Manager
 Emily Janzow, DEQ-NRO SW Inspector
 Rebecca Konow, DEQ-NRO SW Inspector
 Steve Liam, Bowman Consulting Group
 Brad Glatfelter, Bowman Consulting Group
 Melanie Mason, City of Alexandria
 DEQ CGP Permitting Staff

Enclosure

Matthew J. Strickler
 Secretary of Natural Resources

David K. Payler
 Director
 (804) 698-4000
 Thomas A. Faha
 Regional Director

October 22, 2019

Johnathan Rak
 McGuirewoods LLC
 1750 Tysons Boulevard
 Suite 1800
 Tysons, Virginia 22102

Transmitted Via Email: (jrak@mcguirewoods.com)

Re: WMATA - 2935 Mill Road
 Fairfax County, Virginia
 DEQ SWM #: 2019-0214
 Stormwater Management Plan Approval

Dear Mr. Rak:

The Department of Environmental Quality (DEQ) has reviewed the revised Stormwater Management Plan (Plan) received August 21, 2019 in accordance with the Virginia Stormwater Management Act and the Virginia Stormwater Management Program (VSMMP) Regulations. The Plan with latest revision date of August 21, 2019 and signed seal date of August 21, 2019 is hereby approved and a copy is enclosed. No changes may be made to the approved Plan without obtaining prior approval from DEQ. Additionally, approval of the ESC and SWM Plan does not relieve the operator of complying with all other federal, state, or local laws and regulations.

As provided by Rule 2A.2 of the Supreme Court of Virginia, you have thirty (30) days from the date you received this decision within which to appeal this decision by filing a notice of appeal in accordance with the Rules of the Supreme Court of Virginia with the Director, Virginia Department of Environmental Quality.

If not already provided, at your earliest convenience, please submit one digital copy (PDF preferred) of the approved Plan and accompanying specifications to DEQ at the following address:

Bowman Consulting
 DESIGN ENGINEER / SURVEYOR
 Phone: (703) 464-1000
 Fax: (703) 461-9720
 13461 Sunrise Valley Drive, Suite 500
 Herndon, Virginia 20171
 www.bowmanconsulting.com

SEAL:

 STEVEN T. LIAM
 Lic. No. 40224
 10/30/19
 PROFESSIONAL ENGINEER

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

**2395 MILL ROAD
 FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA**

SHEET NAME: CORRESPONDENCE

APPROVED 2018-0028
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

 DIRECTOR DATE 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

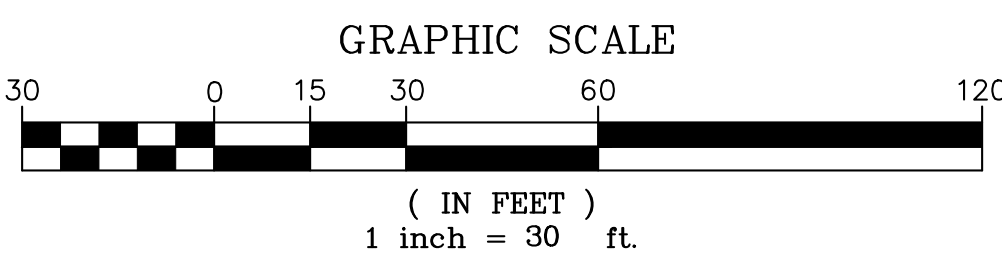
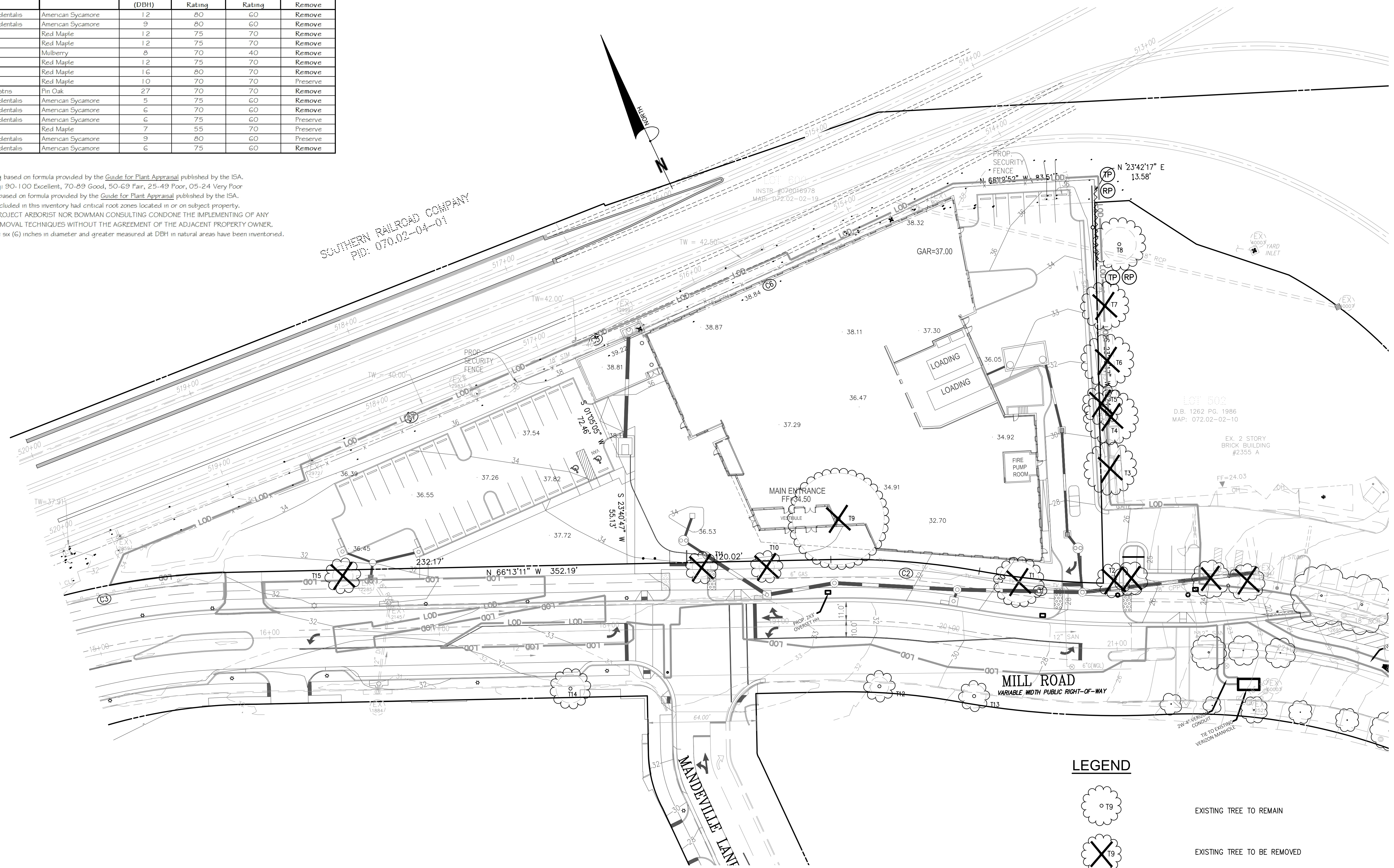
 CHAIRMAN, PLANNING COMMISSION DATE 11/6/19
 DATE RECORDED _____
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI Peer Review

TREE INVENTORY
MILL ROAD-OFFICE BUILDING
 Date of site visit (s): APRIL 4, 2019
 Certified Arborist: Gregg D. Eberly, MA-4616A

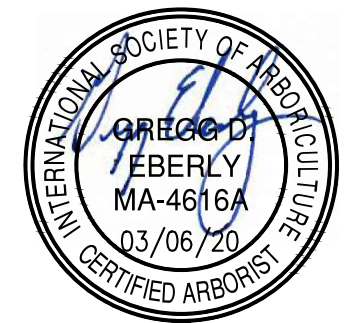
Tree #	Botanic Name	Common Name	Caliper (DBH)	Condition Rating	Species Rating	Preserve/Remove
1	Platanus occidentalis	American Sycamore	12	80	60	Remove
2	Platanus occidentalis	American Sycamore	9	80	60	Remove
3	Acer rubrum	Red Maple	12	75	70	Remove
4	Acer rubrum	Red Maple	12	75	70	Remove
5	Morus alba	Mulberry	8	70	40	Remove
6	Acer rubrum	Red Maple	12	75	70	Remove
7	Acer rubrum	Red Maple	16	80	70	Remove
8	Acer rubrum	Red Maple	10	70	70	Preserve
9	Quercus palustris	Pin Oak	27	70	70	Remove
10	Platanus occidentalis	American Sycamore	5	75	60	Remove
11	Platanus occidentalis	American Sycamore	6	70	60	Remove
12	Platanus occidentalis	American Sycamore	6	75	60	Preserve
13	Acer rubrum	Red Maple	7	55	70	Preserve
14	Platanus occidentalis	American Sycamore	9	80	60	Preserve
15	Platanus occidentalis	American Sycamore	6	75	60	Remove

- Notes:
- Condition Rating based on formula provided by the *Guide for Plant Appraisal* published by the ISA. Condition Rating: 90-100 Excellent, 70-89 Good, 50-69 Fair, 25-49 Poor, 05-24 Very Poor
 - Species Rating based on formula provided by the *Guide for Plant Appraisal* published by the ISA.
 - Off site trees included in this inventory had critical root zones located in or on subject property.
 - NEITHER THE PROJECT ARBORIST NOR BOWMAN CONSULTING CONDONE THE IMPLEMENTING OF ANY SUGGESTED REMOVAL TECHNIQUES WITHOUT THE AGREEMENT OF THE ADJACENT PROPERTY OWNER.
 - All trees that are six (6) inches in diameter and greater measured at DBH in natural areas have been inventoried.



LEGEND

	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	CRITICAL ROOT ZONE
	TREE PROTECTION FENCE
	ROOT PRUNING TRENCH
	LIMITS OF DISTURBANCE



ESI
Peer Review

Bowman CONSULTING
 DESIGN ENGINEER / SURVEYOR
 Phone: (703) 464-1000
 Fax: (703) 464-1920
 Bowman Consulting Group, Ltd.
 13461 Sunrise Valley Drive, Suite 500
 Herndon, Virginia 20171
 © Bowman Consulting Group, Ltd.
 www.bowmanconsulting.com

SCALE: 1"=30'
 DATE: FEBRUAR, 2020
 DRAWN: CA

DATE	DESCRIPTION	DATE	DESCRIPTION
10/20/19	MLAR SUBMISSION		

SEAL:

 STEVEN T. LIAM
 Lic. No. 40224
 02/06/2020

REVISION APPROVED BY

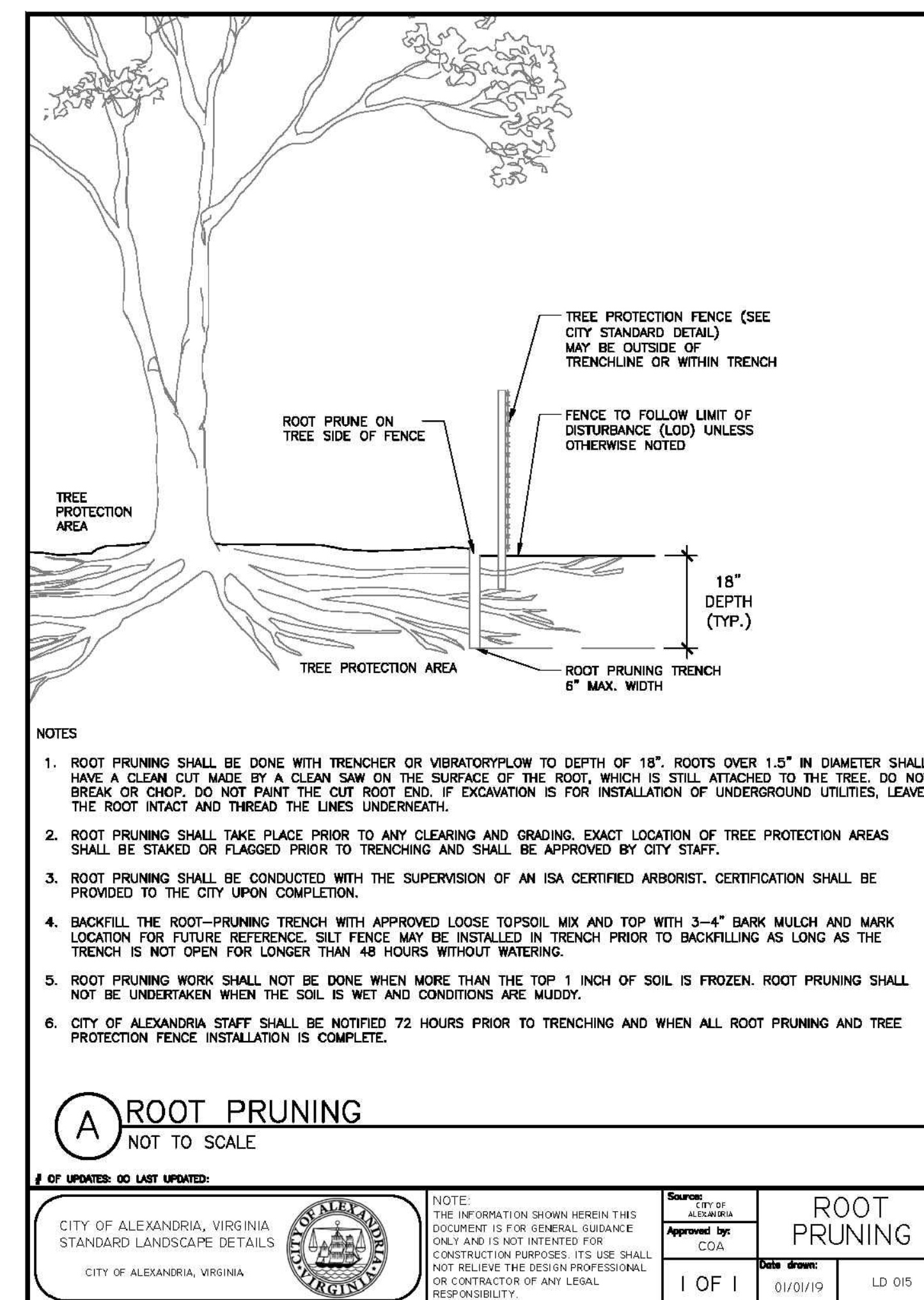
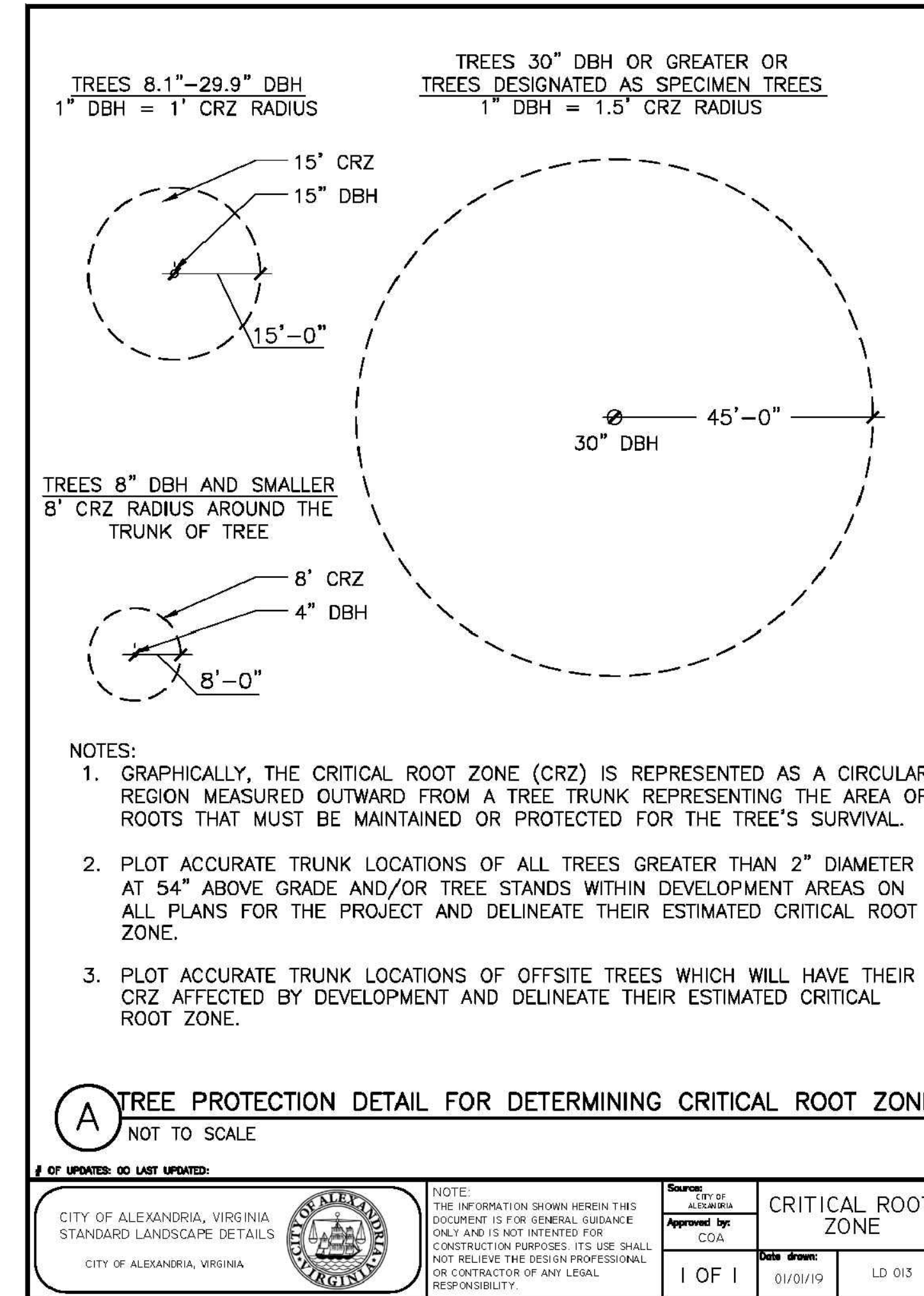
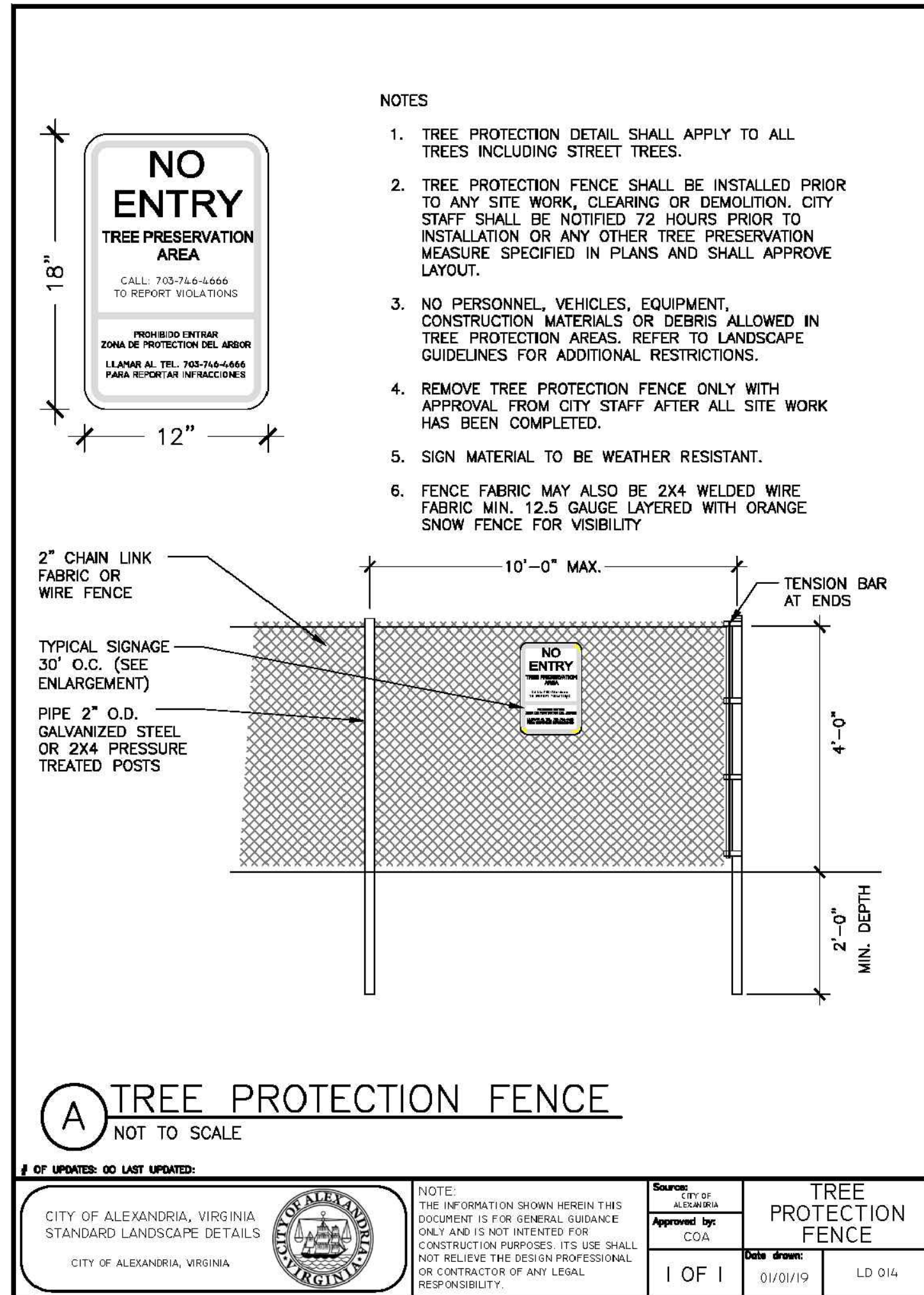
NO.	DESCRIPTION	DATE	APPROVED	DATE
1	EAST TRANSFORMER YARD	07/06/2020	STL/DA, CITY OF ALEXANDRIA	03/07/2020
2	STORM SEWER REVISION	07/06/2020	STL/DA, CITY OF ALEXANDRIA	03/07/2020

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: TREE PRESERVATION PLAN

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No.		
3.26.20		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION	DATE	
DATE RECORDED		
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.



DESIGN ENGINEER / SURVEYOR

Bowman CONSULTING

Bowman Consulting Group, Ltd.
13461 Sunrise Valley Drive, Suite 500
Herndon, Virginia 20171
© Bowman Consulting Group, Ltd.
www.bowmanconsulting.com

Phone: (703) 464-1000
Fax: (703) 461-1920

SCALE: N/A | DATE: FEBRUAR, 2020 | DRAWN: CA

DATE	DESCRIPTION	DATE	DESCRIPTION
10/20/19	MLAR SUBMISSION		

SEAL:

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE
1	EAST TRANSFORMER YARD	07/06/2020	STL/CA	CITY OF ALEXANDRIA	03/07/2020
2	STORM SEWER REVISION	07/06/2020	STL	CITY OF ALEXANDRIA	03/07/2020

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: TREE PRESERVATION NOTES & DETAILS

APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 3.26.20
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI
Peer Review

WMATA
Eisenhower Ave
Office Building
 2395 Mill Road Alexandria, VA

Gensler

2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel 202.721.5200
 Fax 202.872.8587

Jair Lynch

Jair Lynch Real Estate
 Partners
 1400 16th Street NW
 Suite 430
 Washington, DC 20036
 Tel 202.462.1092

KDA

K. Dixon Architecture, PLLC
 137 National Plaza
 Suite 300
 National Harbor, MD 20745
 Tel 301.364.5053

Bowman

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 Reston, VA 20191
 Tel 703.464.1000

Setty

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 1415 Elliot Place, NW
 Suite 100
 Washington, DC 20007
 Tel 202.393.1523

CGLA

Landscape Architecture
 1025 Connecticut Avenue, NW
 Suite 1000
 Washington, DC 20036
 Tel 202.857.9720

Thornton Tomasetti

Thornton Tomasetti
 2001 K Street, NW
 Suite 600 North
 Washington, DC 20006
 Tel 202.580.6300

A+F Engineers

A+F Engineers
 1112 16th Street NW
 Suite 920
 Washington, DC 20036
 Tel 202.628.1600

Jensen Hughes

Jensen Hughes
 4601 Fairfax Drive
 Suite 1200
 Arlington, VA 22203
 Tel 703.348.6398

Michael Blades

Michael Blades & Associates,
 Ltd
 5409 Rapidan Court
 Lothian, MD 20711
 Tel 410.798.8504

△ Date Description

07.10.2019	SITE PLAN SUBMISSION
08.15.2019	2ND FDSUP SUBMISSION
09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR



Seal / Signature

**NOT FOR
 CONSTRUCTION**

Project Name

2395 MILL ROAD

Project Number

009.8974.000

Description

BUILDING PERSPECTIVE SOUTH AND
 WEST ELEVATIONS

Scale

6" = 1'-0"

A001

APPROVED 2018-0028
 SPECIAL USE PERMIT NO.
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR *[Signature]* FOR KM DATE 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. *[Signature]* DATE 11/6/19
 CHAIRMAN *[Signature]* DATE 11/6/19
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

**ESI
 Peer Review**



**WMATA
Eisenhower Ave
Office Building**
2395 Mill Road Alexandria, VA

Gensler

2020 K Street NW
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Washington, DC 20006
United States
Tel 202.721.5200
Fax 202.872.8587

Jair Lynch

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Washington, DC 20036
Tel 202.857.9720

Thornton Tomasetti

Thornton Tomasetti
2001 K Street, NW
Suite 600 North
Washington, DC 20006
Tel 202.580.6300

A+F Engineers

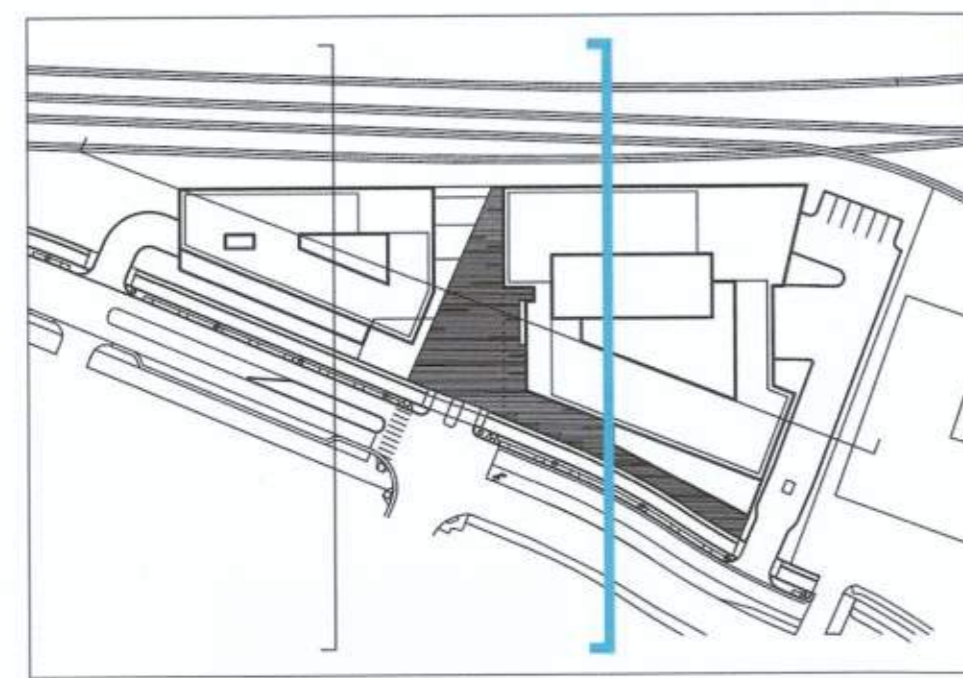
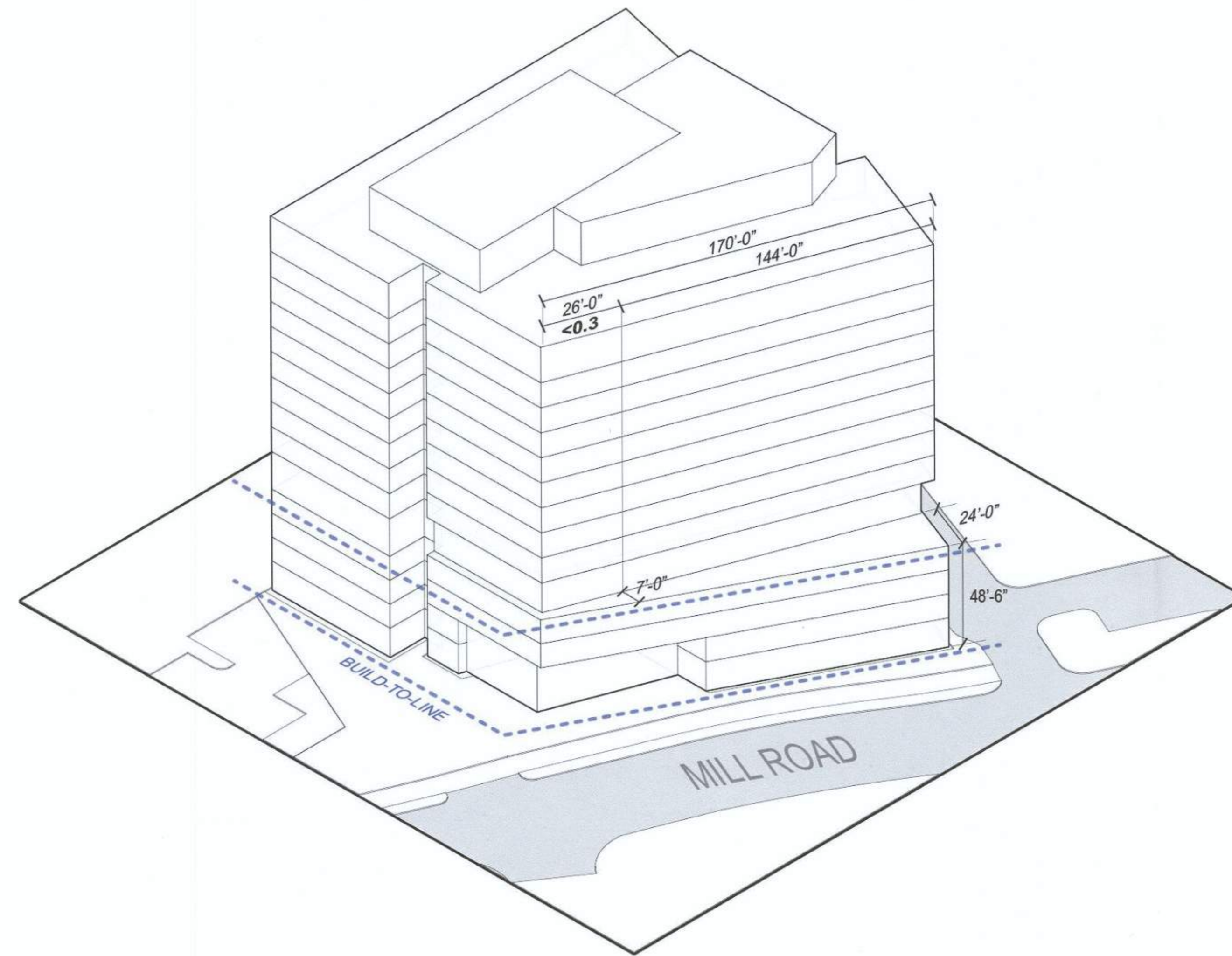
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Tel 703.348.8398

Michael Blades

Michael Blades & Associates,
Ltd
5409 Rapidan Court
Lothian, MD 20711
Tel 410.798.8504



△ Date	Description
07.10.2019	SITE PLAN SUBMISSION
08.15.2019	2ND FDSUP SUBMISSION
09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR



Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name

2395 MILL ROAD

Project Number

009.8974.000

Description

BUILDING SETBACKS AND
DIAGRAMMATIC SITE SECTION

Scale

A003



Green Business Certification, Inc
1-800-795-1745
202-828-1145
www.gbci.org/contact

Paid By:
Dee Rendleman
2020 K street
WASHINGTON, DC 20006
abigail_young@gensler.com

Paid To:
Green Business Certification, Inc
PO Box 822964
Philadelphia, PA 19182-2964

Payment Method	Payment Date
Credit Card: XXXX XXXX XXXX0791	Jul 05, 2019

Project ID: 1000120994
Project Name: WMATA - Mill Road
USGBC Member Company: Gensler

Item Description	Quantity	List Price/Unit	Discount (if applicable) (\$ 0.00)	Amount
LEED-NC Registration	1	\$ 1,200.00		\$ 1,200.00
			Shipping/Handling	\$ 0.00
			Sales Tax	\$ 0.00
			Total Paid	\$ 1,200.00

Thank you for your payment.
Please keep this receipt for your records.

RECEIPT

Invoice #: 91289914
Order #: 12375420
Invoice Date: Jul 05, 2019

WMATA Mill Road

LEED v4 - BD+C - New Construction - Gold
Last Updated: 2019.09.04
Comprehensive Scorecard

Version: 4.0.0.0 (12/15/2016) - 4.0.0.0 (12/15/2016)

	IP	LT	SS	WE	EA	MR	EQ	ID	RP
IP Integrative Process	17	18	12	31					
Integrative Process	1	1	1	1					

LT Location and Transportation		16 Points Possible	10	0	5	17
D	LEED for Neighborhood Development Location	16				16
D	Sensitive Land Protection	1	1			
D	High Priority Site	2			2	
D	Surrounding Density and Diverse Uses	5	1			1
D	Access to Quality Transit	5	1		2	
D	Bicycle Facilities	1			1	
D	Reduced Parking Footprint	1	1			
D	Green Vehicles	1	1			

SS Sustainable Sites		10 Points Possible	9	1	0	0
C	Construction Activity Pollution Prevention	R	R			
D	Site Assessment	1	1			
D	Site Development - Protect or Restore Habitat	2				
D	Open Space	1	1			
D	Rainwater Management	3	3			
D	Heat Island Reduction	2	1			
D	Light Pollution Reduction	1	1			

WE Water Efficiency		8 Points Possible	7	4	0	0
D	Outdoor Water Use Reduction	R	R			
D	Indoor Water Use Reduction 20%	R	R			
D	Building-Level Water Metering	R	R			
D	Outdoor Water Use Reduction	2	2			
D	Indoor Water Use Reduction 25-50%	6	5	1		
D	Cooling Tower Water Use	2	2			
D	Water Metering	1	1			

EA Energy and Atmosphere		33 Points Possible	14	8	5	6
C	Fundamental Commissioning and Verification	R	R			
D	Minimum Energy Performance	R	R			
D	Building-Level Energy Metering	R	R			
D	Fundamental Refrigerant Management	R	R			
C	Enhanced Commissioning	6	5	1		
D	Optimize Energy Performance (% NC / MR / CS)	18	6	3	3	6
D	Advanced Energy Metering	1	1			
C	Demand Response	2		2		
D	Renewable Energy Production	3		1	2	
D	Enhanced Refrigerant Management	1	1			
C	Green Power and Carbon Offsets	2	2			

MR Materials and Resources		13 Points Possible	8	0	0	5
D	Storage and Collection of Recyclables	R	R			
C	Construction and Demolition Waste Management Planning	R	R			
D	Building Life-Cycle Impact Reduction	5	3			2
C	Building Product Disclosure and Optimization - Environmental Product Declarations	2	1			1
C	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2	1			1
C	Building Product Disclosure and Optimization - Material Ingredients	2	1			1
C	Construction and Demolition Waste Management	2	2			

EQ Indoor Environmental Quality		10 Points Possible	10	4	0	1
D	Minimum Indoor Air Quality Performance	R	R			
D	Environmental Tobacco Smoke Control	R	R			
D	Enhanced Indoor Air Quality Strategies	2	2			
C	Low Emitting Materials (no form)	3	3			
C	Construction Indoor Air Quality Management Plan	1	1			
C	Indoor Air Quality Assessment	2	2			
D	Thermal Comfort	1		1		
D	Interior Lighting	2	1	1		
D	Daylight	3	1	1	1	
D	Quality Views	1	1			
D	Acoustic Performance	1		1		

ID Innovation in Design		6 Points Possible	5	0	1	0
D	Exemplary Performance: Heat Island Reduction	1	1		1	
C	Low Mercury Bulbs	1	1			
C	Green Building Education	1	1			
D	Pilot Credit: Biophilic Design	1	1			
D	Design for Flexibility	1	1			
C	LEED Accredited Professional	1	1			

RP Regional Priority		6 Points Possible	3	0	1	2
D	Optimize Energy Performance	1			1	
D	Access to Quality Transit	1	1			
D	Reduced Parking Footprint	1			1	
D	Green Vehicles	1	1			
D	Site Development - Protect or Restore Habitat	1	1			
D	Rainwater Management	1			1	

*For details regarding the credit options being pursued, see FULL LEEDv4 Scorecard

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Tel 410.798.8504

Date	Description
07.10.2019	SITE PLAN SUBMISSION
08.15.2019	2ND FDSUP SUBMISSION
09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR



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NOT FOR CONSTRUCTION

Project Name
2395 MILL ROAD

Project Number
009.8974.000

Description
LEED SCORECARD

Scale

APPROVED
SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

Director: [Signature] DATE: 11/4/19

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.

Director: [Signature] DATE: 4/24/17

Chairman, Planning Commission: [Signature] DATE: 11/6/19

DATE RECORDED: _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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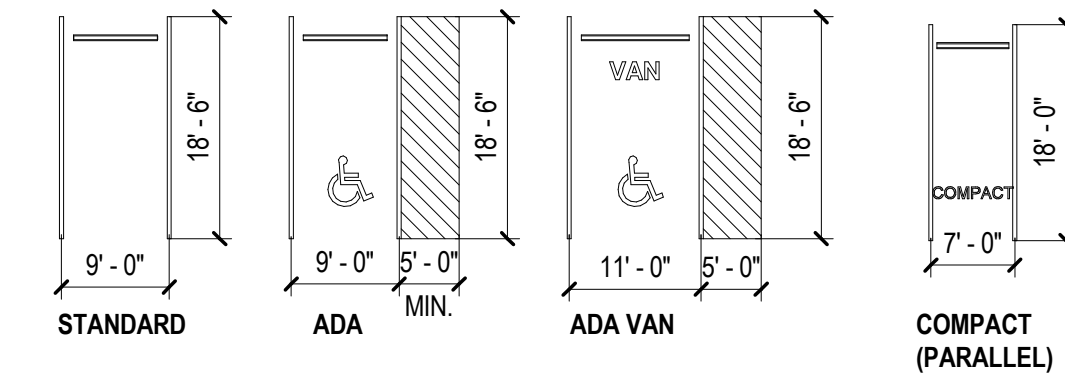
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LANDSCAPING AROUND THE EQUIPMENT ENCLOSURE TO BE ADDED THROUGH A MINOR AMENDMENT. APPROVAL OF THE MINOR AMENDMENT TO THE DEPARTMENT OF PLANNING AND ZONING WILL OCCUR PRIOR TO SUBMITTAL OF THE WALL CHECK, AS REQUIRED BY CONDITION #66. NO COMMENCEMENT OF BUILDING FRAMING WILL OCCUR UNLESS THIS MINOR AMENDMENT HAS BEEN SUBMITTED AND APPROVED.

Parking Tabulation						
LEVEL	Standard	Compact	ADA	ADA VAN	EV	TOTAL PER FLOOR
SURFACE	26	0	1	1	0	28
DRIVEWAY	6	0	0	0	0	6
GROUND LEVEL	17	6	0	0	0	23
LEVEL 02	33	13	3	1	0	50
LEVEL 03	33	21	1	1	2	58
LEVEL 04	32	21	3	0	4	60
TOTAL	147	61	8	3	6	
GRAND TOTAL						225



GENERAL NOTE:
ALL PARKING SPACES TO BE STANDARD U.N.O.

PARKING DIAGRAMS

SCALE: 1/16" = 1'-0"

OFFICE SF AREA = 326,259 SF
326,259 SF/7,500SF = 44 BIKE SPACES (EMPLOYEES)
326,259 SF/20,000 SF = 17 BIKE SPACES (VISITORS)
TOTAL SPACES REQUIRED = 61 BIKE SPACES
TOTAL SPACES PROVIDED = 62 (COVERED INTERIOR LEVEL 02) + 14 (UNCOVERED EXTERIOR) = 76 BIKE SPACES
*SEE LANDSCAPE PLAN FOR EXTERIOR BIKE PARKING SPACES

BICYCLE PARKING CALCULATIONS

SCALE: 1/16" = 1'-0"

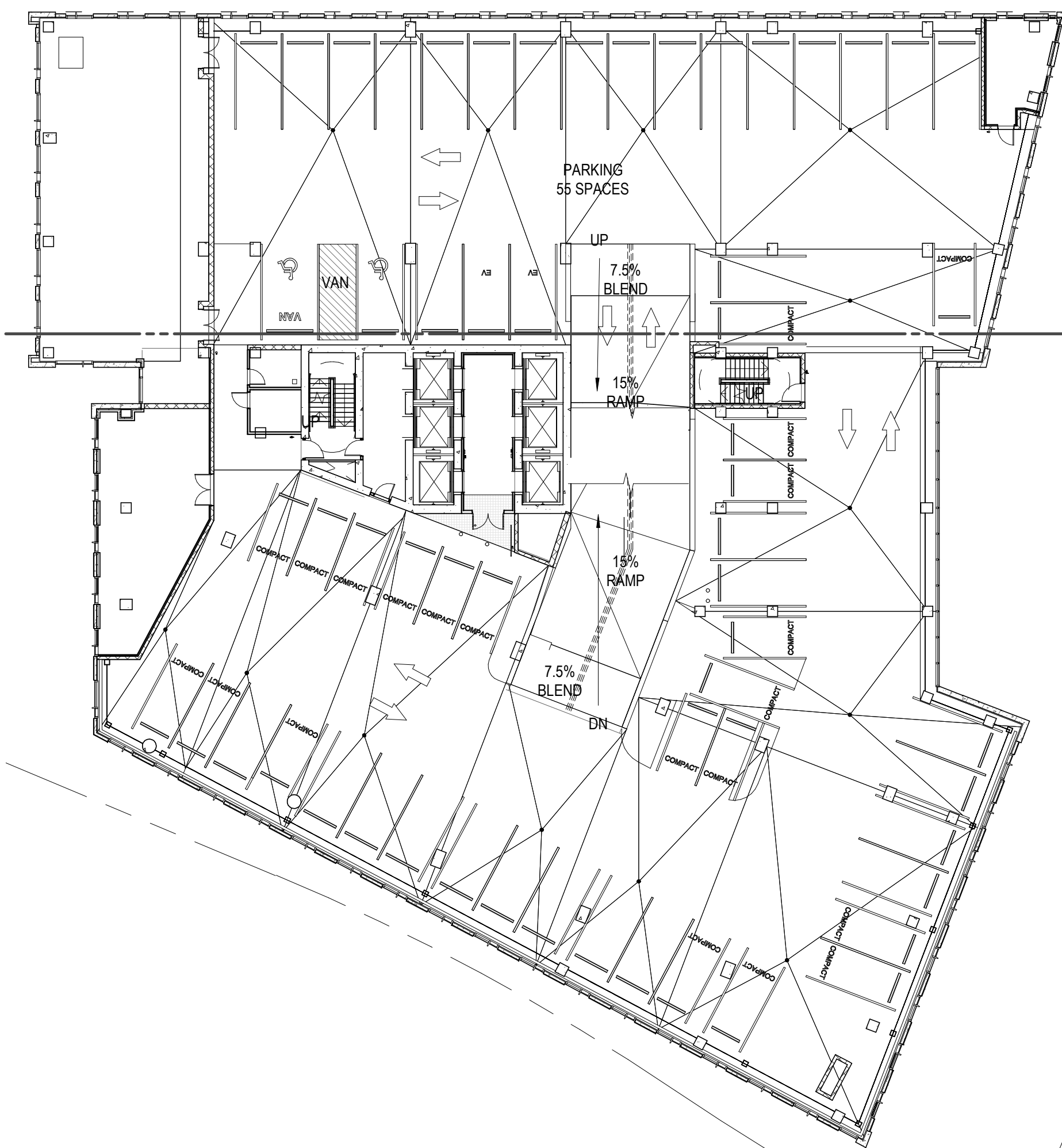
APPROVED
SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____ DATE 7.29.20
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

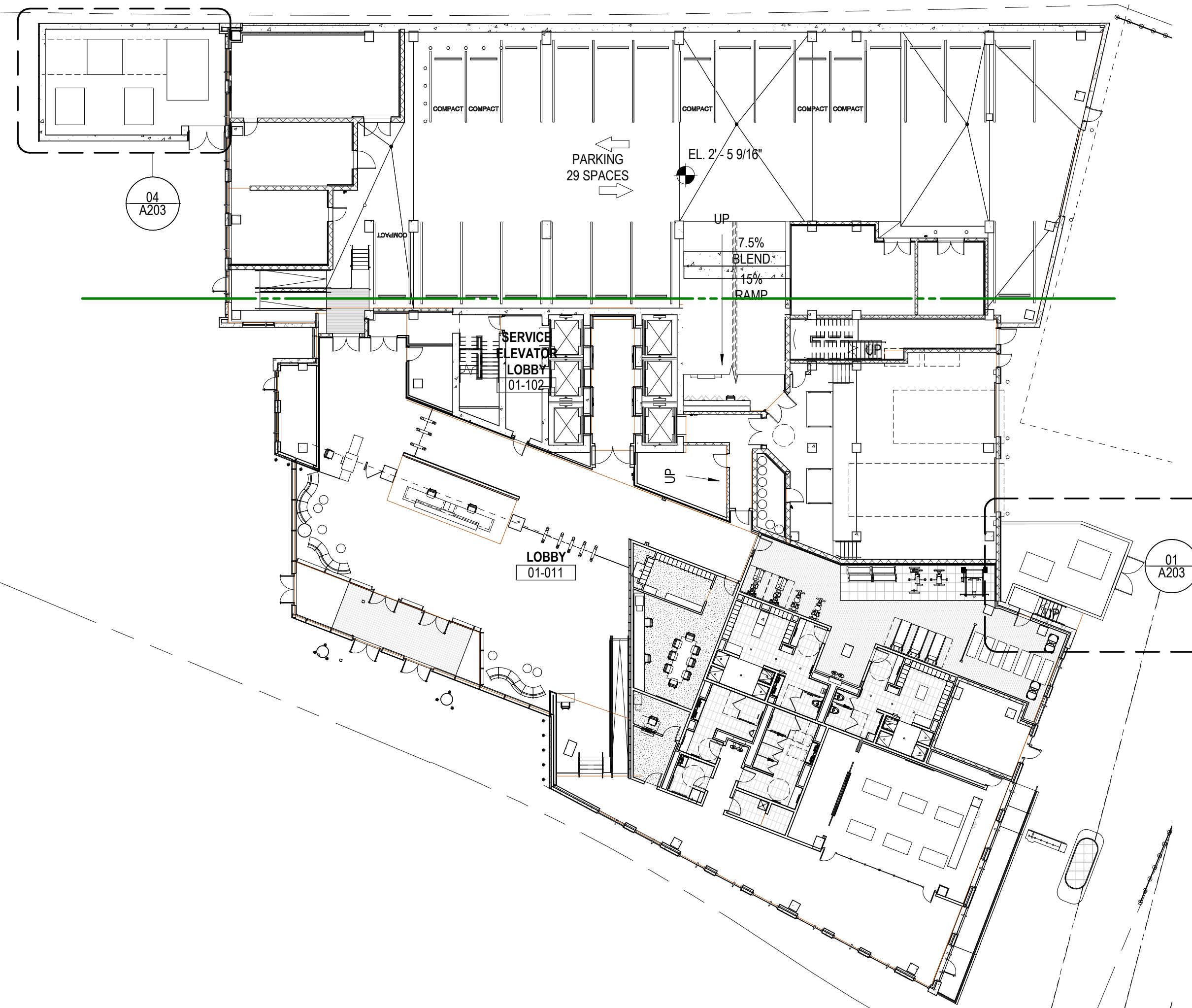
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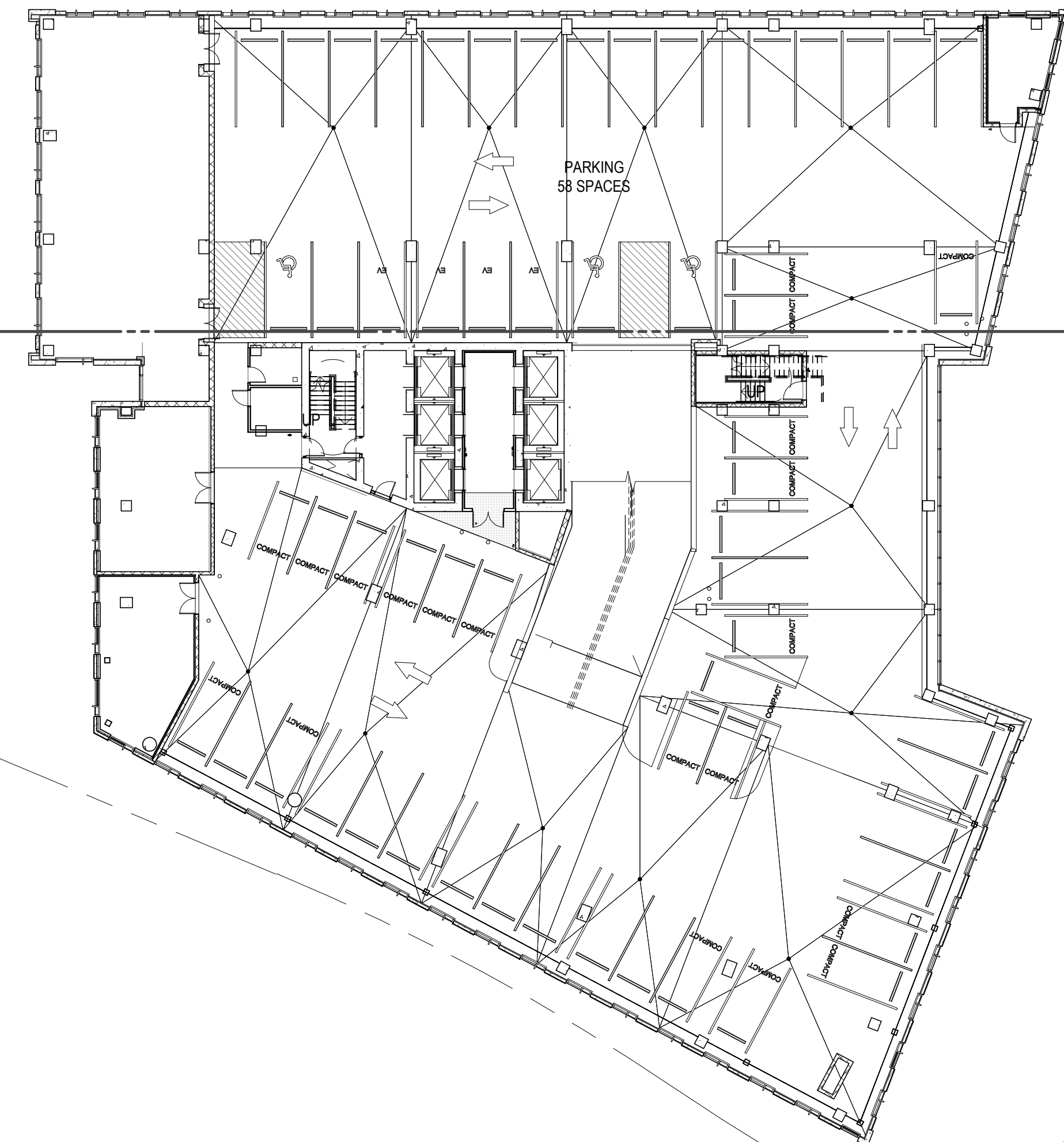
03 LEVEL 03 PARKING PLAN (SP)

SCALE: 3/64" = 1'-0"



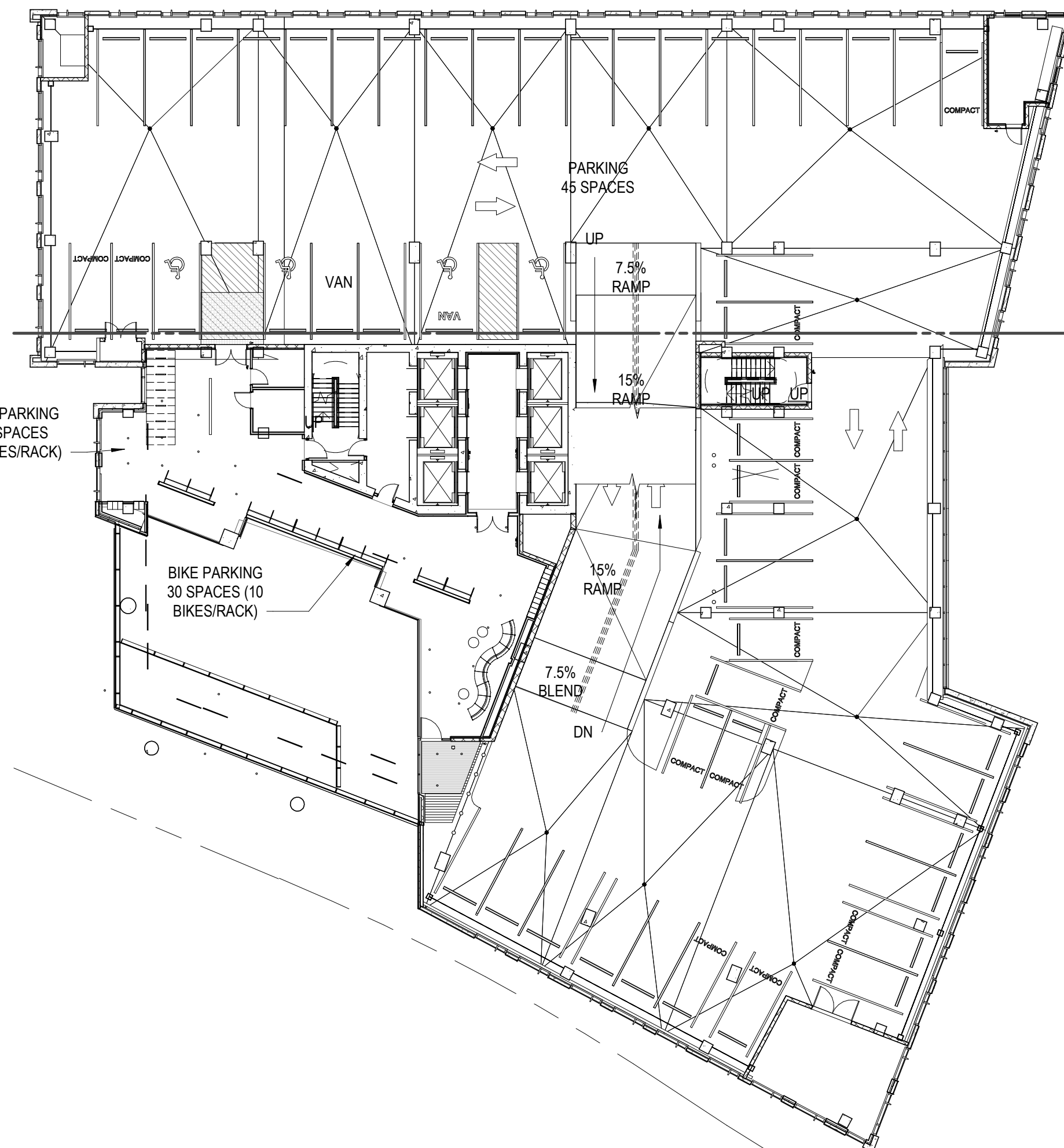
01 GROUND FLOOR PLAN (SP)

SCALE: 3/64" = 1'-0"



04 LEVEL 04 PARKING PLAN (SP)

SCALE: 3/64" = 1'-0"



02 LEVEL 02 PARKING PLAN (SP)

SCALE: 3/64" = 1'-0"

Date	Description
07.10.2019	SITE PLAN SUBMISSION
08.15.2019	2ND FDSUP SUBMISSION
09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR
02.05.2020	REVISION 1
06.19.2020	REVISION 3

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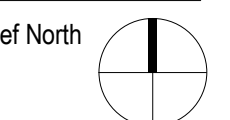


Project
2395 MILL ROAD

Project
009.8974.000

Description
LOBBY AND PARKING FLOOR PLANS

Scale
As indicated



A100

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10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR

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Project Name

2395 MILL ROAD

Project Number

009.8974.000

Description

OFFICE FLOOR PLANS

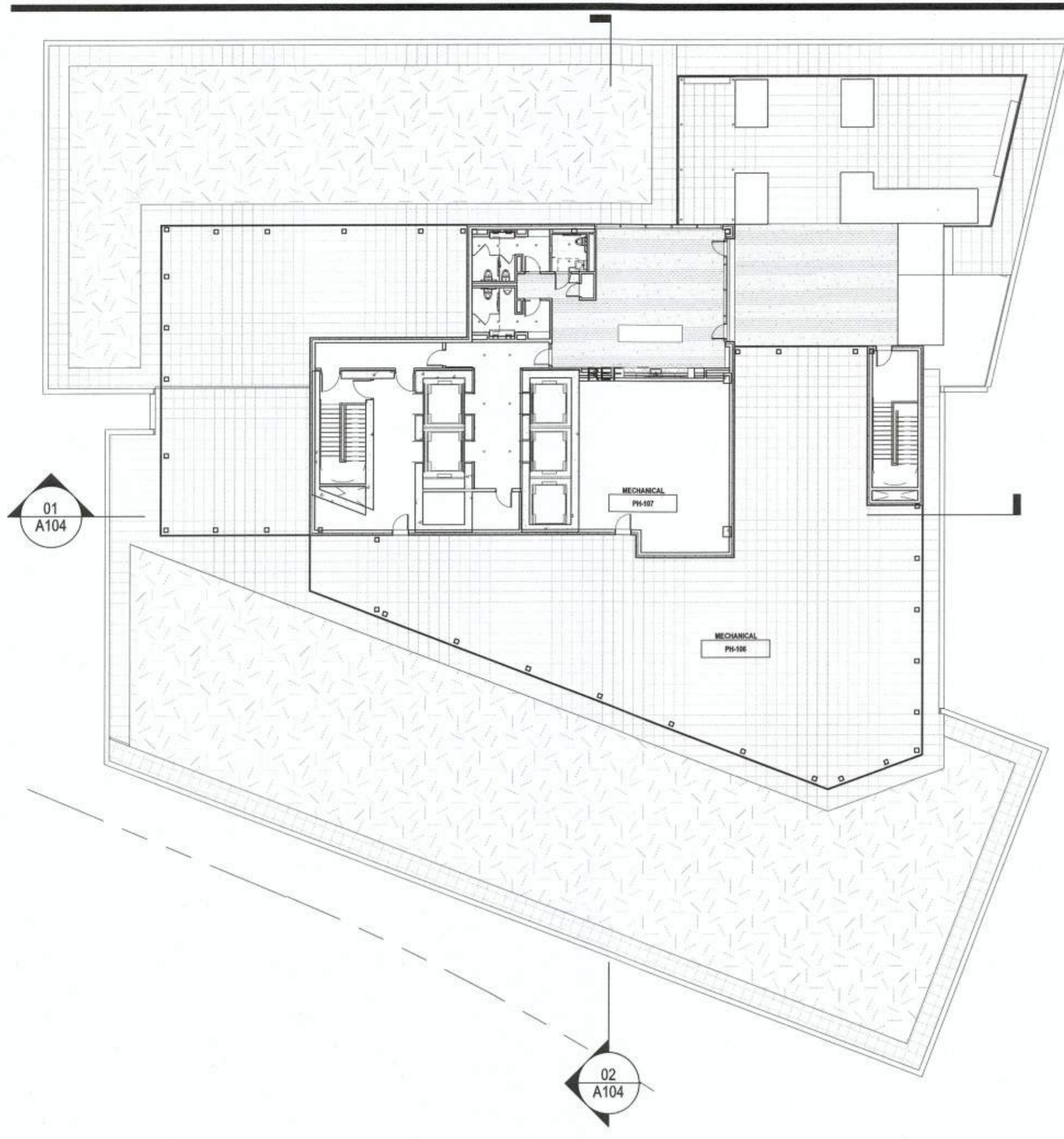
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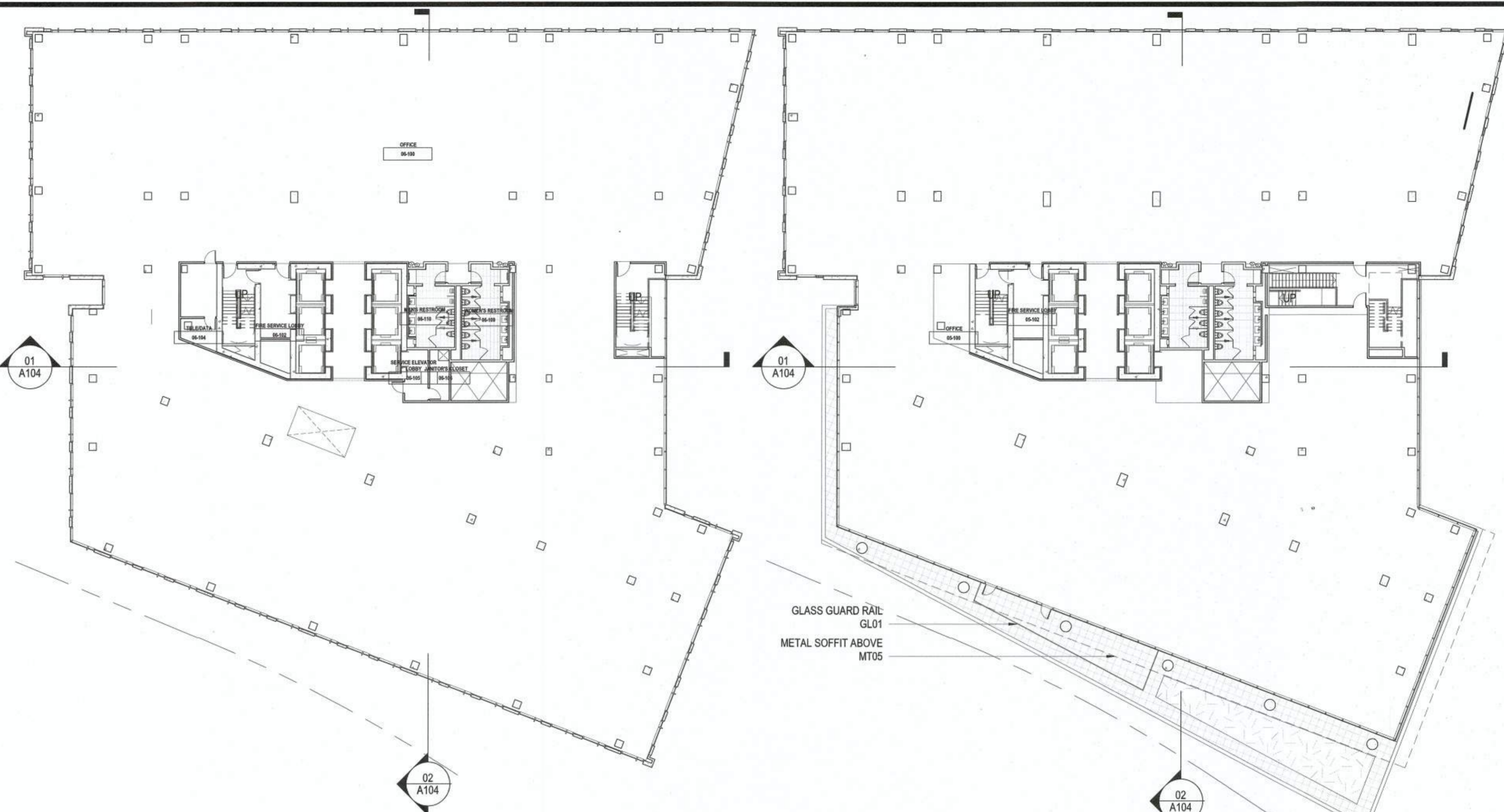


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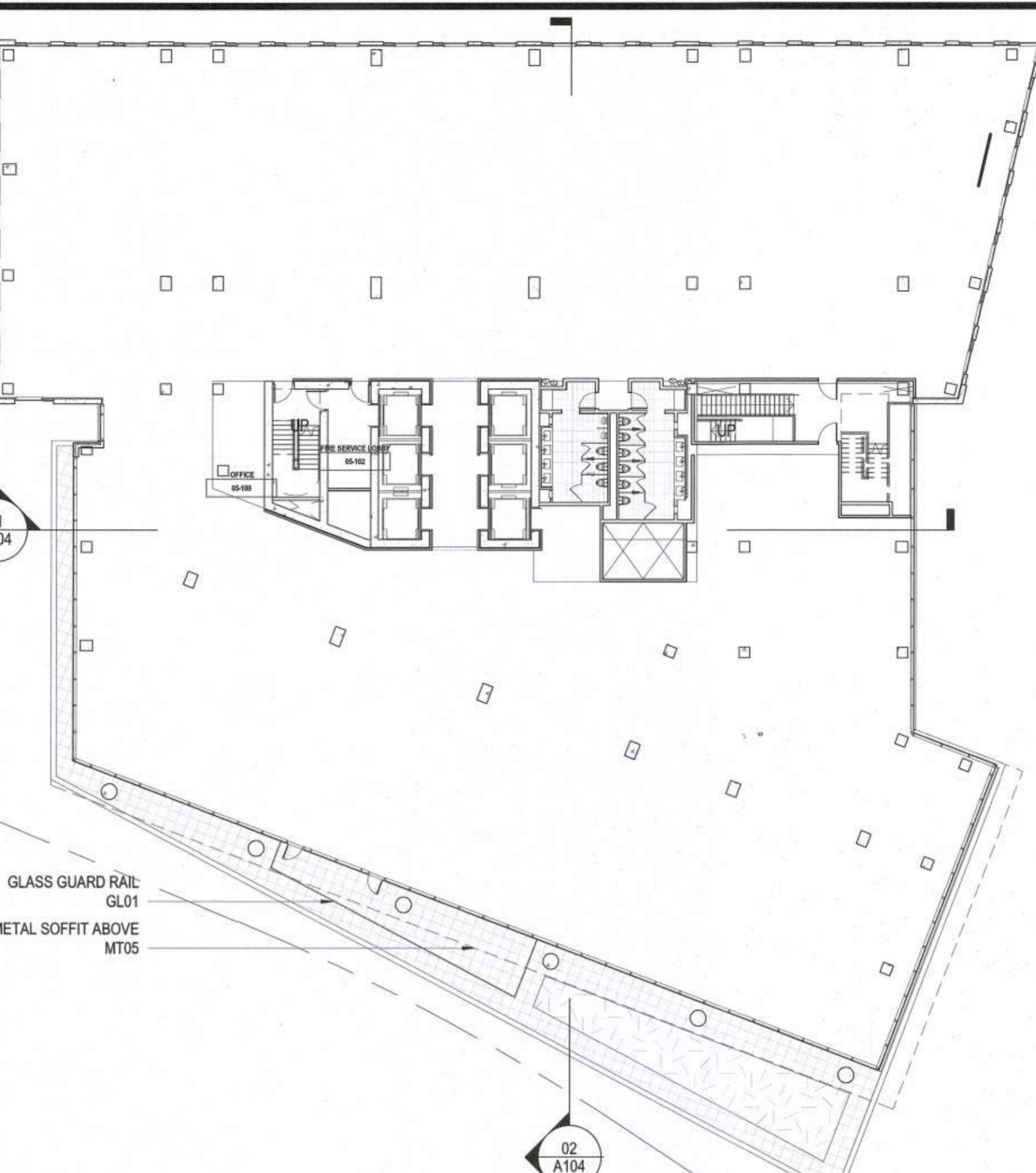
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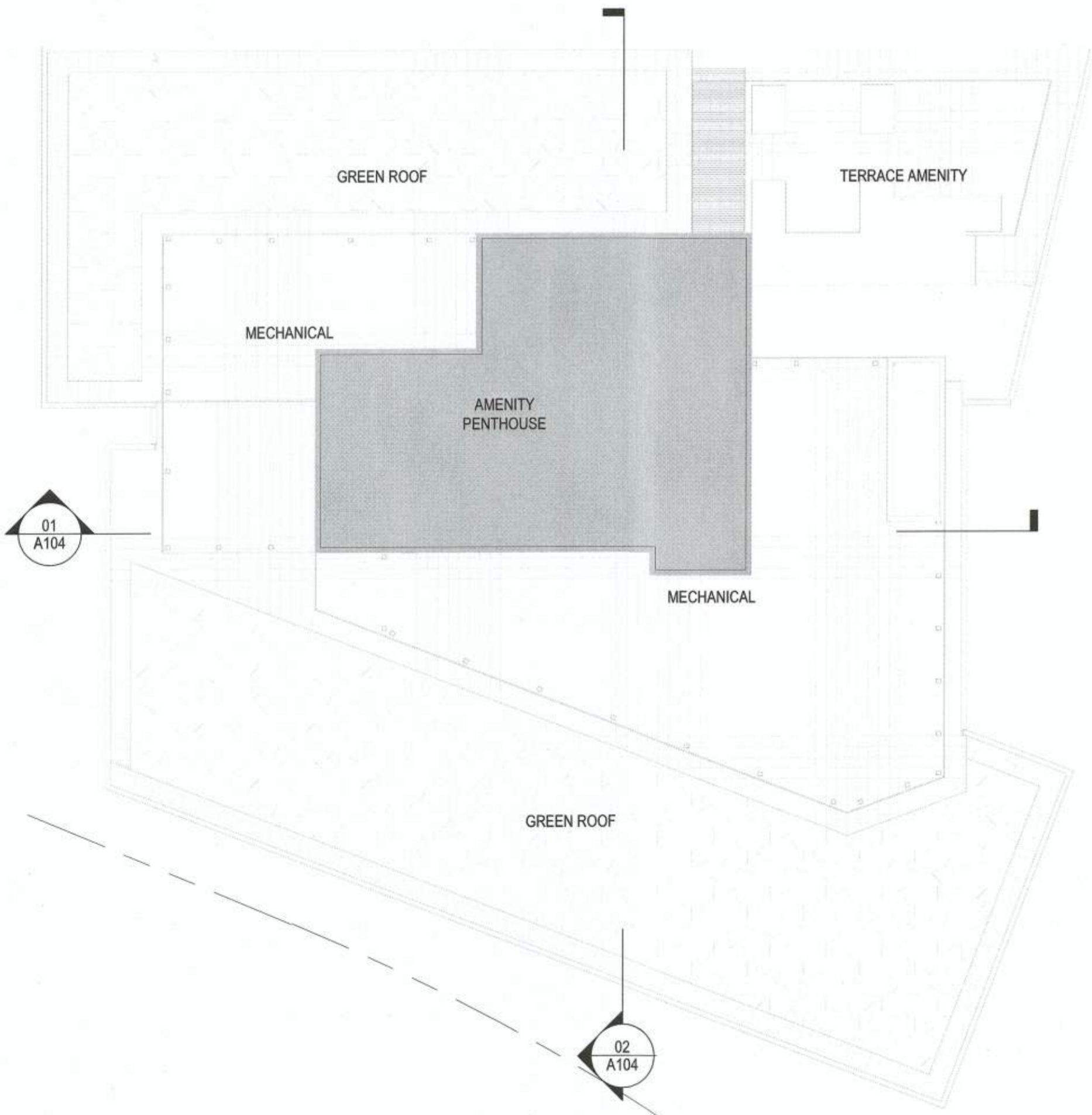
04 PENTHOUSE PLAN
SCALE: 3/64" = 1'-0"



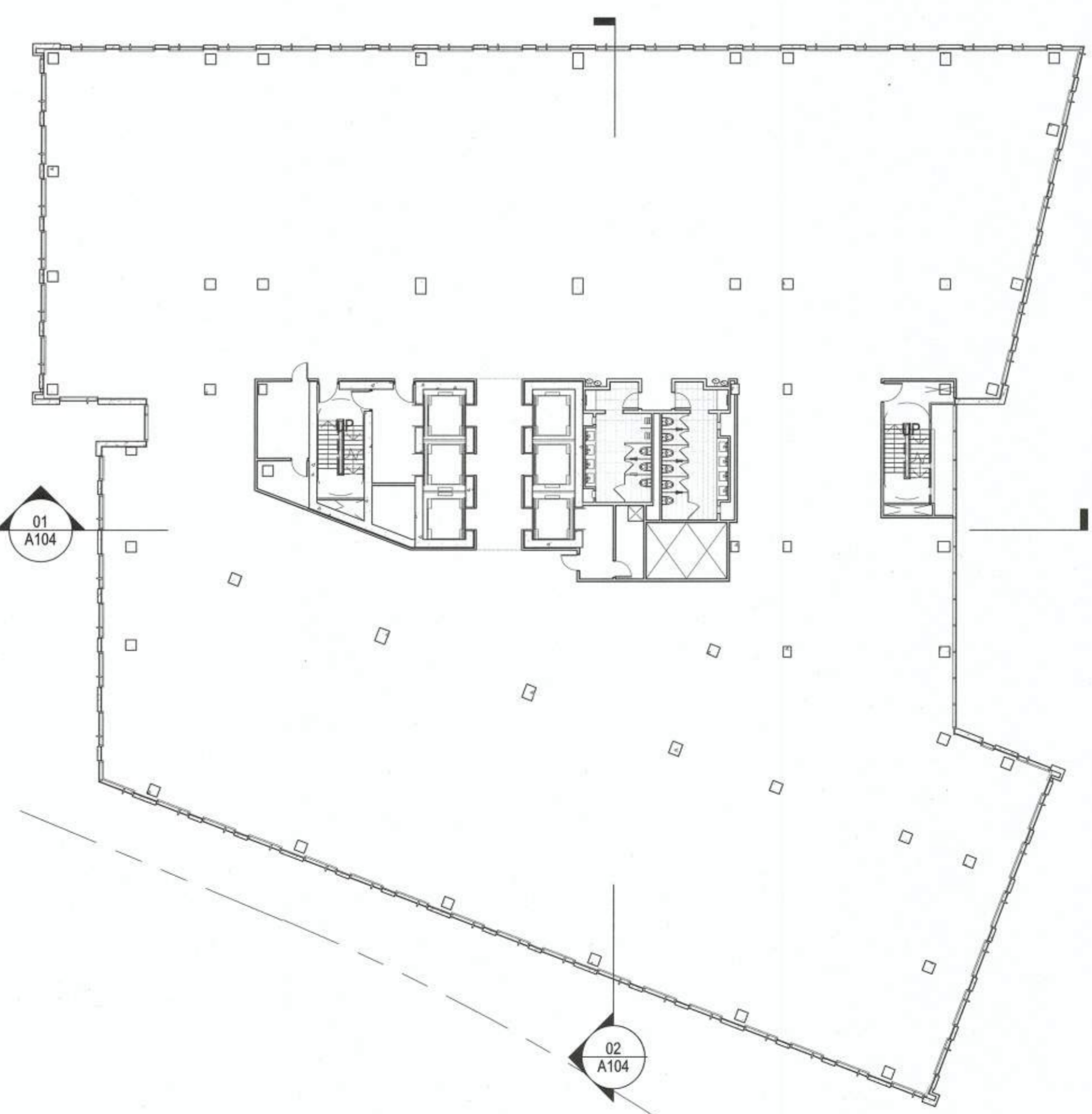
02 LEVEL 06 OFFICE PLAN (SP)
SCALE: 3/64" = 1'-0"



01 LEVEL 05 OFFICE PLAN (SP)
SCALE: 3/64" = 1'-0"



05 ROOF PLAN
SCALE: 3/64" = 1'-0"



03 LEVEL 07 OFFICE PLAN (TYP) (SP)
SCALE: 3/64" = 1'-0"

APPROVED SPECIAL USE PERMIT NO. **2018-0028**
DEPARTMENT OF PLANNING & ZONING

Hamilton R. Kim 11/6/19
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.

Robert W. Hask 11/6/19
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED: _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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Date	Description
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09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR
02.05.2020	REVISION 1
06.19.2020	REVISION 3

Seal / Signature



Project
 2395 MILL ROAD

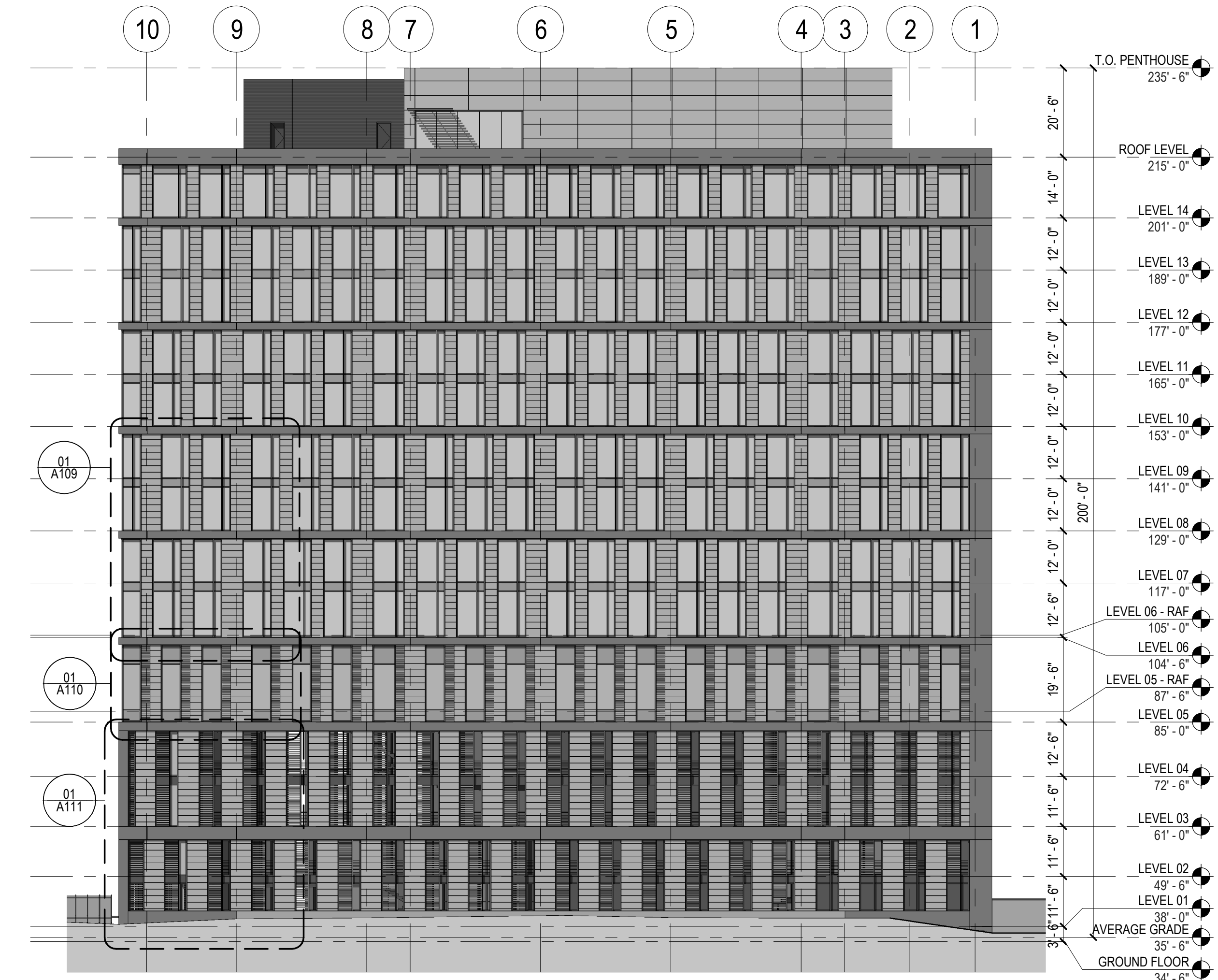
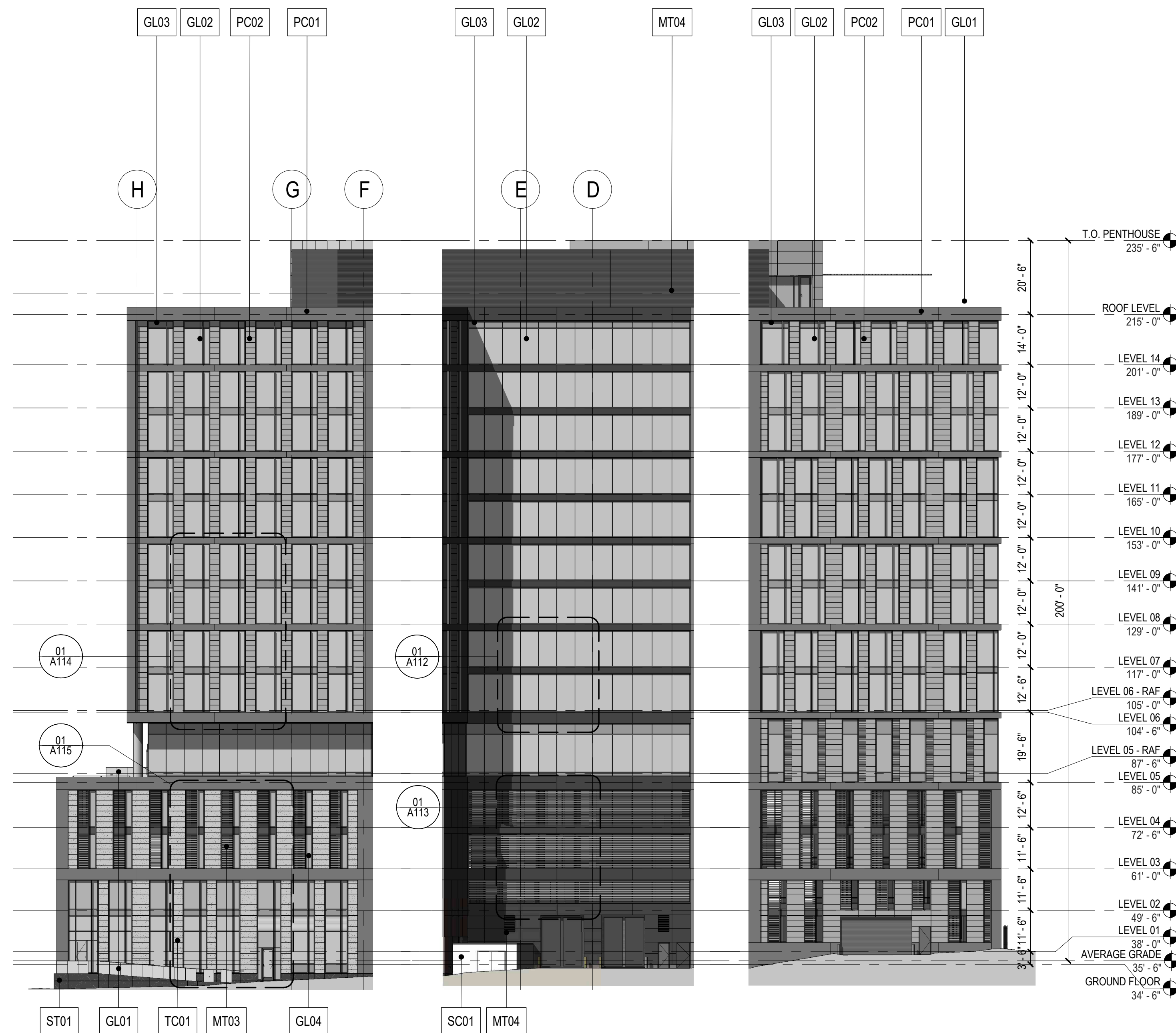
Project
 009.8974.000

Description
 ELEVATIONS

Scale
 3/64" = 1'-0"

A102

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04 EAST ELEVATION - A
 SCALE: 3/64" = 1'-0"

03 EAST ELEVATION - B
 SCALE: 3/64" = 1'-0"

02 EAST ELEVATION - C
 SCALE: 3/64" = 1'-0"

01 NORTH ELEVATION
 SCALE: 3/64" = 1'-0"

REFERENCE SHEET A201 FOR FINISH SCHEDULE

APPROVED
 SPECIAL USE PERMIT NO. **2018-0028**
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 DIRECTOR *[Signature]* DATE **7.29.20**
 CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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REVISION # 3

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Date Description

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08.15.2019	2ND FDSUP SUBMISSION
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10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR



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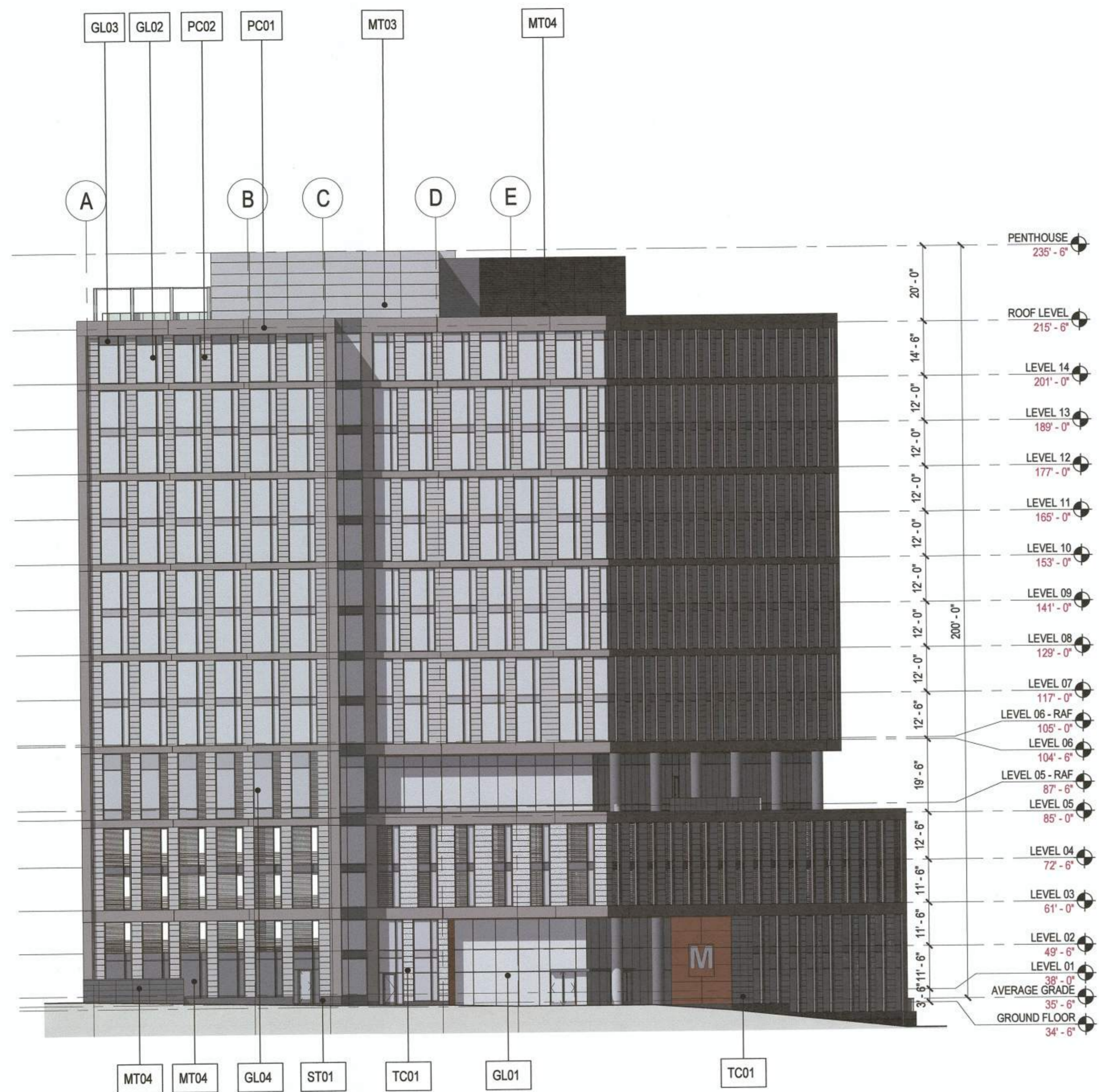
Project Name
 2395 MILL ROAD

Project Number
 009.8974.000

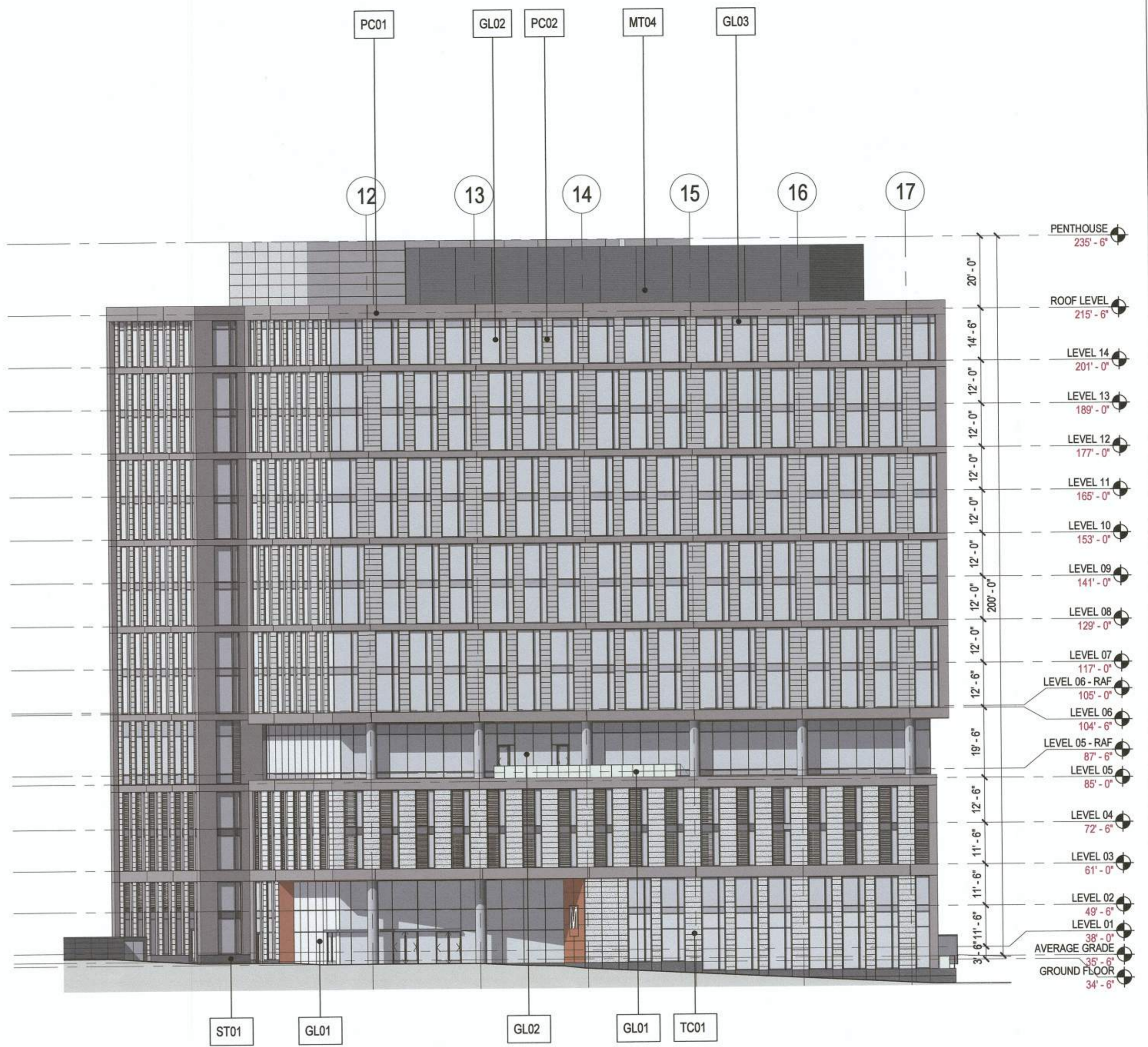
Description
 ELEVATIONS

Scale
 3/64" = 1'-0"

A103



02 WEST ELEVATION
 SCALE: 3/64" = 1'-0"



01 SOUTH ELEVATION
 SCALE: 3/64" = 1'-0"

REFERENCE SHEET A201 FOR FINISH SCHEDULE

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR: *Abigail Fox KM* DATE: 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. *[Signature]* DATE: 11/6/19
 DIRECTOR: *[Signature]* DATE: 11/6/19
 CHAIRMAN, PLANNING COMMISSION
 DATE RECORDED: _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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10.30.2019	MYLAR



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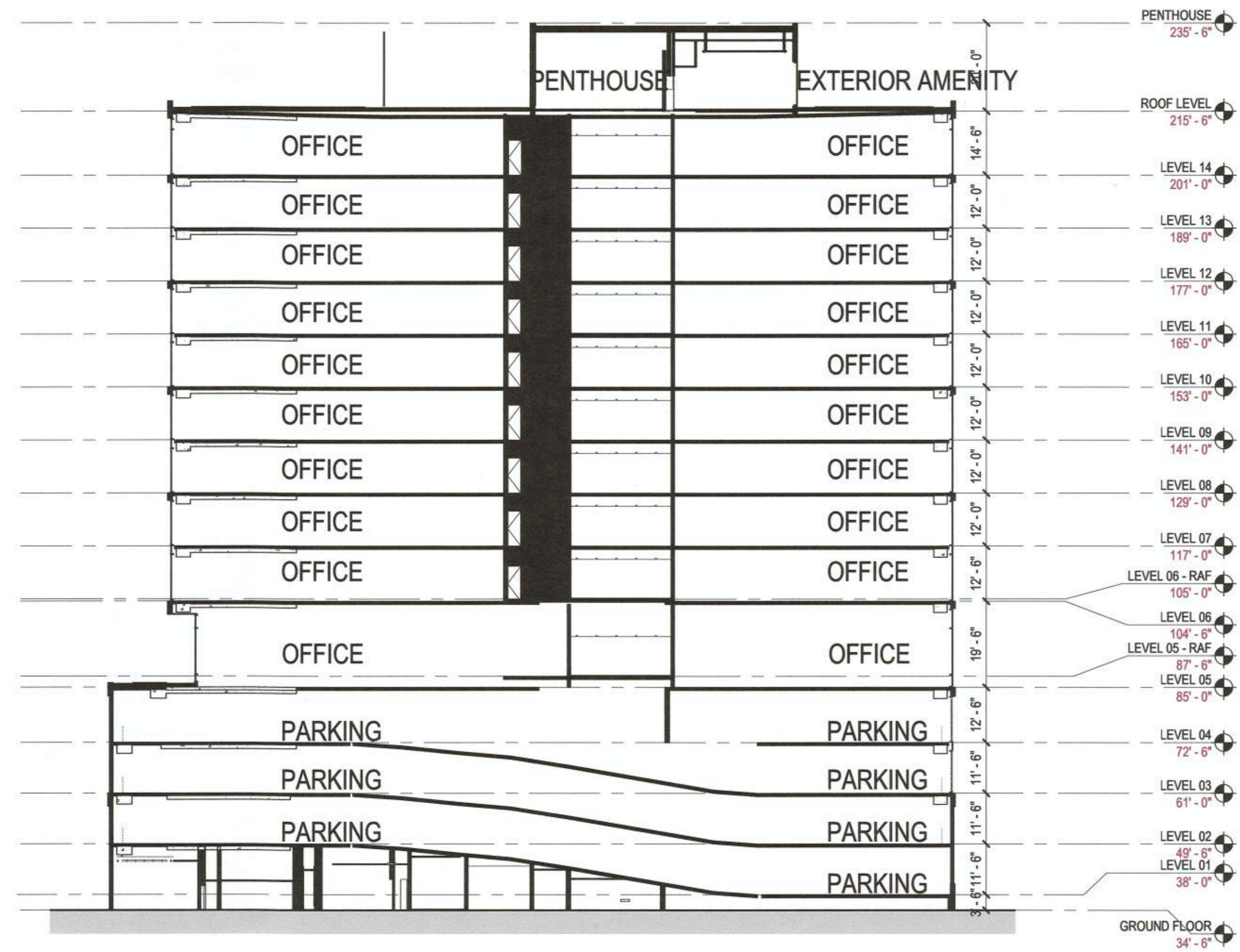
Project Name
 2395 MILL ROAD

Project Number
 009.8974.000

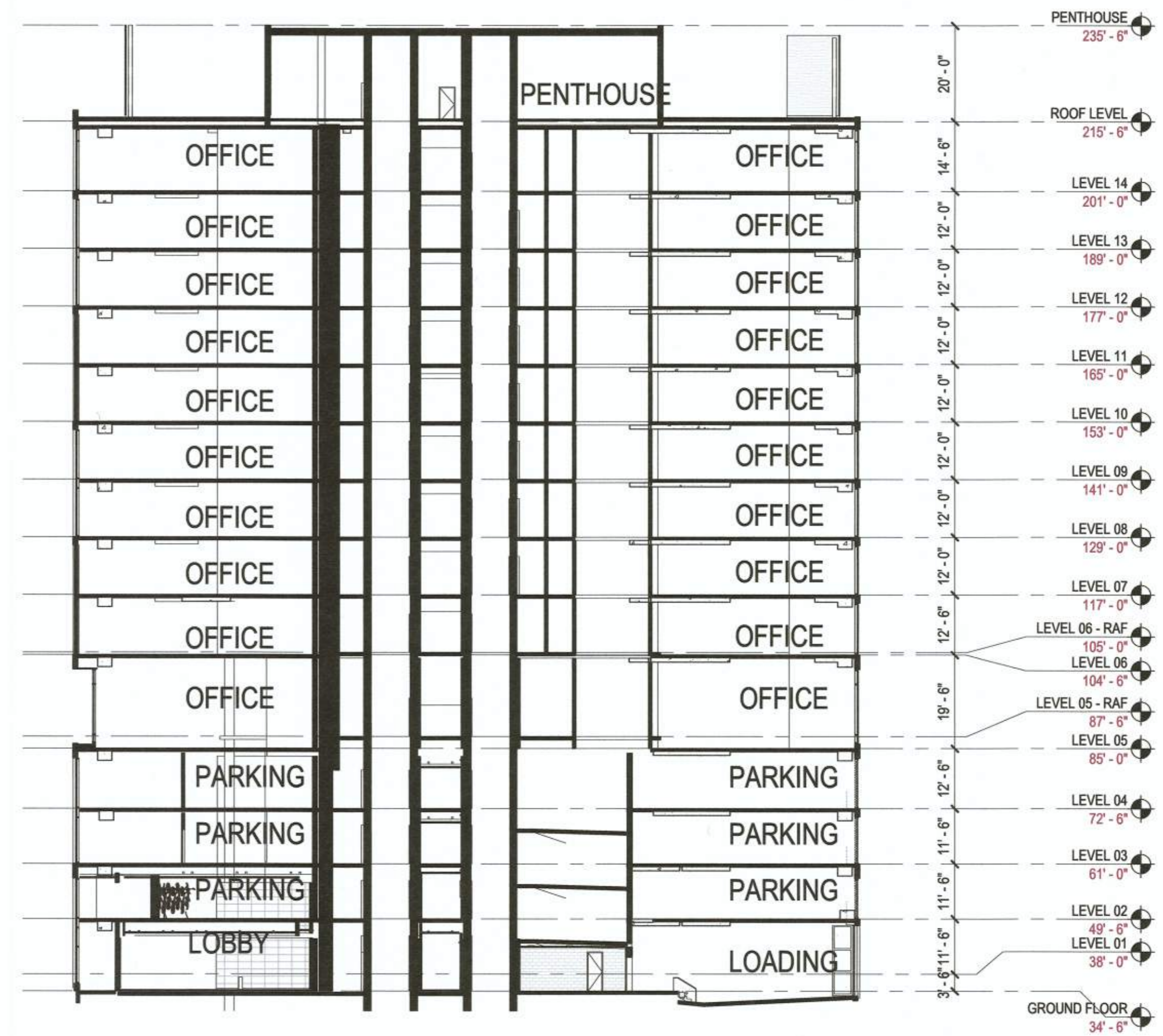
Description
 SECTIONS

Scale
 3/64" = 1'-0"

A104



02 BUILDING SECTION - NORTH-SOUTH
 SCALE: 3/64" = 1'-0"



01 BUILDING SECTION - EAST-WEST
 SCALE: 3/64" = 1'-0"

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

Director: *Harold R. ...* DATE: 11/6/19

Department of Transportation & Environmental Services
 SITE PLAN NO. *...*

Director: *...* DATE: 11/24/19

Chairman, Planning Commission: *...* DATE: 11/6/19

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10.30.2019	MYLAR



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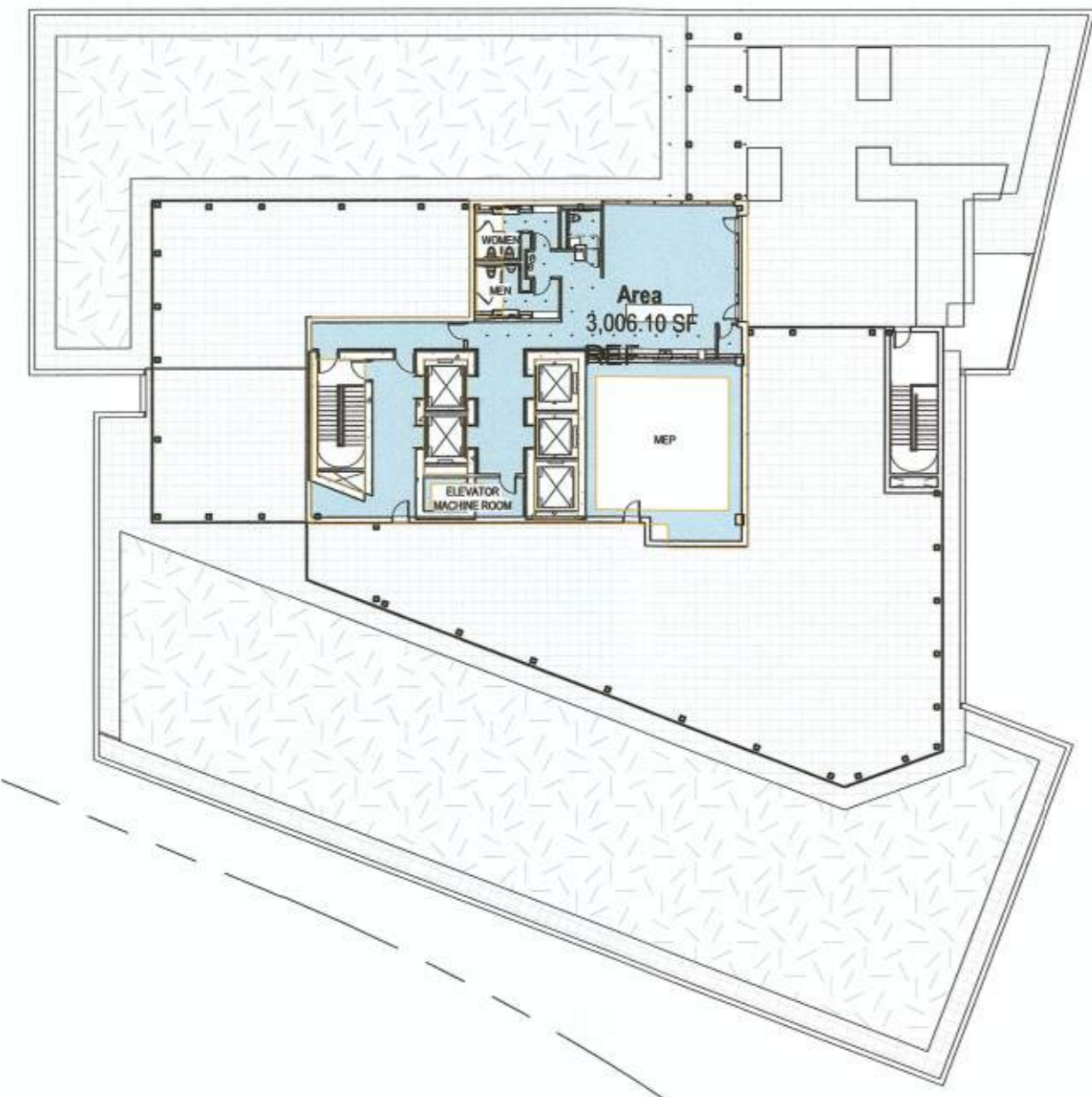
Project Name
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Project Number
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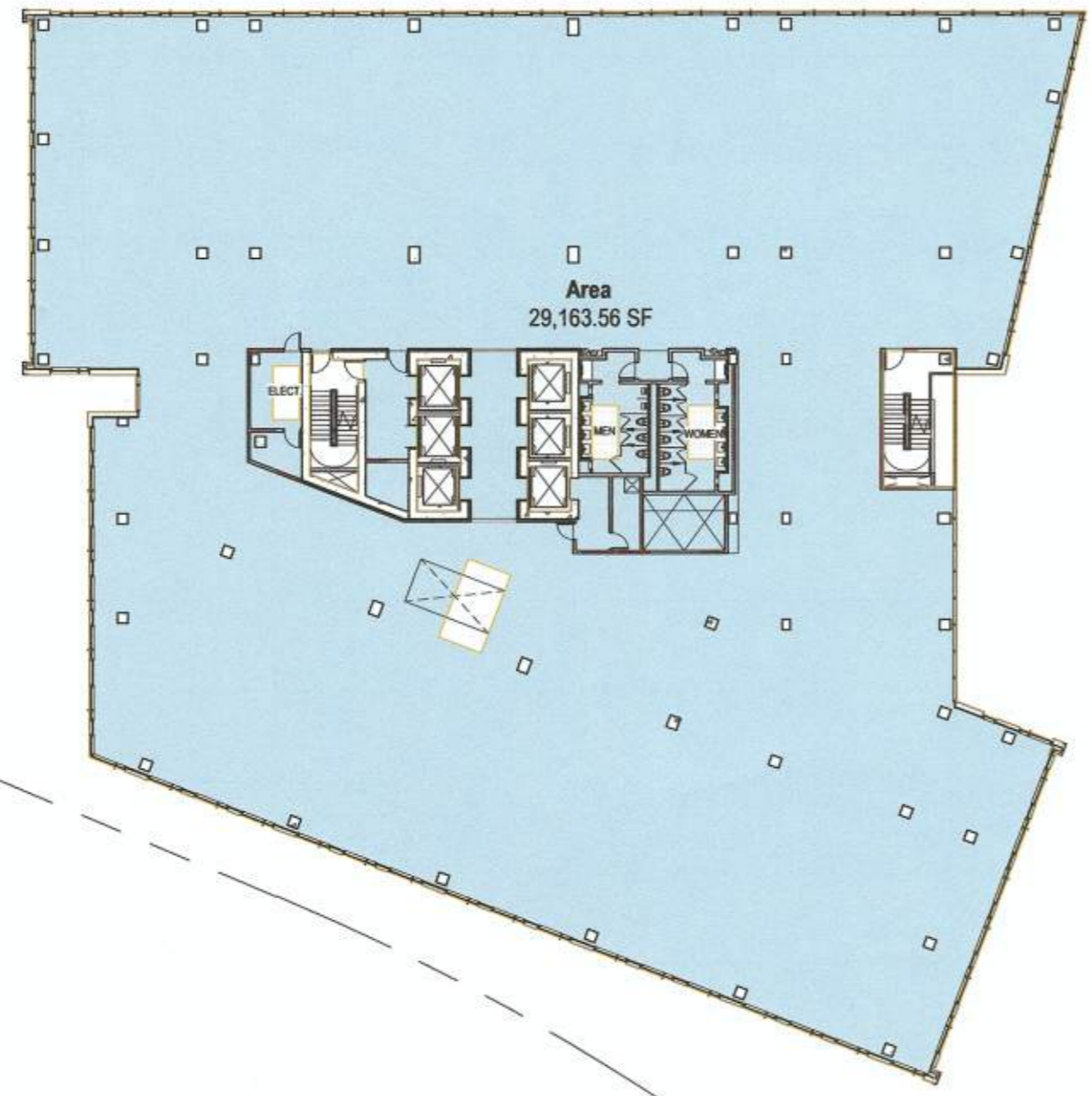
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 AREA PLANS

Scale
 As indicated

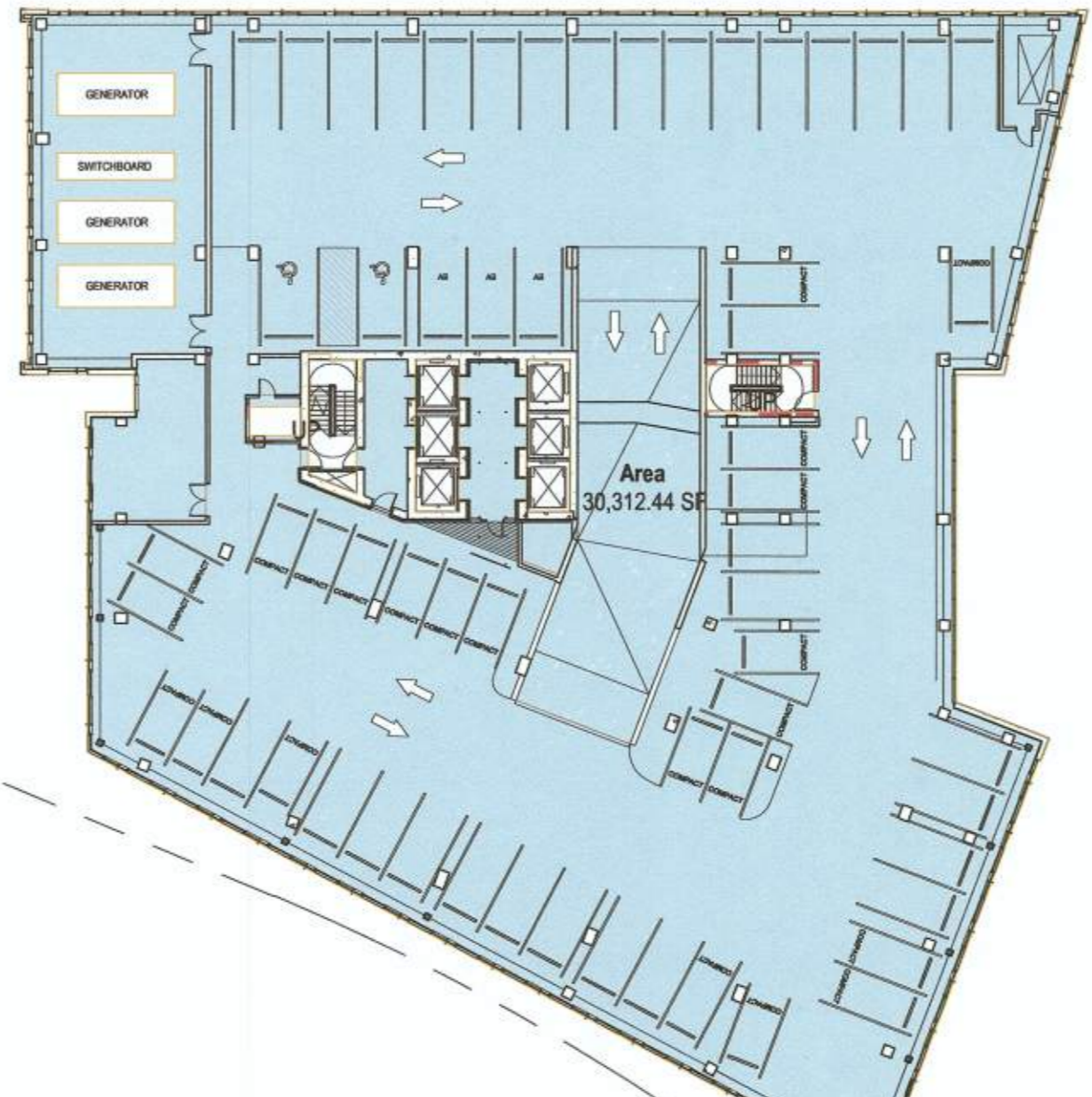
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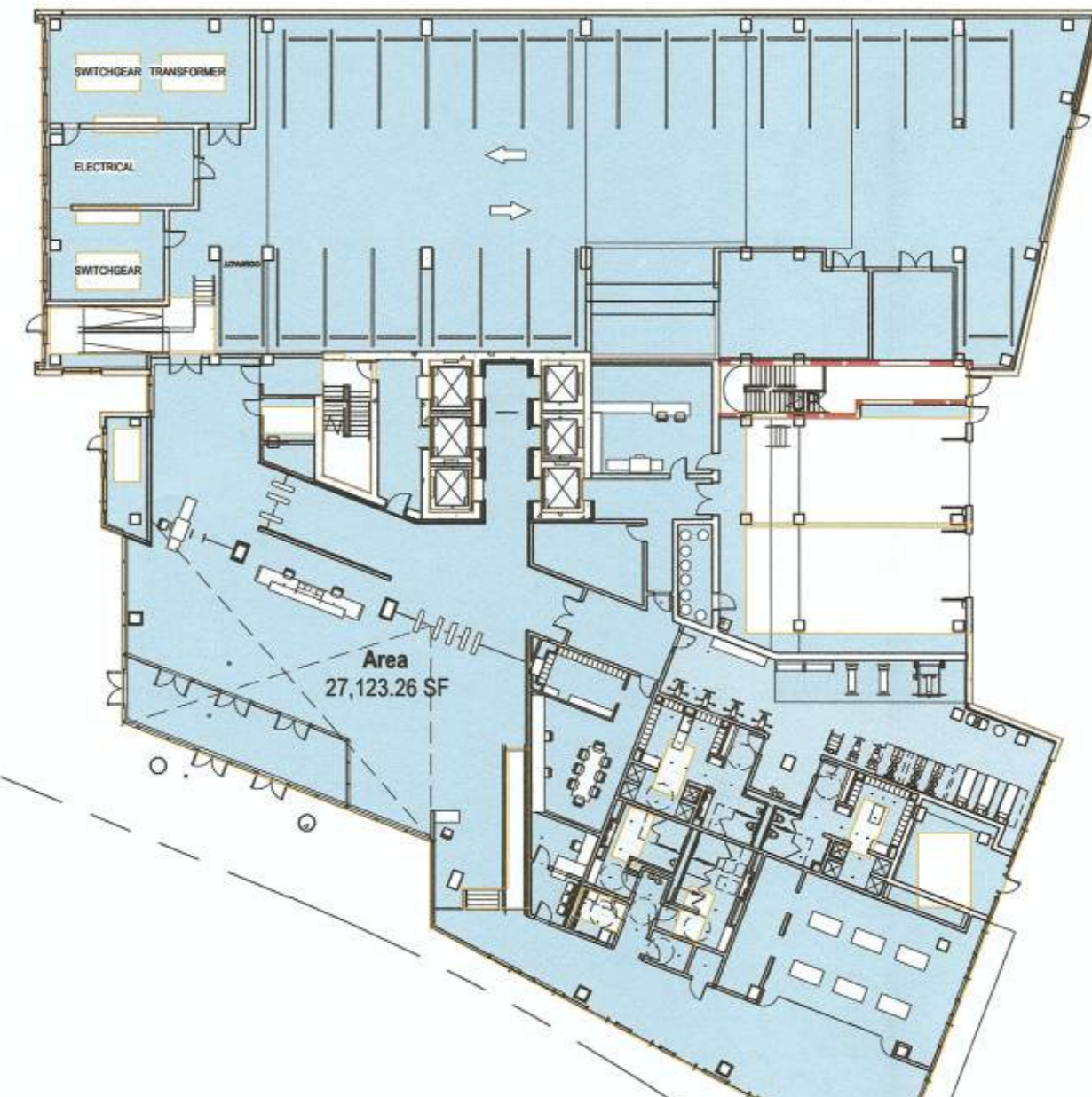
07 PENTHOUSE AREA PLAN (SP)
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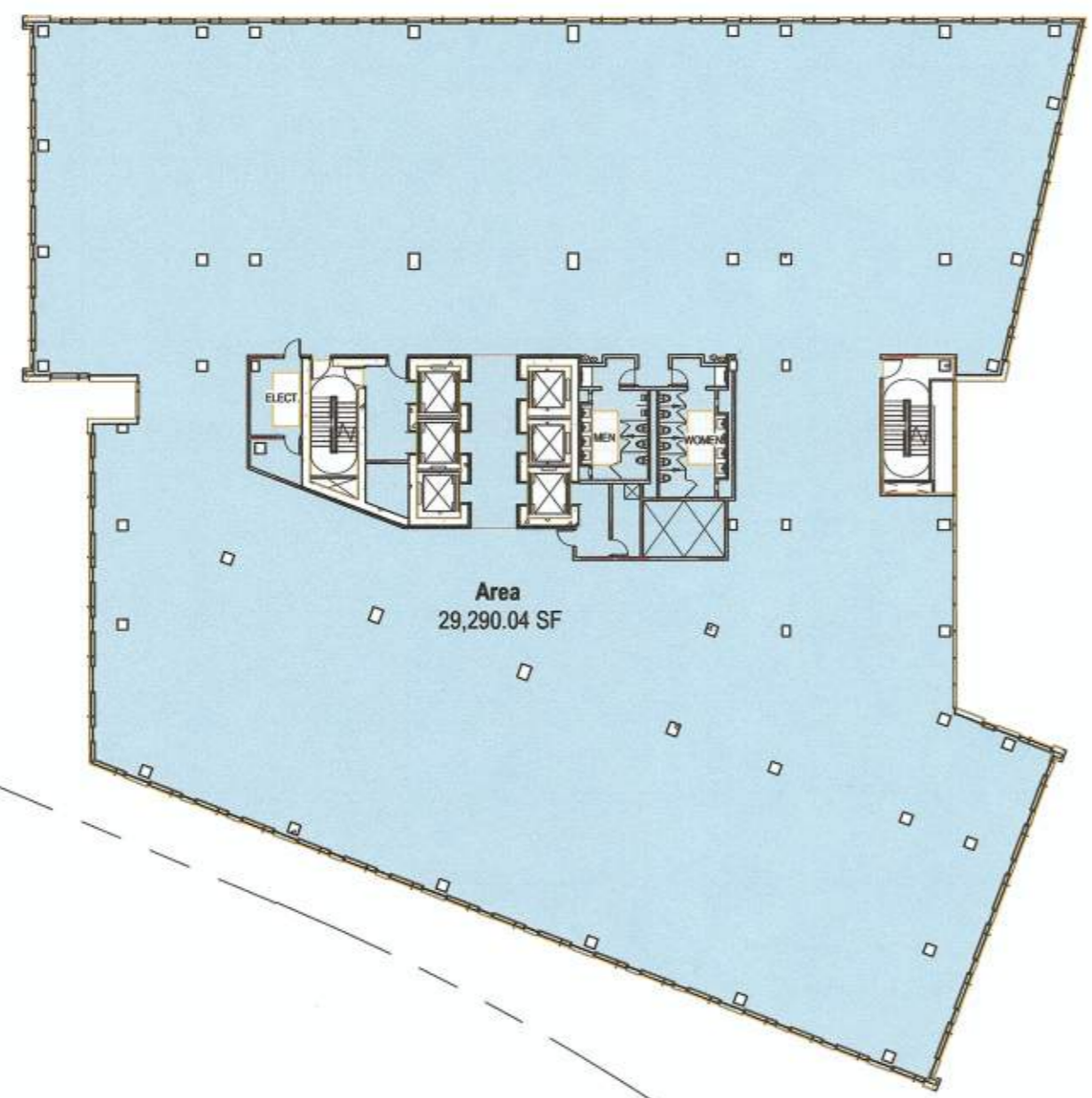
05 LEVEL 06 AREA PLAN (SP)
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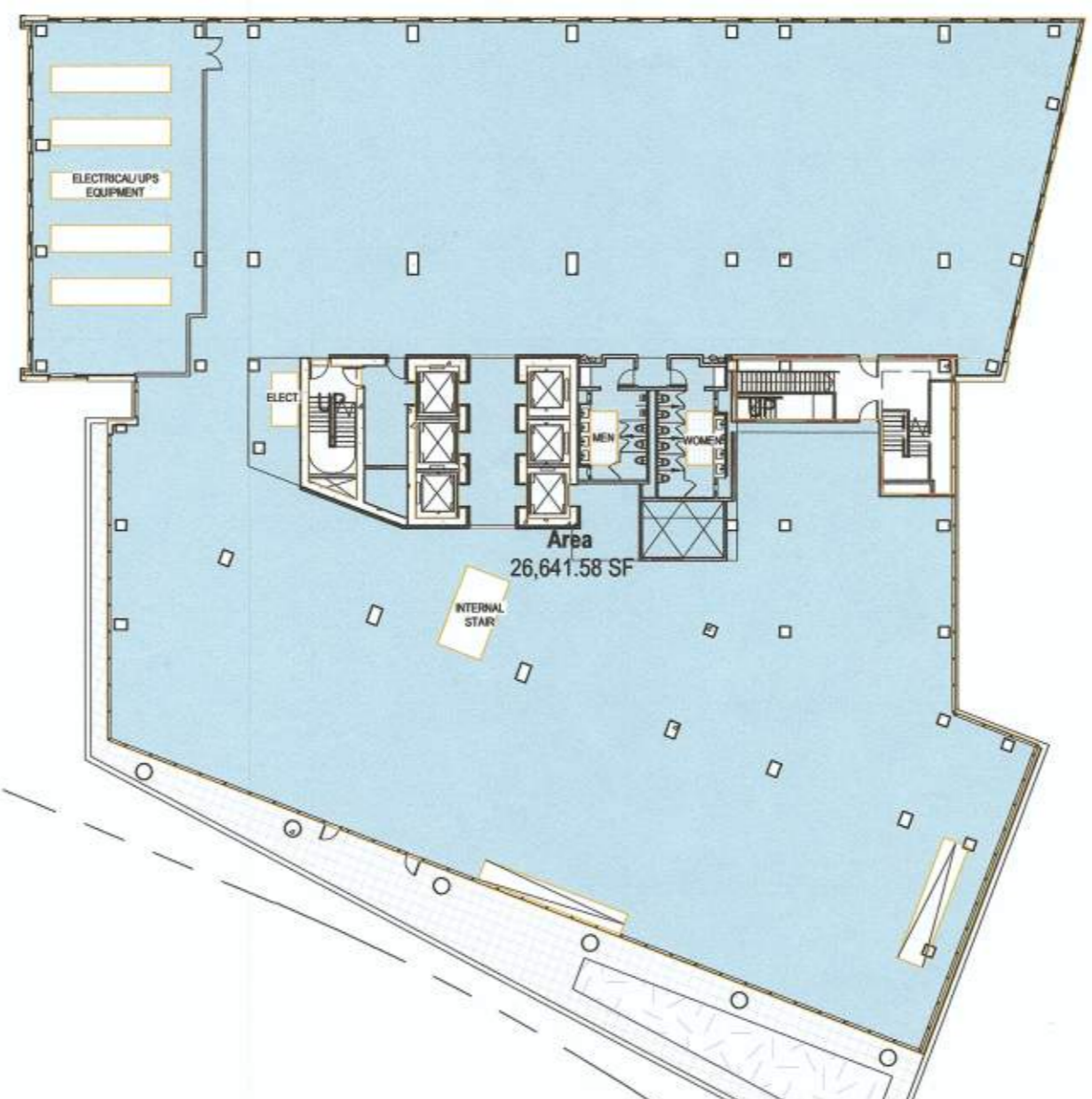
03 PARKING LEVEL 03 AREA PLAN (SP)
 SCALE: 1/32" = 1'-0"



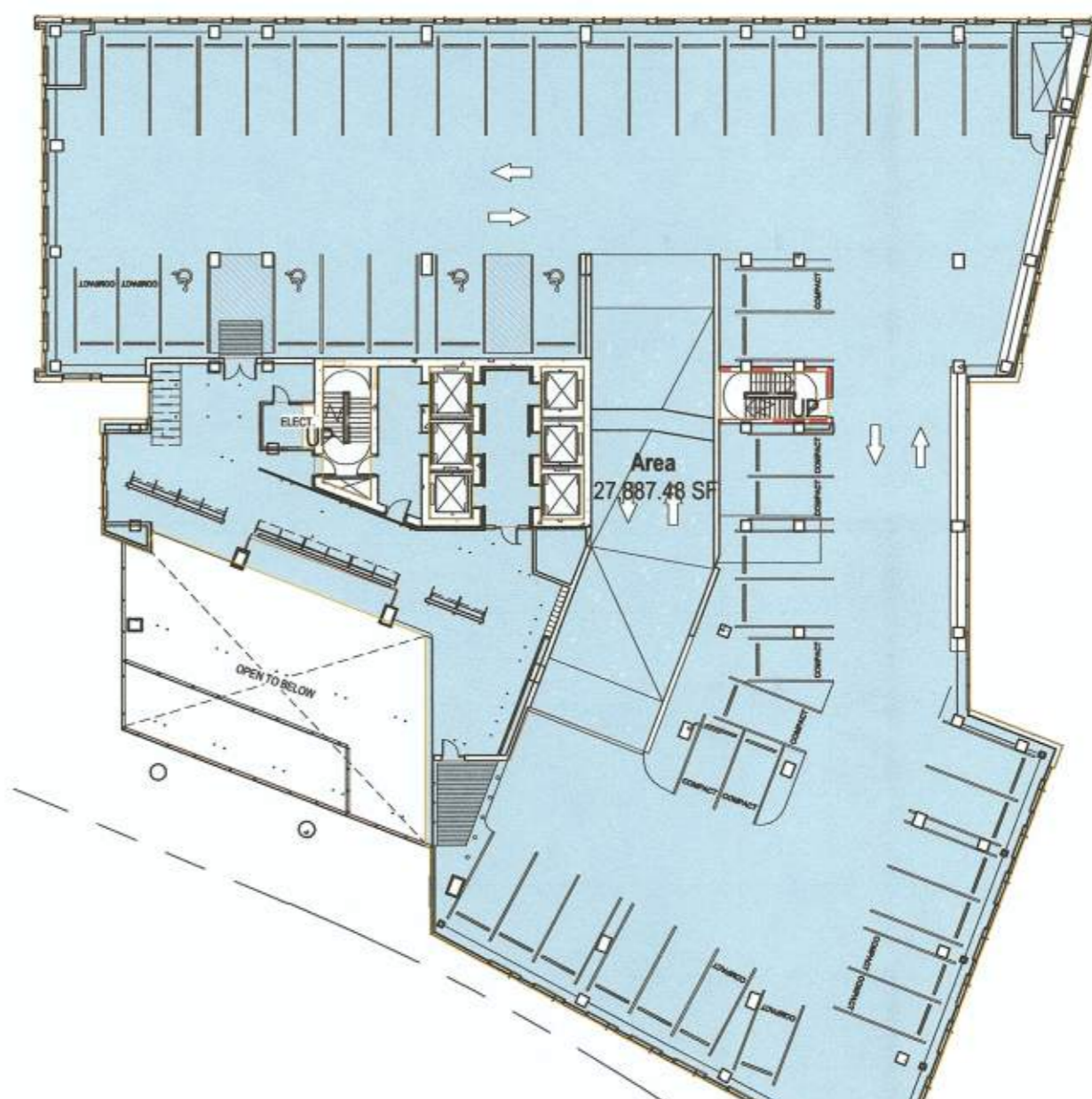
01 GROUND FLOOR AREA PLAN (SP)
 SCALE: 1/32" = 1'-0"



06 LEVEL 07 AREA PLAN (SP)
 SCALE: 1/32" = 1'-0"



04 LEVEL 05 AREA PLAN (SP)
 SCALE: 1/32" = 1'-0"



02 PARKING LEVEL 02 AREA PLAN (SP)
 SCALE: 1/32" = 1'-0"

Area Schedule (Gross Building)		Area Schedule (Net)	
Level	Area	Level	Area
LEVEL 01	31,333.74 SF	LEVEL 01	27,123.26 SF
LEVEL 02	28,795.17 SF	LEVEL 02	27,887.48 SF
LEVEL 03	31,879.04 SF	LEVEL 03	30,312.44 SF
LEVEL 04	31,879.04 SF	LEVEL 04	30,312.44 SF
LEVEL 05	29,081.37 SF	LEVEL 05	28,541.58 SF
LEVEL 06	30,157.10 SF	LEVEL 06	29,163.56 SF
LEVEL 07	30,479.99 SF	LEVEL 07	29,290.04 SF
LEVEL 08	30,479.99 SF	LEVEL 08	29,290.04 SF
LEVEL 09	30,479.99 SF	LEVEL 09	29,290.04 SF
LEVEL 10	30,479.99 SF	LEVEL 10	29,290.04 SF
LEVEL 11	30,479.99 SF	LEVEL 11	29,290.04 SF
LEVEL 12	30,479.99 SF	LEVEL 12	29,290.04 SF
LEVEL 13	30,479.99 SF	LEVEL 13	29,290.04 SF
LEVEL 14	30,479.99 SF	LEVEL 14	29,290.04 SF
PENTHOUSE	4,436.72 SF	PENTHOUSE	3,006.10 SF
	431,402.10 SF		408,767.18 SF

ALEXANDRIA SQUARE FOOTAGE DEFINITION:
 "For properties except for those specified in subsection A. above, the floor area of the building or buildings on a lot or tract or tract of land (whether "main" or "accessory") is the sum of all gross horizontal areas under roof on a lot. These areas shall be measured from the exterior faces of walls or any extended area under roof and are to be measured from the shared lot line in the case of party walls. It shall include all space which is deemed habitable space by the Virginia Uniform Statewide Building Code (USBC) or seven feet or more in height, whichever is less. It shall include all space within an above grade parking garage. This space shall be based on permanent construction whether or not provided with a finished floor or ceiling. Excluded from floor area shall be: (1) Stairs and elevators. The term stairs includes ramps and other similar structures deemed necessary to provide access to persons with disabilities. (2) Floor space used for utilities, which may include accessory water tanks, cooling towers, mechanical and electrical equipment, and any similar construction not susceptible to storage or occupancy (but not including ductwork, pipes, radiators or vents). (3) Lavatories of which only a maximum of 50 square feet of each lavatory can be excluded. The maximum total of excludable area for lavatories shall be no greater than ten percent of gross floor area. (4) Basements (except shall be included for purposes of calculating the off-street parking requirements pursuant to Article VIII). (5) Architectural features up to a maximum projection of 30 inches extending beyond an exterior face of a building wall or column. (6) Space under open balconies (decks) and similar structures projecting from the first floor or below. (7) Space under open balconies and similar structures projecting from a floor above the first floor up to a maximum of depth of eight feet. (8) Retractable awnings not enclosed by a wall, pole, or fence on three sides and that do not use poles or posts for structural support. (9) Loading spaces of which only a maximum of 850 square feet for each required loading space per section 8-200(B)(2) can be excluded. (10) Any floor area that was used as a private or public garage prior to March 17, 2018 with a height of less than seven feet six inches. (11) Floor area excluded as part of a development site plan that was approved prior to March 17, 2018 within a Coordinated Development District. (12) Sheds and other small accessory buildings in accordance with section 7-202(B)(4). (13) Porticos and portions of porches up to eight feet in depth located on the first or ground floor without second-story enclosed construction above the portico or porch."

LEGEND
 INCLUDED IN NSF CALCULATION

ESI Peer Review

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

Matthew Fox KM DIRECTOR DATE 11/6/19

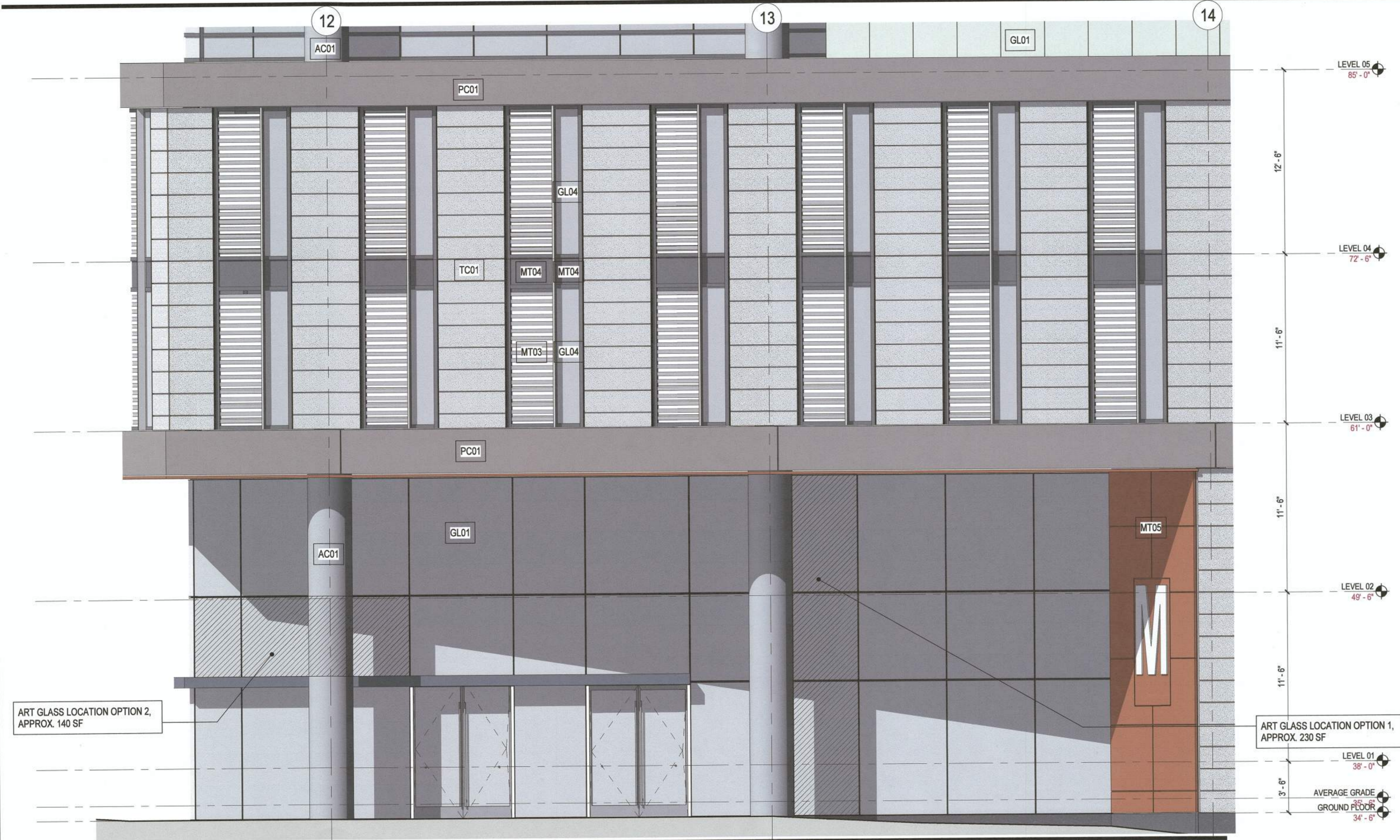
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. *[Signature]* DATE 11/2/19

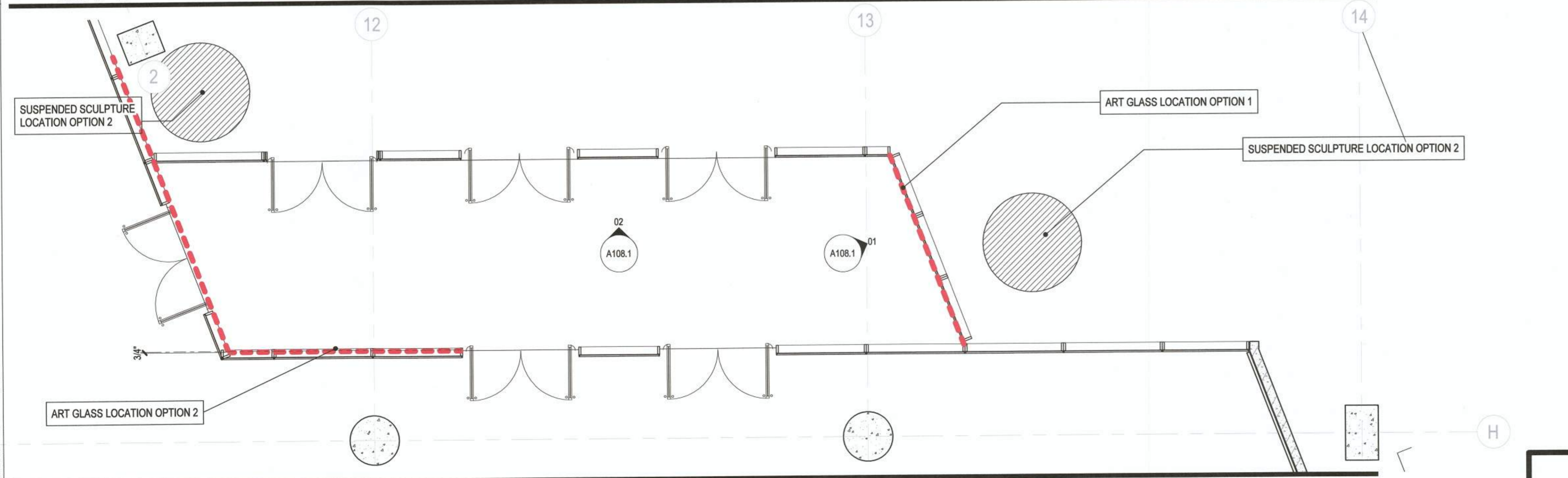
Alvin W. Hook CHAIRMAN, PLANNING COMMISSION DATE 11/6/19

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



01 MAIN ENTRY ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"

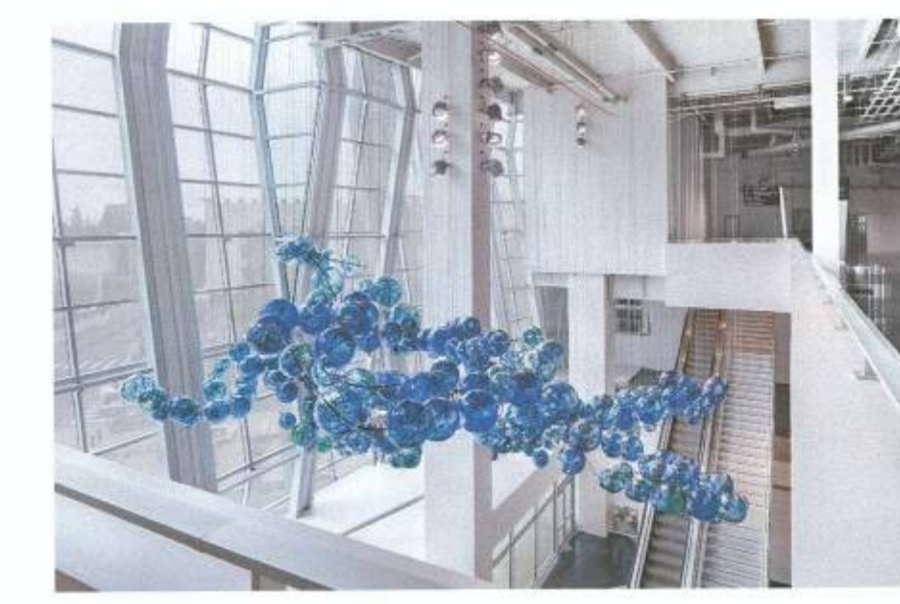


02 MAIN ENTRY ENLARGED PLAN (SP)
SCALE: 1/4" = 1'-0"

DSUP Condition #92
Eisenhower Avenue Proposed Public Art Process
September 11, 2019

The Washington Metropolitan Area Transit Authority (WMATA) has a long-standing history and with incorporating visual arts its projects and well-established processes for working with arts professionals, architects, engineers, community representatives, jurisdictional arts councils. We are excited to include public art into the project and will leverage our existing relationships with the City of Alexandria and other local arts organizations into the process. Laurent Odde, Artist Program Manager, will lead the public art process and as is typical with our other projects, he has already reached out to the City of Alexandria Office of the Arts for early engagement in the process. For the Eisenhower Avenue project, we have identified four potential locations for installation of public art. Two locations are located outside of the building and two locations are in the lobby of the building. The selection of the final location(s) is subject to several factors including but not limited to medium, artist availability and schedule. WMATA is considering several mediums includes Glazing, Suspended Sculpture, Murals and decommissioned rail cars. Some examples of the mediums being considered are below. The final medium(s) are also subject to several factors including final location, medium and schedule.

By the end of 2019, WMATA will work with the developer to prioritize the medium, issue a Call to Artists and convene an evaluation panel. The City of Alexandria Office of the Arts and representative from the art community will be invited to participate on the panel. By Spring 2020, the panel will form a short list. Following the decision on the short list, the General Manager will select the finalist. The finalist will be required to create the artwork in time for installation prior to Certificate of Final Occupancy.



Example of Suspended Sculpture - Animate 2 story, lobby space with large, suspended sculpture. Artwork to be visible from inside and outside of building during at night.



Example of Glazing - Introduce art glazing on the ground floor facade. Artwork to be visible from inside and outside of building during both day and night.

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Date	Description
07.10.2019	SITE PLAN SUBMISSION
08.15.2019	2ND FDSUP SUBMISSION
09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR



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Project Name
2395 MILL ROAD

Project Number
009.8974.000

Description
MAIN ENTRY VIEWS

Scale
1/4" = 1'-0"

A108

REFERENCE SHEET A201 FOR FINISH SCHEDULE

APPROVED 2018-0028
SPECIAL USE PERMIT NO.
DEPARTMENT OF PLANNING & ZONING

Matthew For KM 11/6/19
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. *11/6/17*
DIRECTOR DATE

Matthew Heak 11/6/19
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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Date	Description
10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR



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**NOT FOR
 CONSTRUCTION**

Project Name

2395 MILL ROAD

Project Number

009.8974.000

Description

MAIN ENTRY VIEWS - ELEVATIONS

Scale

1/4" = 1'-0"

A108.1

12

13

ART GLASS LOCATION OPTION 2,
 APPROX. 140 SF

ART GLASS LOCATION OPTION 1

LEVEL 02
 49' - 6"

LEVEL 02
 49' - 6"

LEVEL 01
 38' - 0"

LEVEL 01
 38' - 0"

AVERAGE GRADE
 35' - 6"

AVERAGE GRADE
 35' - 6"

GROUND FLOOR
 34' - 6"

GROUND FLOOR
 34' - 6"

02 LOBBY VESTIBULE NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

01 LOBBY VESTIBULE EAST ELEVATION
 SCALE: 1/4" = 1'-0"

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Date	Description
07.10.2019	SITE PLAN SUBMISSION
08.15.2019	2ND FDSUP SUBMISSION
09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION



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Project Name

2395 MILL ROAD

Project Number

009.8974.000

Description

ENLARGED ELEVATIONS - FACADES

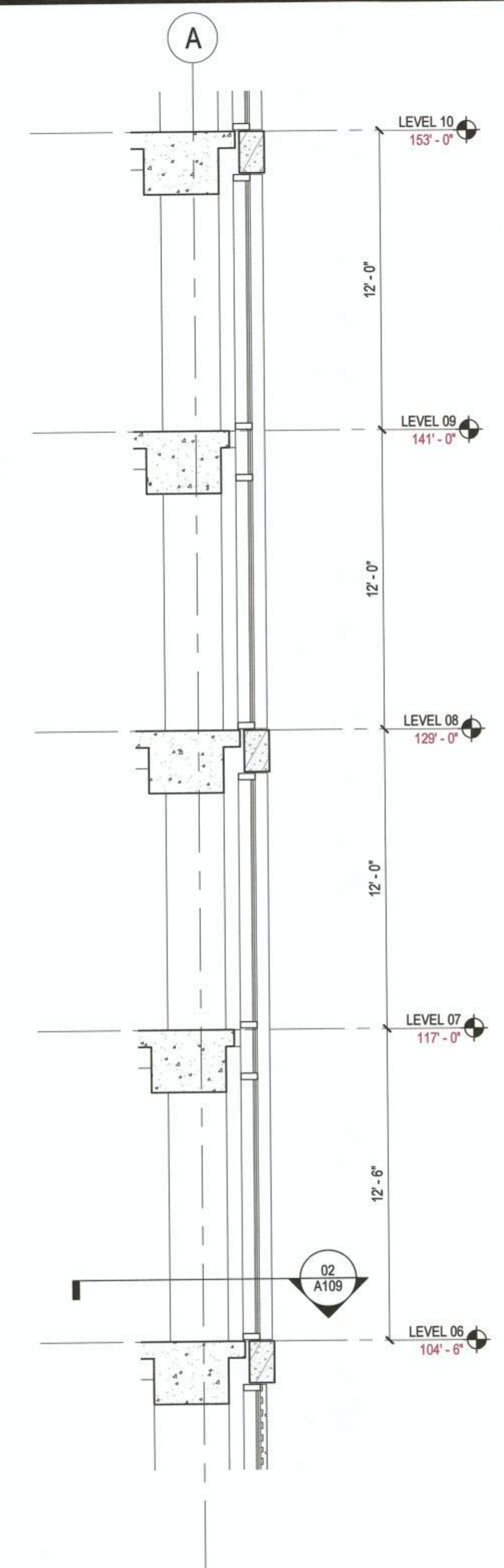
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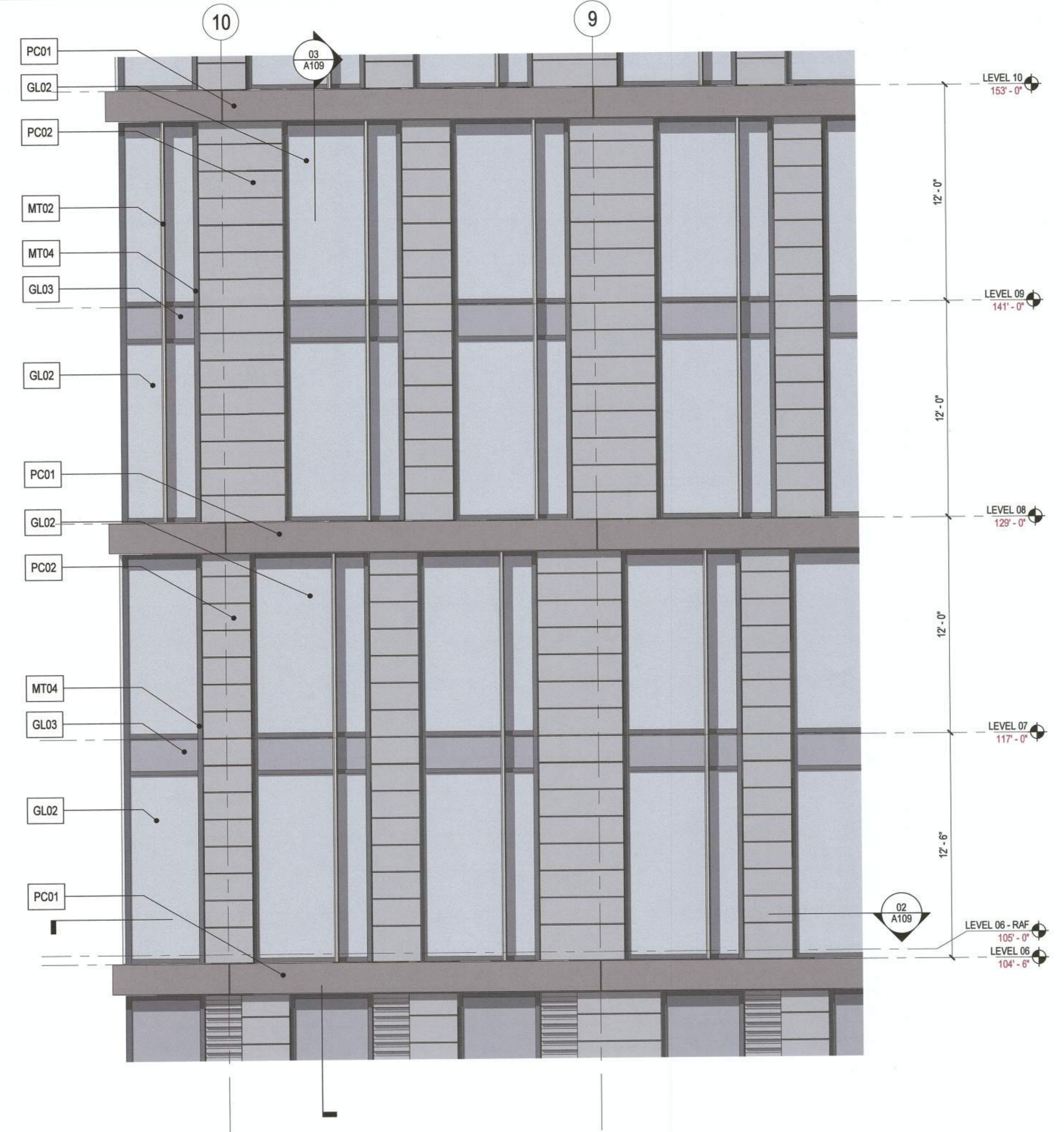


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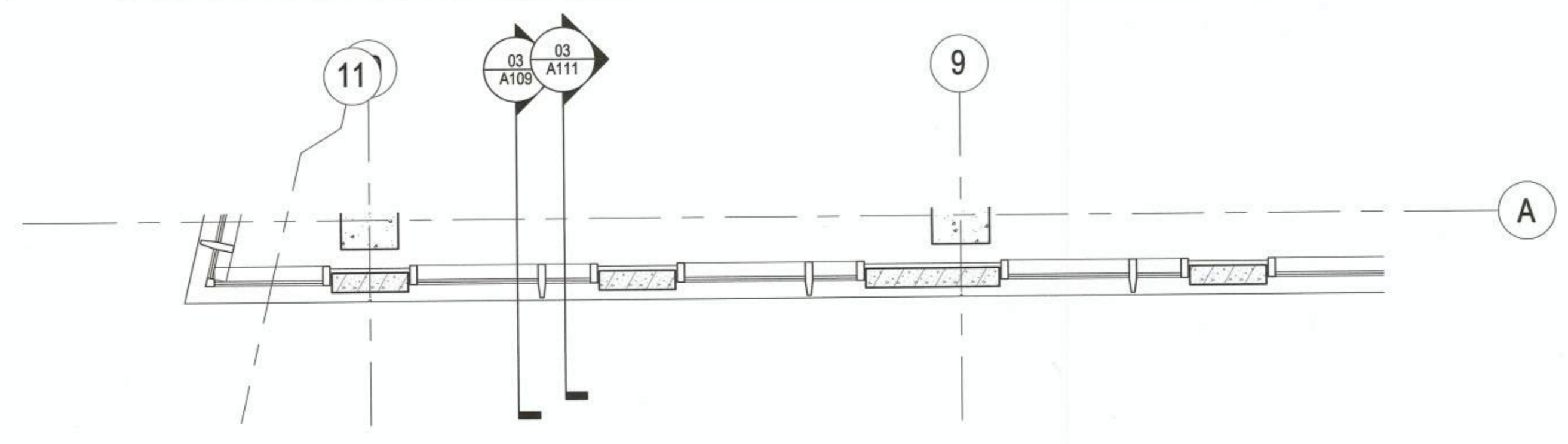
© 2015 Gensler



03 WALL TYPE A - ENLARGED SECTION
 SCALE: 1/4" = 1'-0"



01 WALL TYPE A - ENLARGED ELEVATION
 SCALE: 1/4" = 1'-0"



02 WALL TYPE A - ENLARGED PLAN
 SCALE: 1/4" = 1'-0"

REFERENCE SHEET A201 FOR FINISH SCHEDULE

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR: [Signature] DATE: 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. [Signature] DATE: 4/22/19
 CHAIRMAN, PLANNING COMMISSION: [Signature] DATE: 11/6/19
 DATE RECORDED: _____
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10/30/2019 2:36:07 PM \\gensler-ar\projects\Revit\Users\kristen.27432\Architecture - 009.8974.001 - Base Building - v2018_Kristen_Weller@gensler.com.rvt

Date	Description
07.10.2019	SITE PLAN SUBMISSION
08.15.2019	2ND FDSUP SUBMISSION
09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION



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Project Name

2395 MILL ROAD

Project Number

009.8974.000

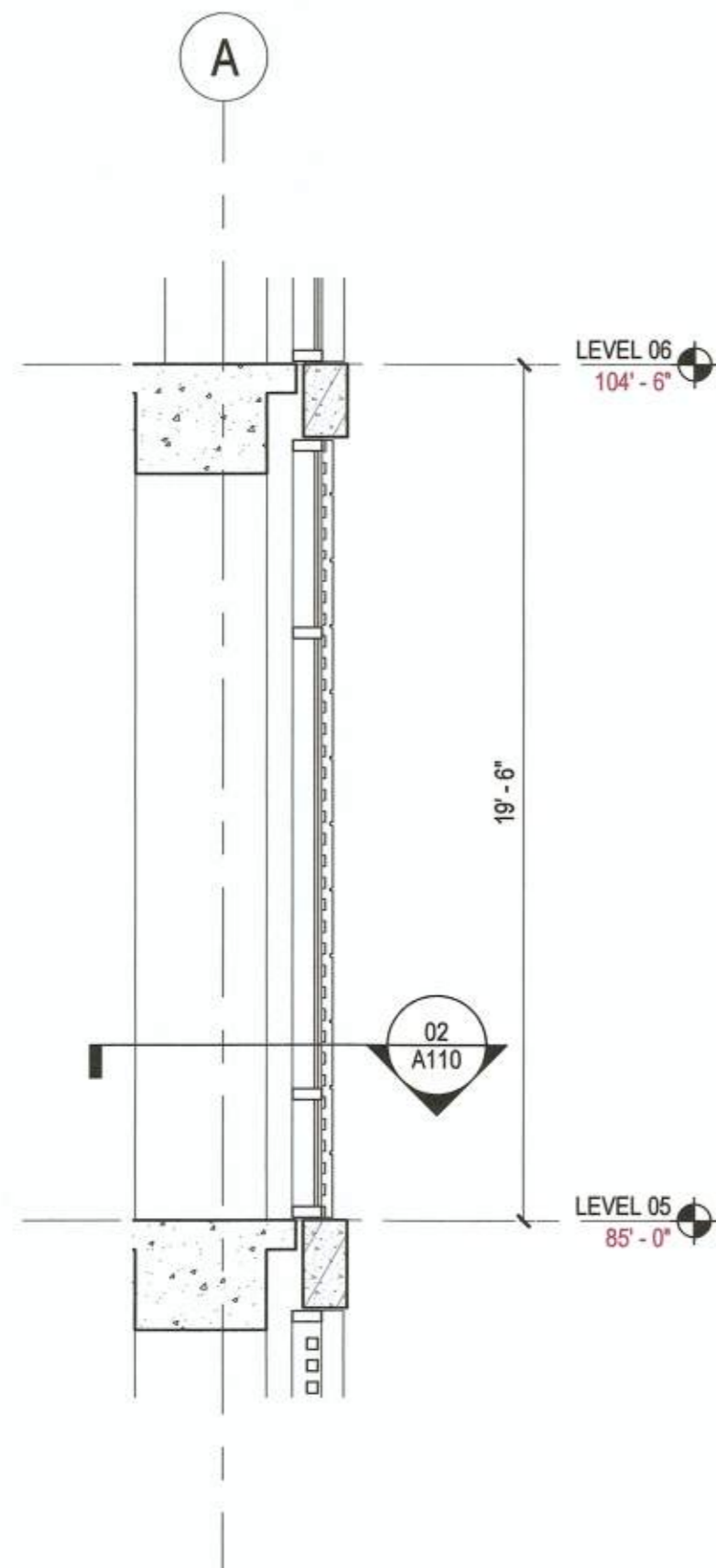
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ENLARGED ELEVATIONS - FACADES

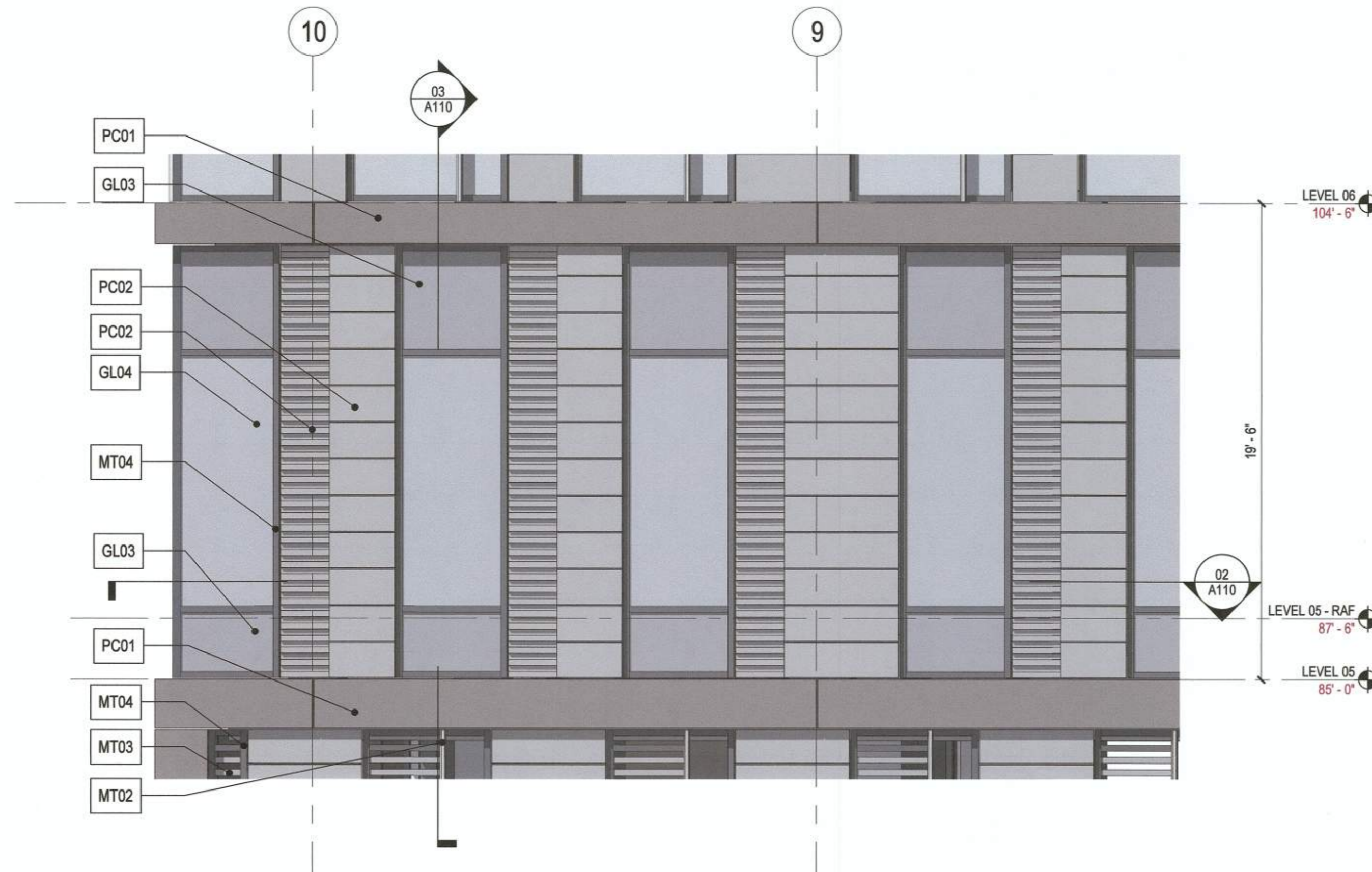
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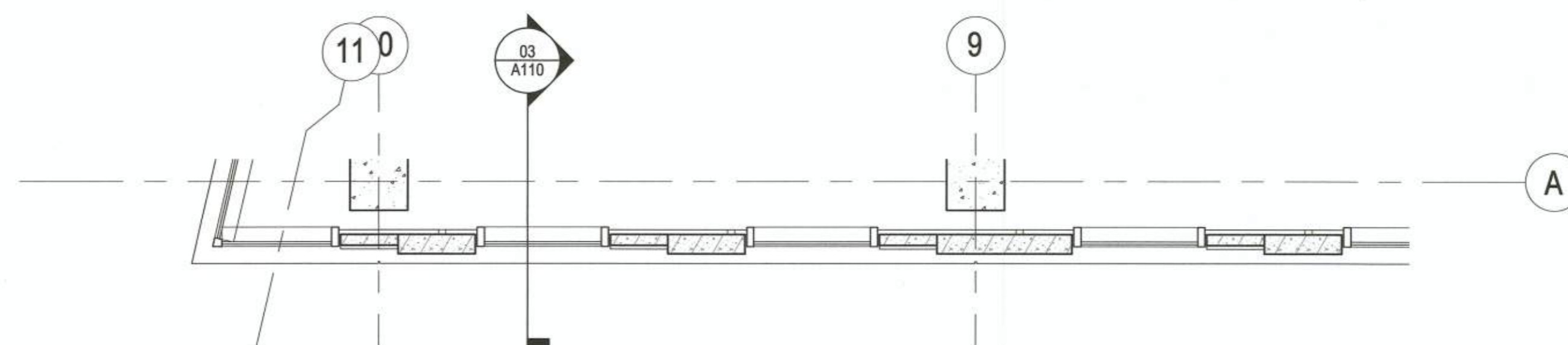
A110



03 WALL TYPE B - ENLARGED SECTION
 SCALE: 1/4" = 1'-0"



01 WALL TYPE B - ENLARGED ELEVATION
 SCALE: 1/4" = 1'-0"



02 WALL TYPE B - ENLARGED PLAN
 SCALE: 1/4" = 1'-0"

REFERENCE SHEET A201 FOR FINISH SCHEDULE

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
 [Signature] DIRECTOR DATE 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. [Signature] DATE 11/6/19
 [Signature] CHAIRMAN, PLANNING COMMISSION DATE 11/6/19
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Date	Description
07.10.2019	SITE PLAN SUBMISSION
08.15.2019	2ND FDSUP SUBMISSION
09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION



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Project Name
 2395 MILL ROAD

Project Number
 009.8974.000

Description
 ENLARGED ELEVATIONS - FACADES

Scale
 1/4" = 1'-0"

A112

REFERENCE SHEET A201 FOR FINISH SCHEDULE

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

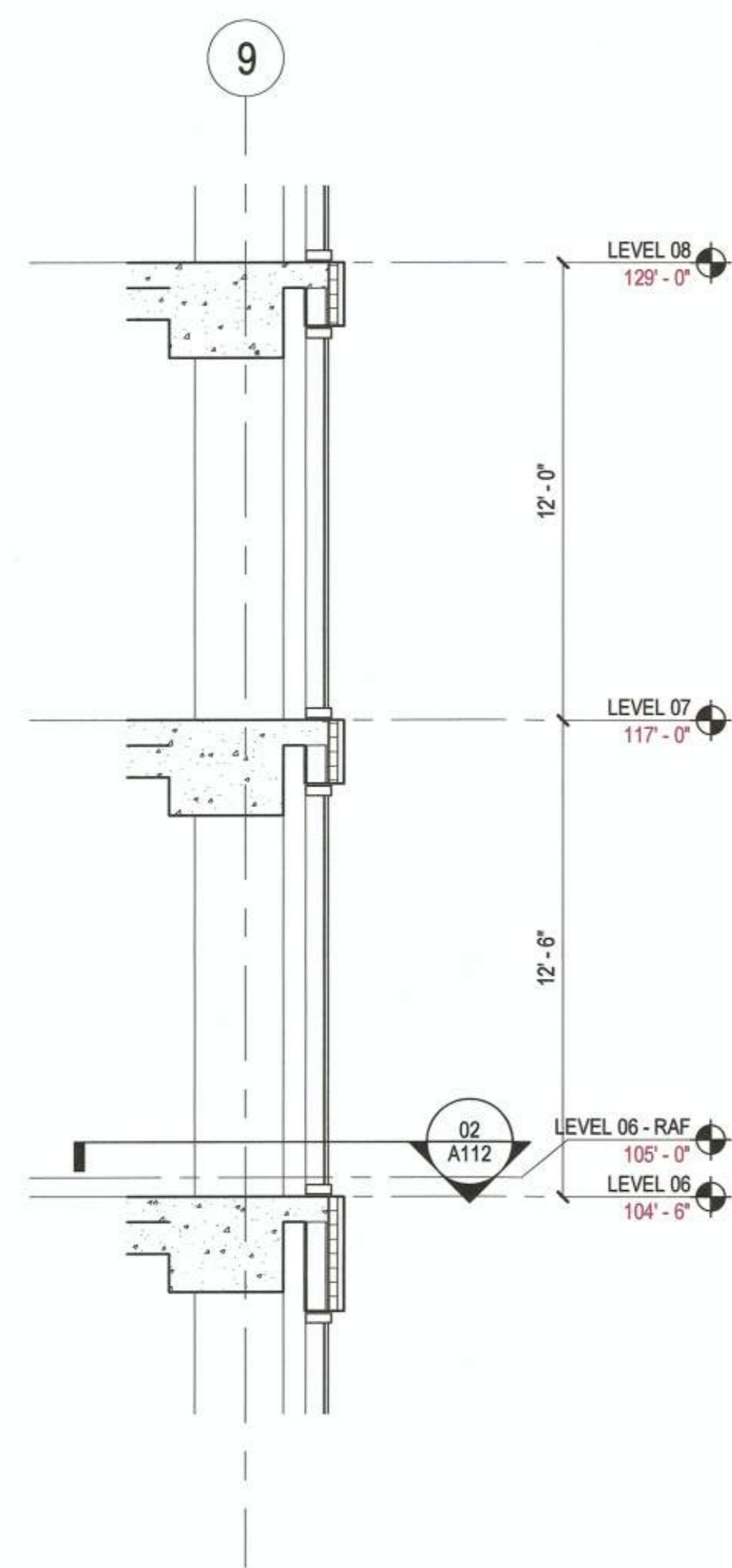
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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. [Signature] DATE: 11/26/19

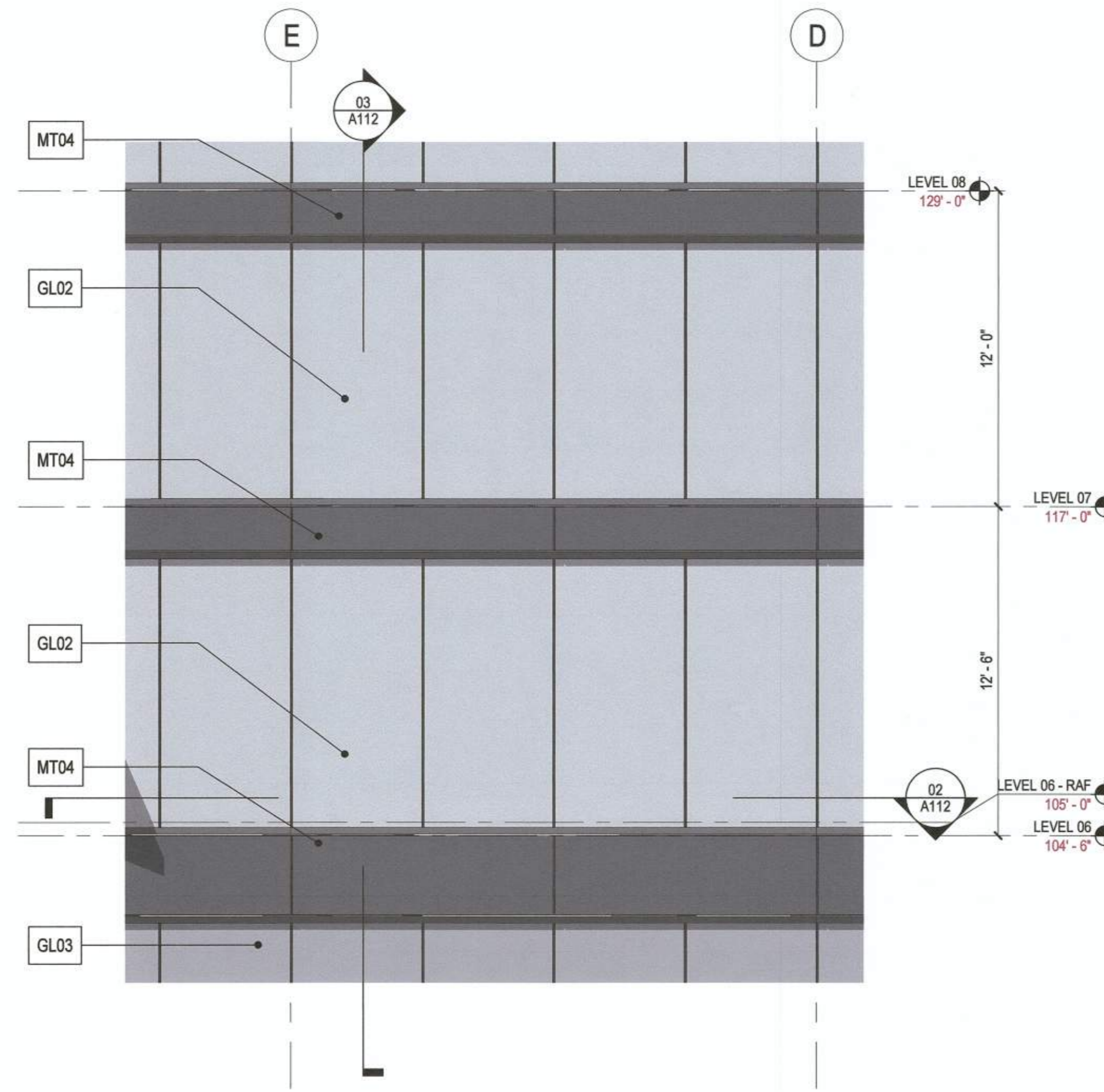
Chairman, Planning Commission: [Signature] DATE: 11/6/19

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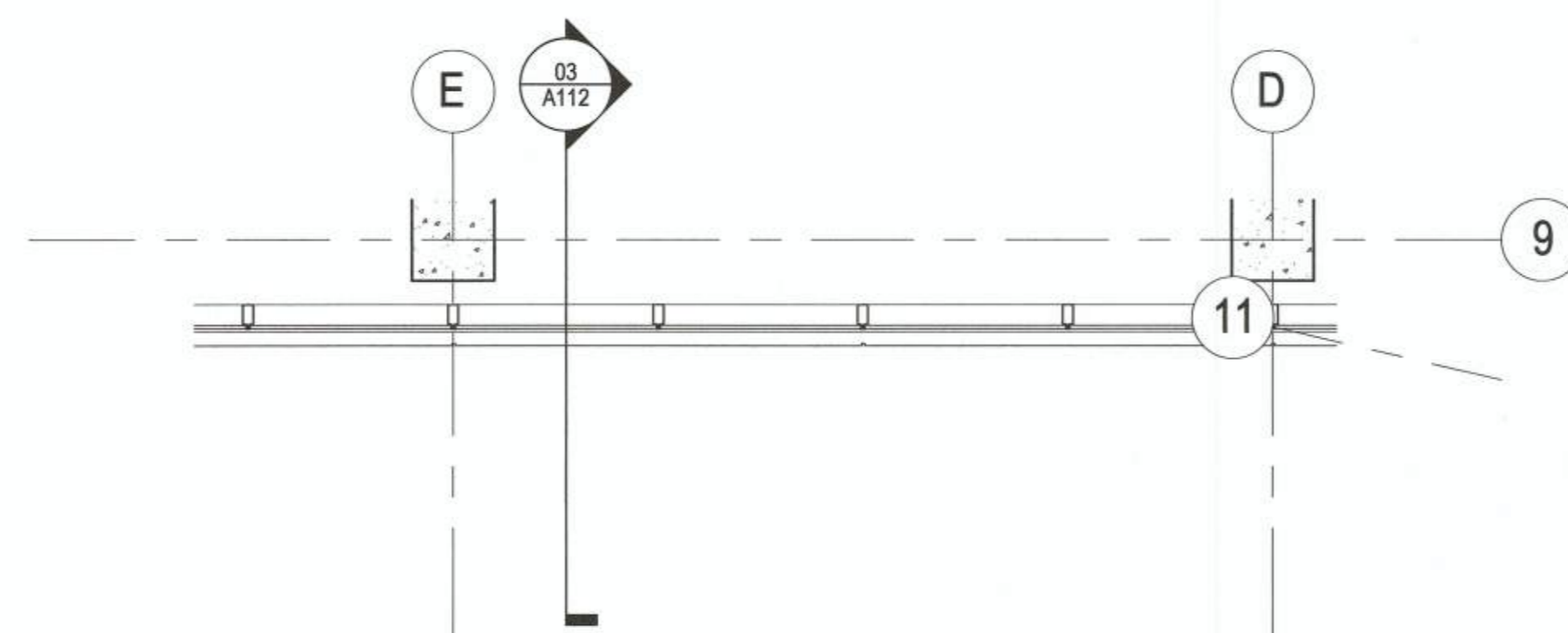
ESI
 Peer Review



03 WALL TYPE D - ENLARGED SECTION
 SCALE: 1/4" = 1'-0"



01 WALL TYPE D - ENLARGED ELEVATION
 SCALE: 1/4" = 1'-0"



02 WALL TYPE D - ENLARGED PLAN
 SCALE: 1/4" = 1'-0"

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Date	Description
07.10.2019	SITE PLAN SUBMISSION
08.15.2019	2ND FDSUP SUBMISSION
09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION



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NOT FOR CONSTRUCTION

Project Name
 2395 MILL ROAD

Project Number
 009.8974.000

Description
 ENLARGED ELEVATIONS - FACADES

Scale
 1/4" = 1'-0"

A113

REFERENCE SHEET A201 FOR FINISH SCHEDULE

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

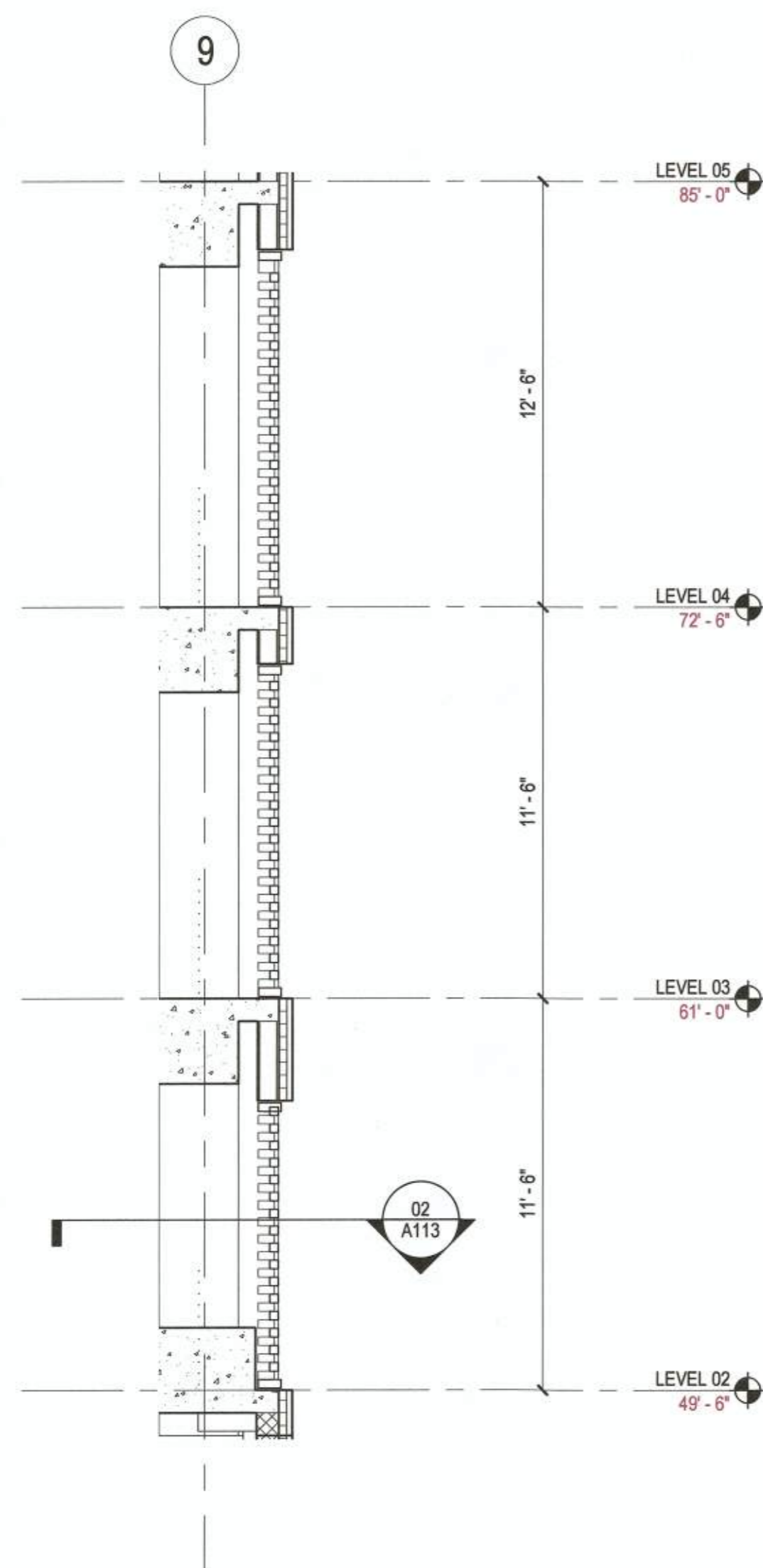
Theresa S. [Signature] 11/6/19
 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. [Signature] 11/6/19
 DIRECTOR DATE

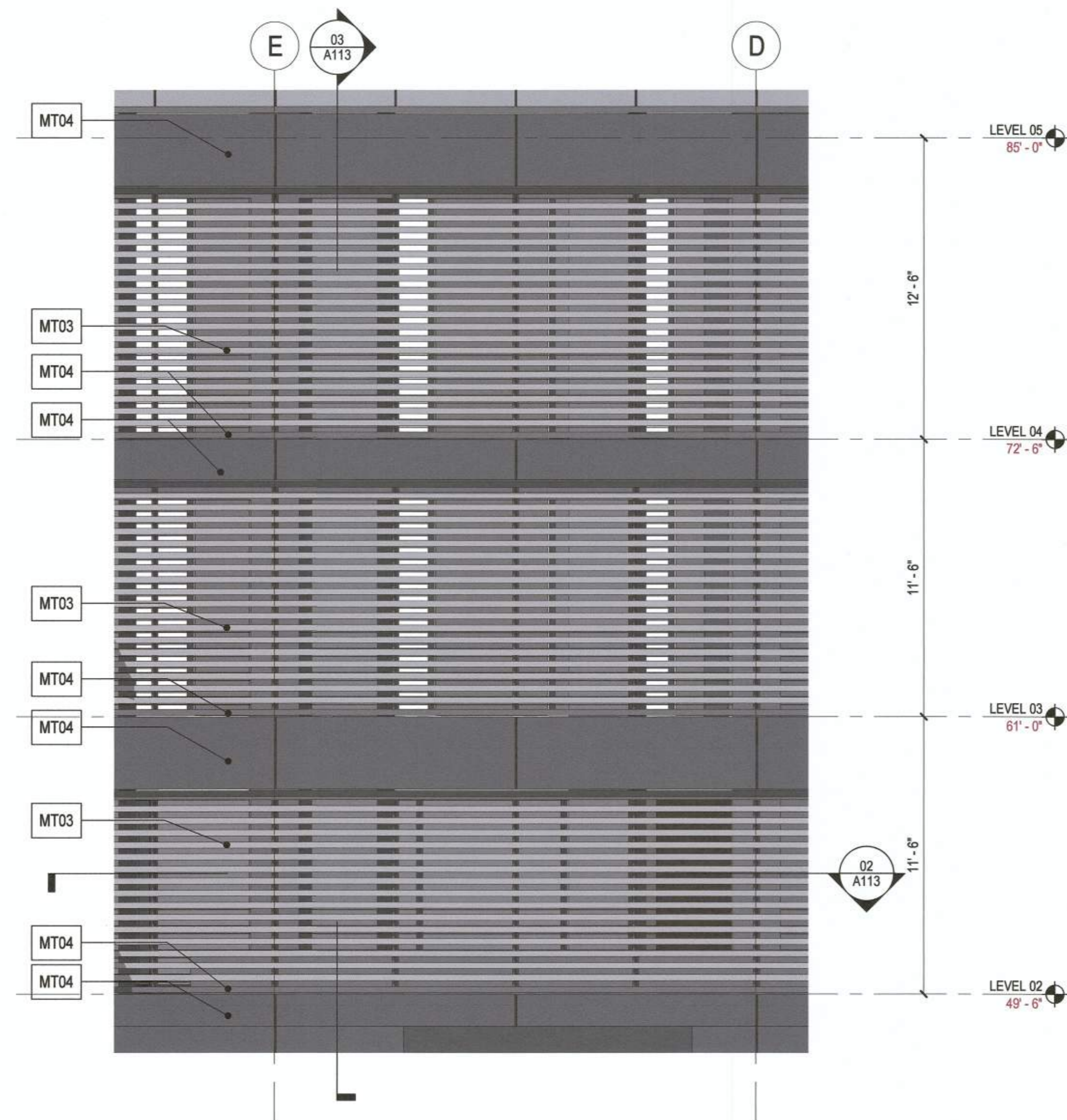
Theresa S. [Signature] 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

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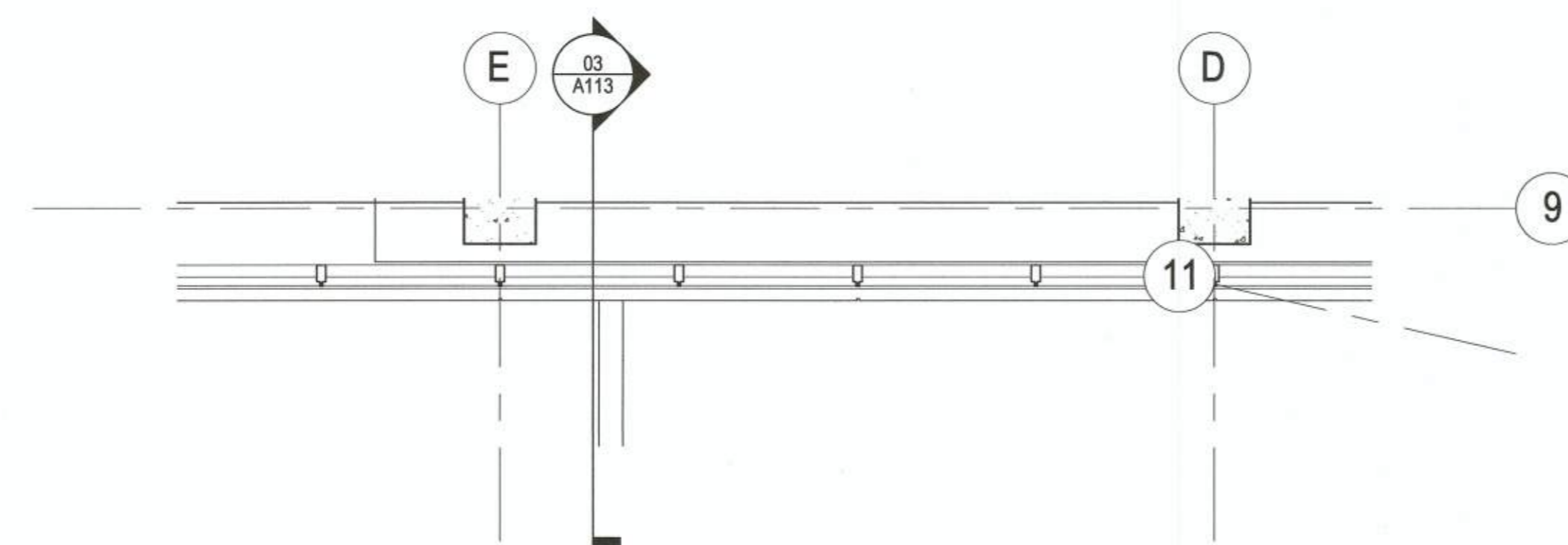
ESI
 Peer Review



03 WALL TYPE E - ENLARGED SECTION
 SCALE: 1/4" = 1'-0"



01 WALL TYPE E - ENLARGED ELEVATION
 SCALE: 1/4" = 1'-0"



02 WALL TYPE E - ENLARGED PLAN
 SCALE: 1/4" = 1'-0"

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Date	Description
07.10.2019	SITE PLAN SUBMISSION
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10.03.2019	4TH FDSUP SUBMISSION



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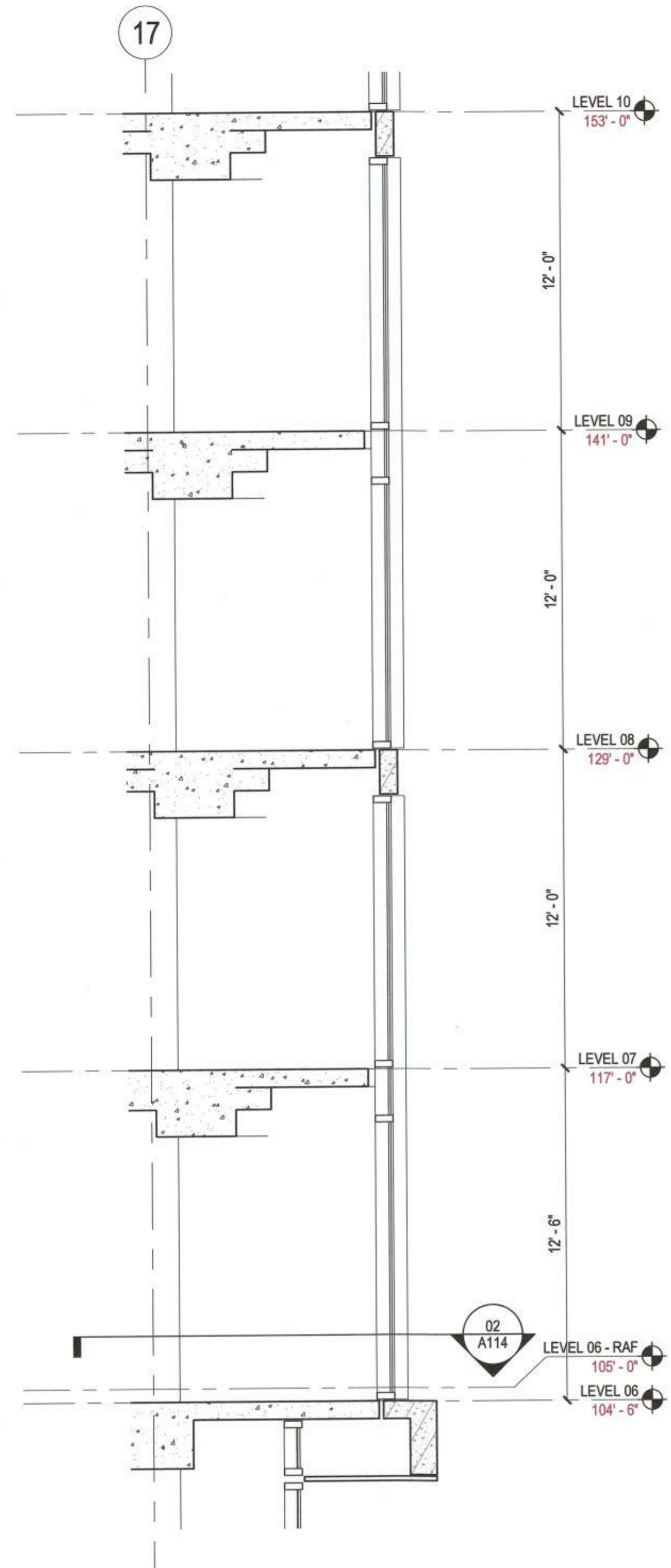
Project Name
 2395 MILL ROAD

Project Number
 009.8974.000

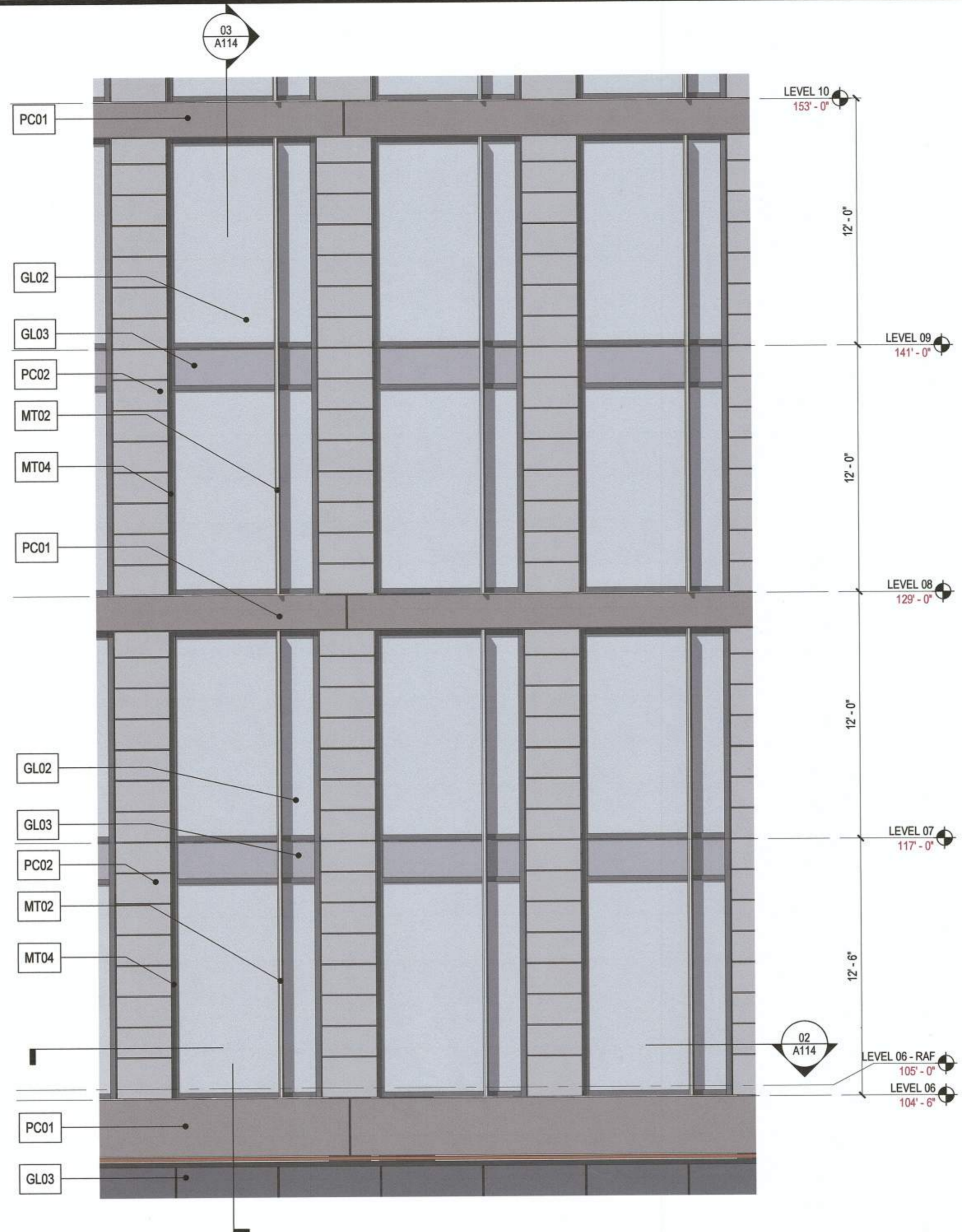
Description
 ENLARGED ELEVATIONS - FACADES

Scale
 1/4" = 1'-0"

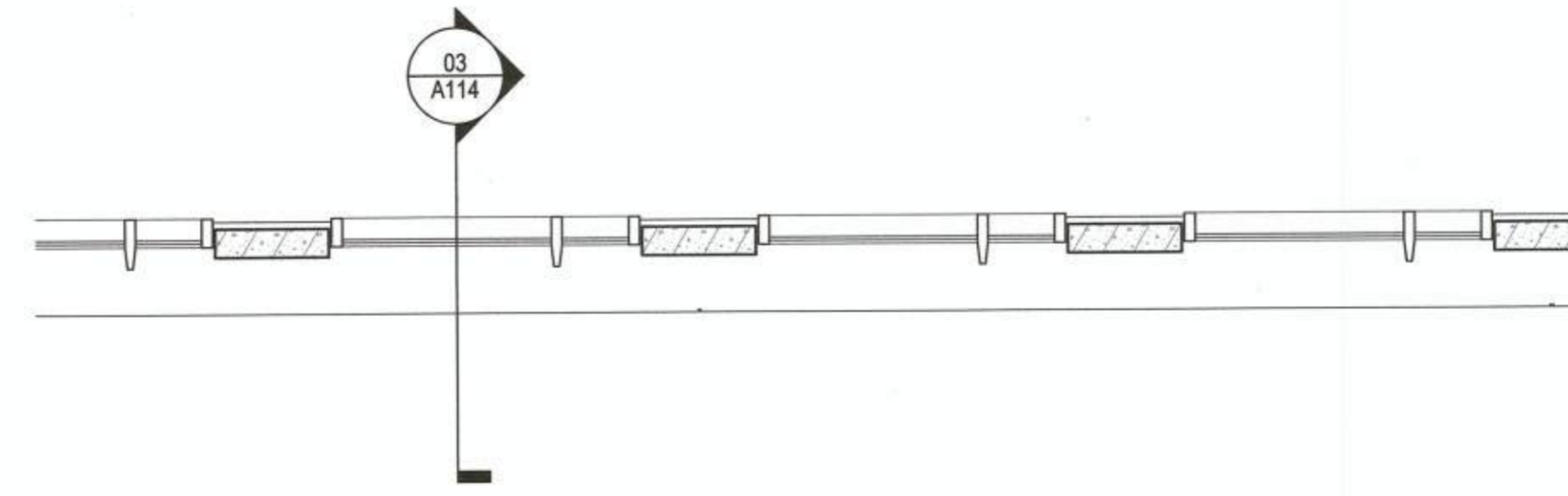
A114



03 WALL TYPE F - ENLARGED SECTION
 SCALE: 1/4" = 1'-0"



01 WALL TYPE F - ENLARGED ELEVATION
 SCALE: 1/4" = 1'-0"



02 WALL TYPE F - ENLARGED PLAN
 SCALE: 1/4" = 1'-0"

REFERENCE SHEET A201 FOR FINISH SCHEDULE

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR: [Signature] DATE: 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. [Signature] DATE: 11/26/19
 DIRECTOR: [Signature] DATE: 11/6/19
 CHAIRMAN, PLANNING COMMISSION

DATE RECORDED: _____
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Date	Description
07.10.2019	SITE PLAN SUBMISSION
08.15.2019	2ND FDSUP SUBMISSION
09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR



Seal / Signature

NOT FOR CONSTRUCTION

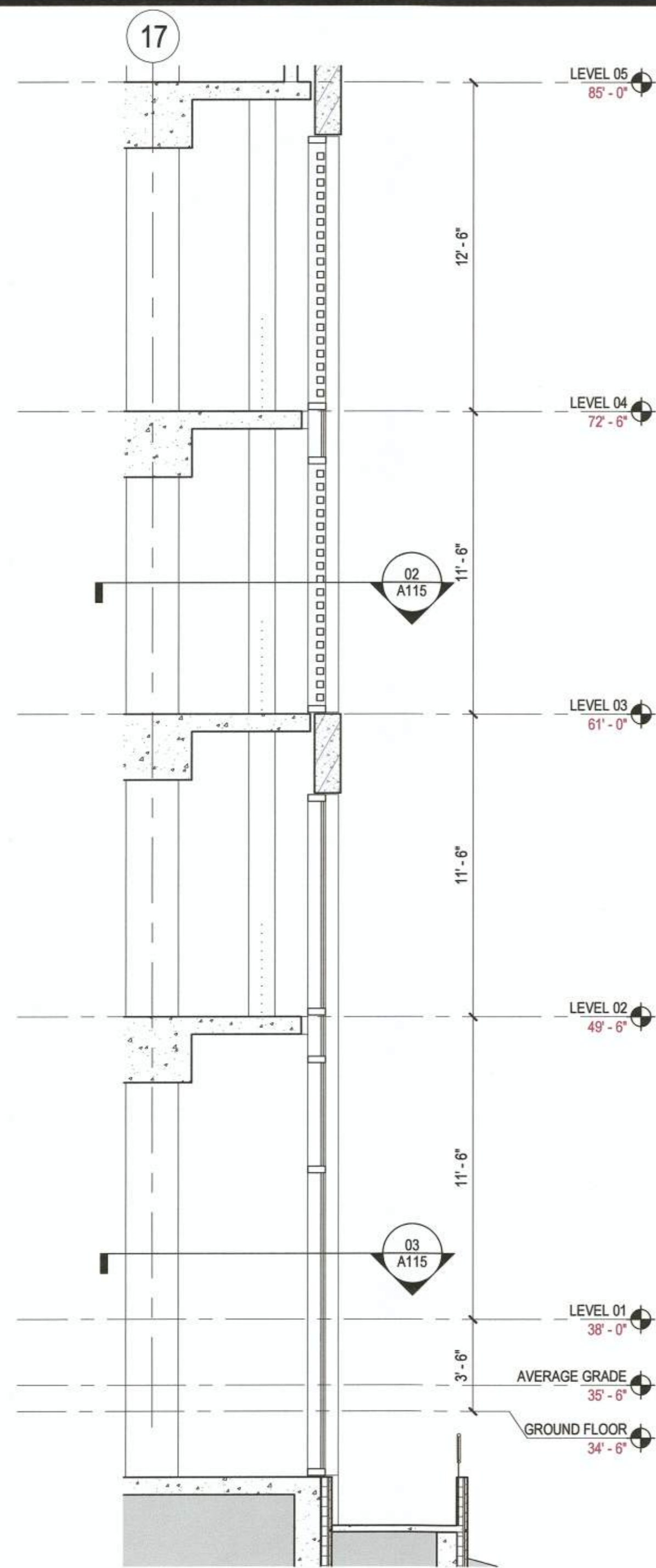
Project Name
 2395 MILL ROAD

Project Number
 009.8974.000

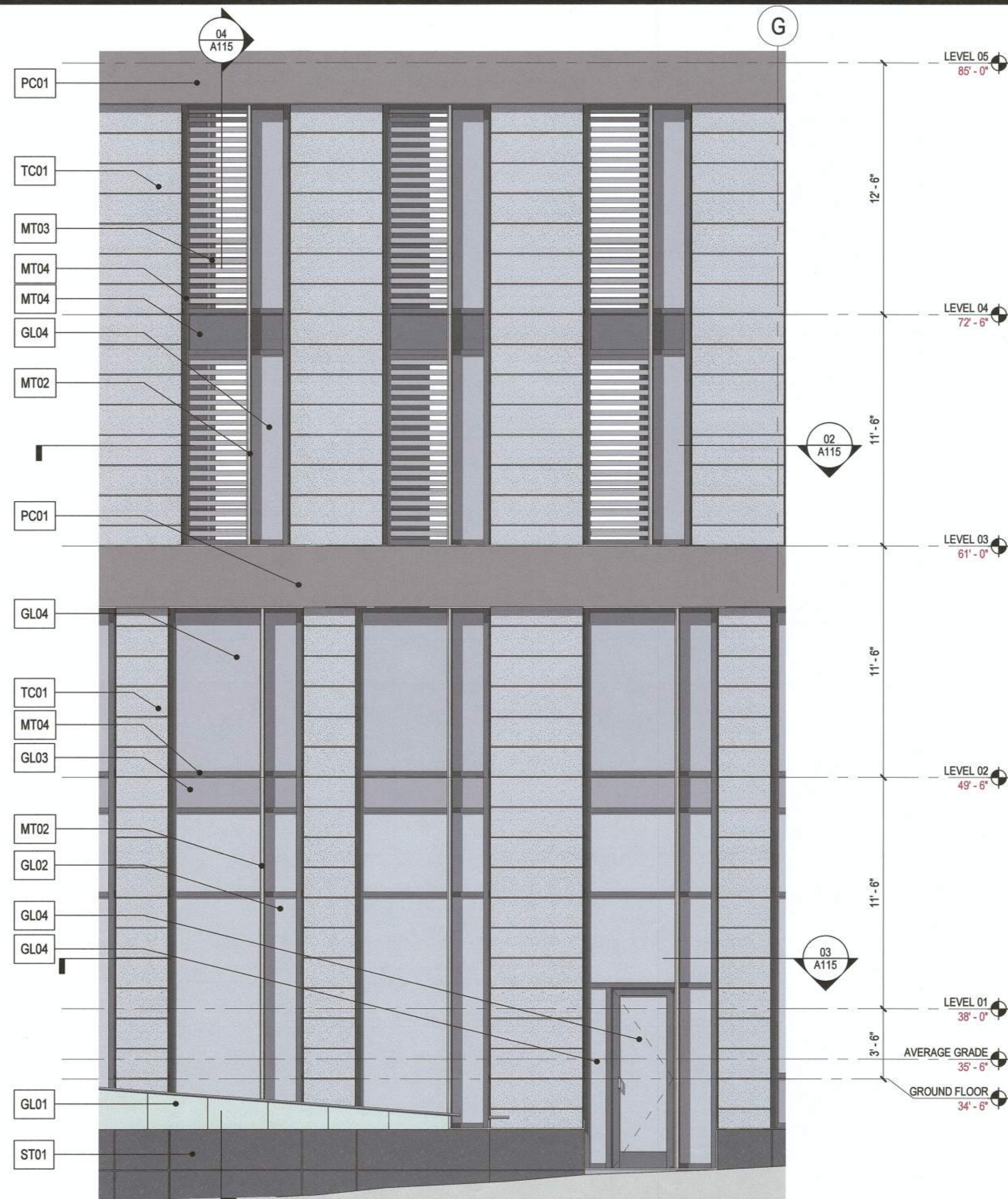
Description
 ENLARGED ELEVATIONS - FACADES

Scale
 1/4" = 1'-0"

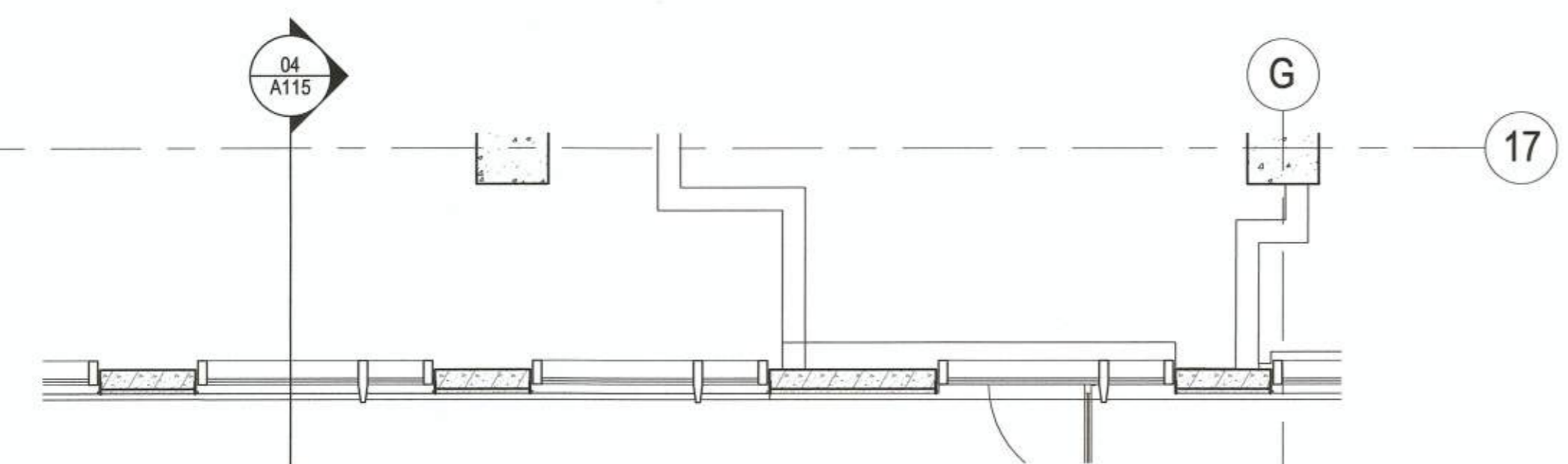
A115



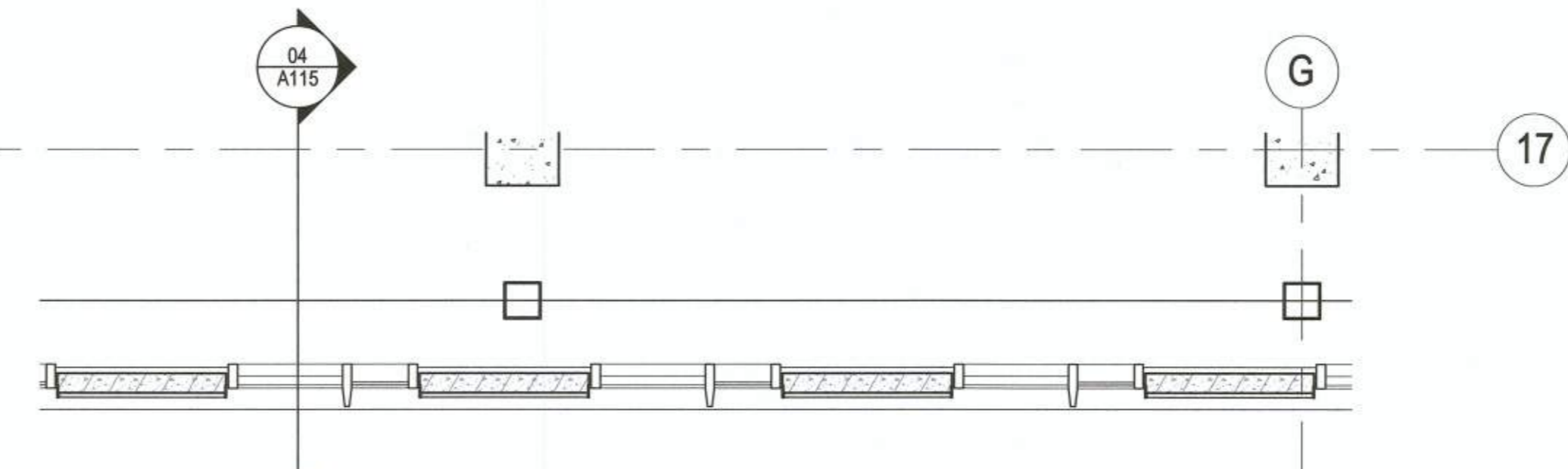
04 WALL TYPE G - ENLARGED SECTION
 SCALE: 1/4" = 1'-0"



01 WALL TYPE G - ENLARGED ELEVATION
 SCALE: 1/4" = 1'-0"



03 WALL TYPE G - ENLARGED PLAN
 SCALE: 1/4" = 1'-0"



02 WALL TYPE G - ENLARGED PLAN
 SCALE: 1/4" = 1'-0"

REFERENCE SHEET A201 FOR FINISH SCHEDULE

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 DEPARTMENT OF PLANNING & ZONING

Director: [Signature] DATE: 11/6/19

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. [Signature] DATE: 11/6/19

CHAIRMAN, PLANNING COMMISSION: [Signature] DATE: 11/6/19

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10.30.2019	MYLAR



Seal / Signature

NOT FOR CONSTRUCTION

Project Name

2395 MILL ROAD

Project Number

009.8974.000

Description

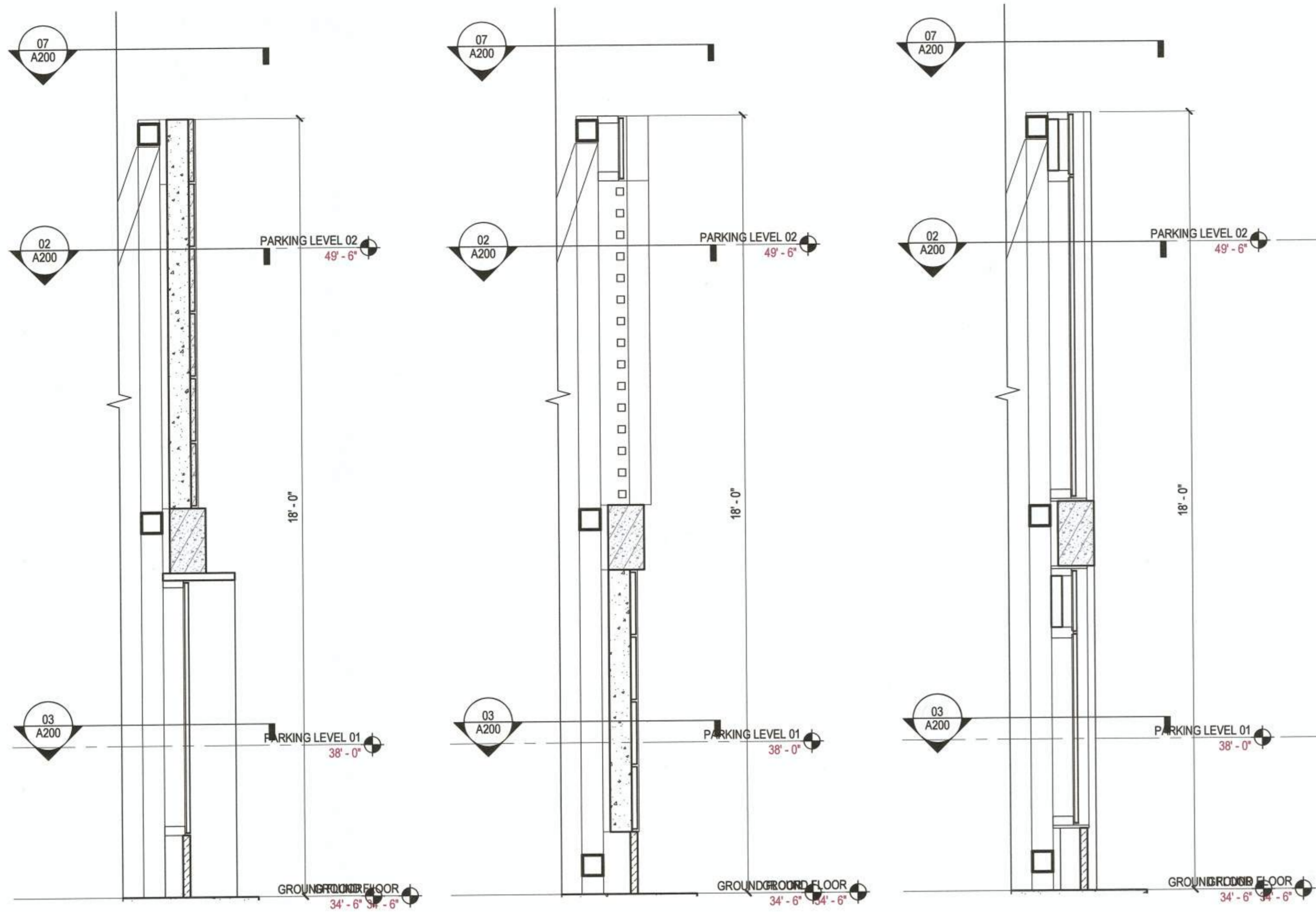
MOCKUP

Scale

1/2" = 1'-0"

A200

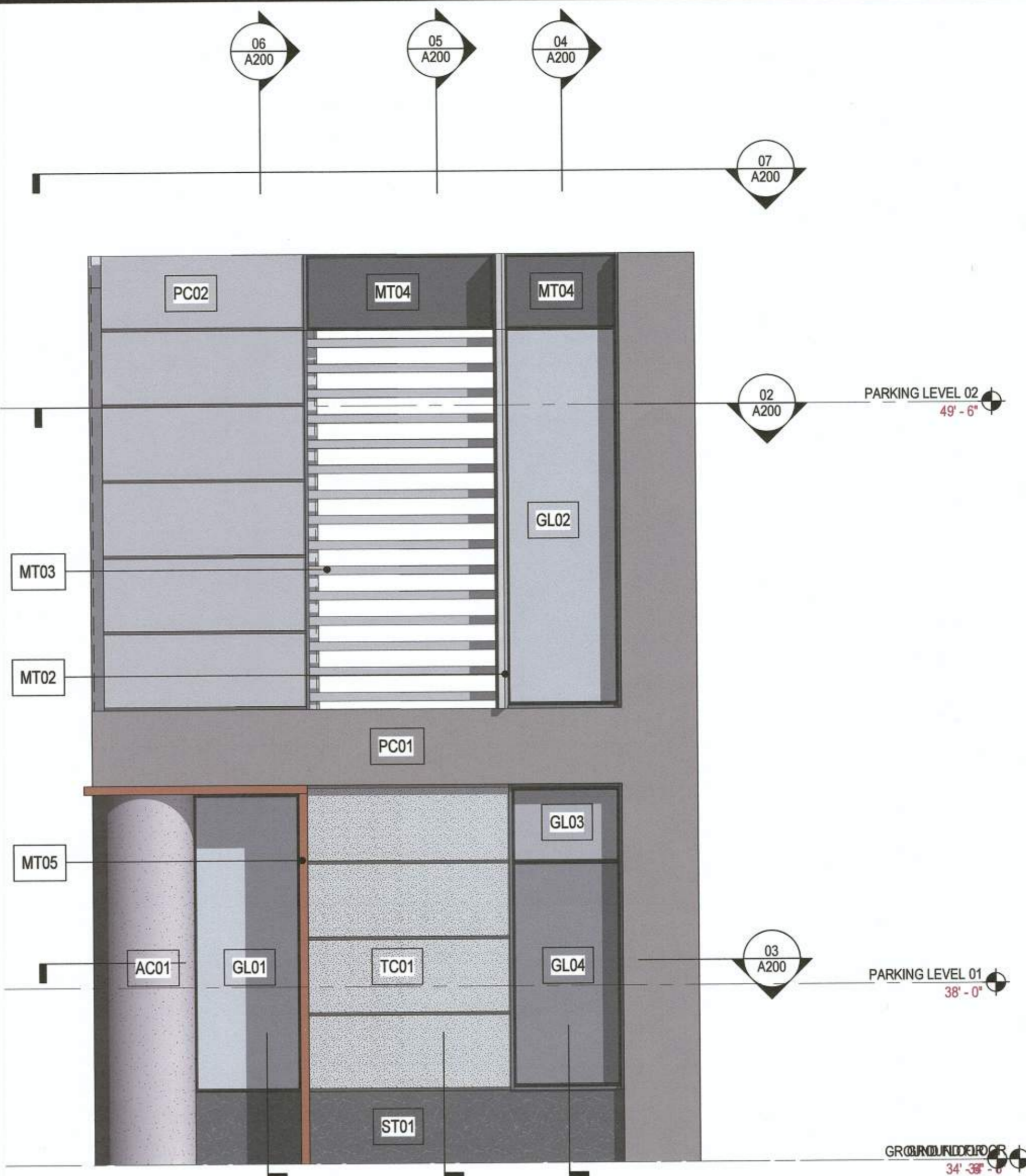
© 2019 Gensler



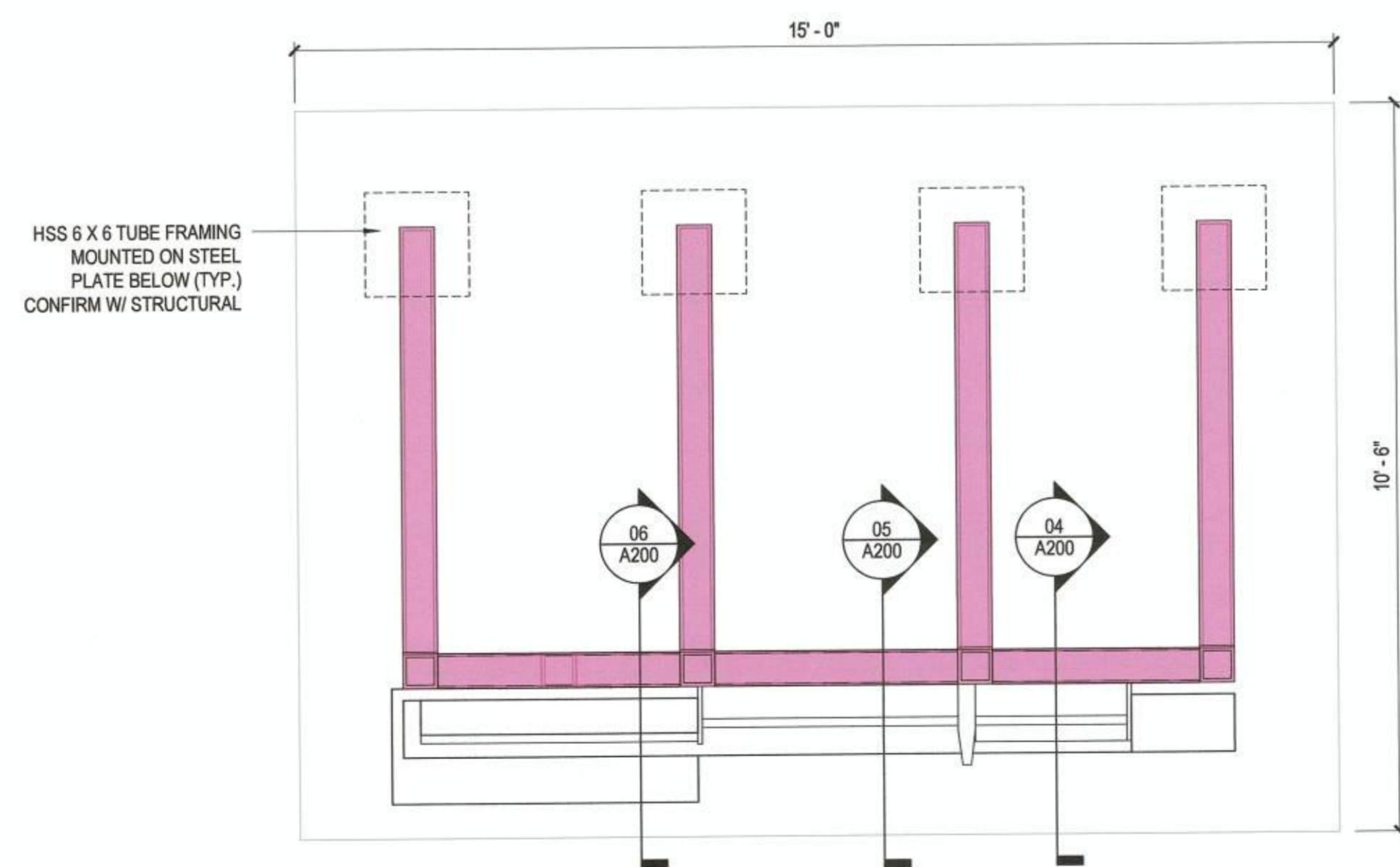
06 MOCKUP - SECTION 1
 SCALE: 1/2" = 1'-0"

05 MOCKUP - SECTION 2
 SCALE: 1/2" = 1'-0"

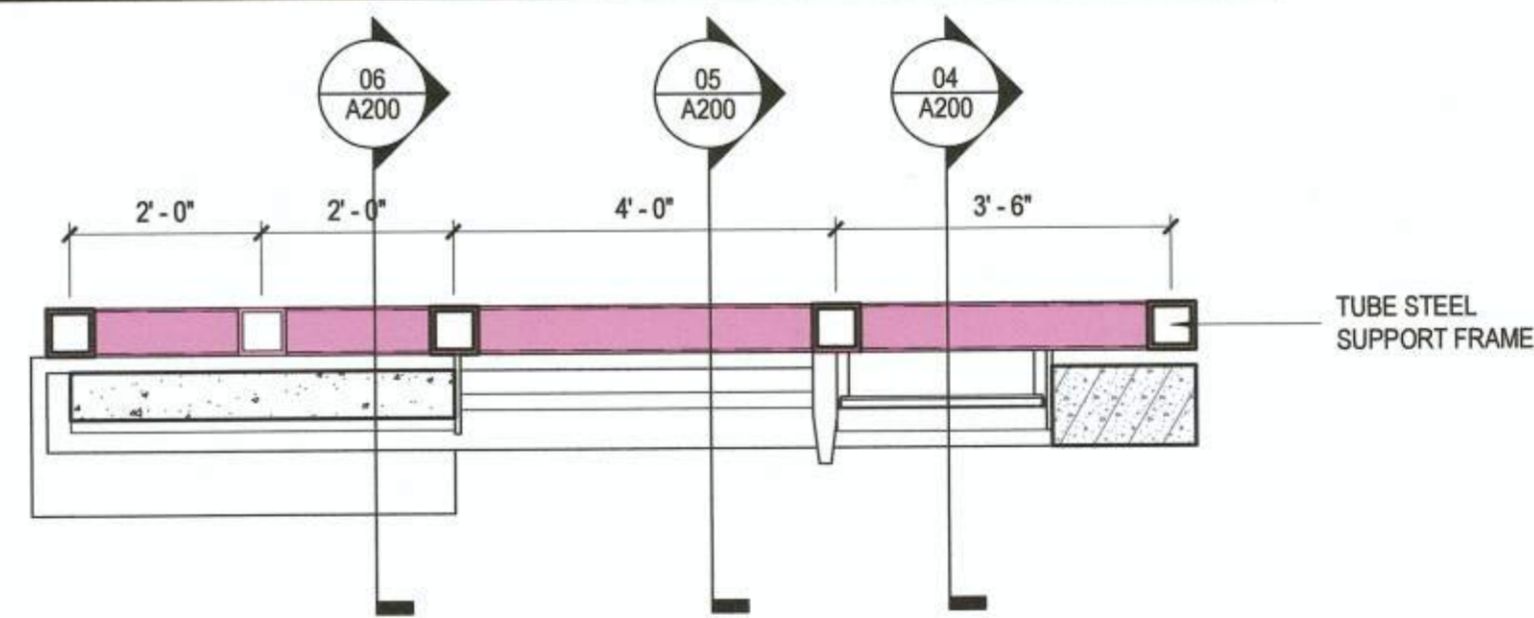
04 MOCKUP - SECTION 3
 SCALE: 1/2" = 1'-0"



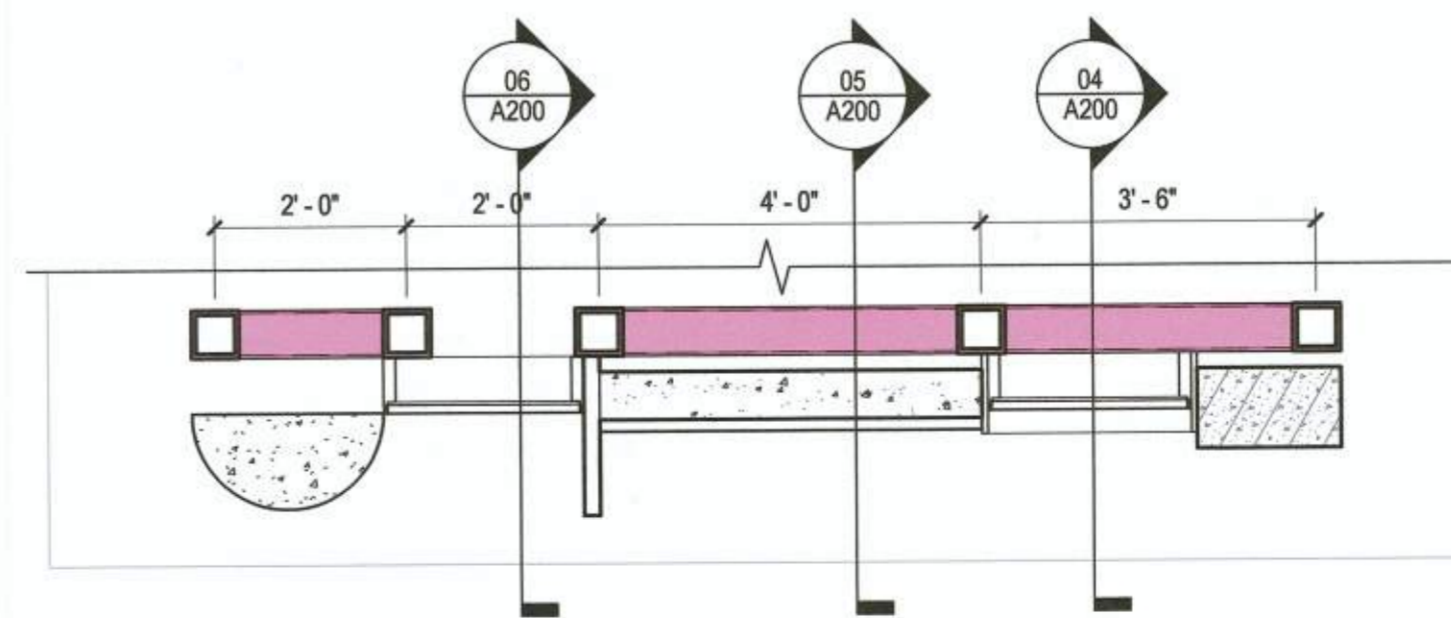
01 MOCKUP - ELEVATION
 SCALE: 1/2" = 1'-0"



07 MOCKUP - AERIAL PLAN
 SCALE: 1/2" = 1'-0"



02 MOCKUP - CONSTRUCTION PLAN (+14')
 SCALE: 1/2" = 1'-0"



03 MOCKUP - CONSTRUCTION PLAN (+5')
 SCALE: 1/2" = 1'-0"

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APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* DATE: 11/6/19
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 SITE PLAN NO. *[Signature]* DATE: 11/6/19
 CHAIRMAN, PLANNING COMMISSION

DATE RECORDED: _____
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FINISH SCHEDULE

AC ARCHITECTURAL CONCRETE

AC01
00 00 00 ARCHITECTURALLY EXPOSED CONCRETE
DESCRIPTION: VERTICAL PILASTERS
LOCATION: EXPOSED COLUMNS

TC TERRA COTTA

TC01
00 00 00 TERRA COTTA
DESCRIPTION: VERTICAL PILASTERS
MANUFACTURER: BOSTON VALLEY TERRA COTTA OR SIMILAR
COLOR: BORO CREAM 7
LOCATION: LEVEL 01-04

ST STONE

ST01
04 42 00 STONE CLADDING
DESCRIPTION: EXTERIOR DIMENSIONAL STONE CLADDING
MANUFACTURER: R. BRATTI ASSOCIATES OR SIMILAR
FINISH: JET MIST WITH HONED
LOCATION: STONE BASE BELOW STOREFRONT

GL GLAZING

GL01
08 80 00 GLAZING
DESCRIPTION: 1" CLEAR INSULATED VISION GLASS UNIT
MANUFACTURER: VIRACON OR SIMILAR
COLOR: CLEAR, LOW IRON
LOCATION: LOBBY ENTRANCE

GL02
08 80 00 GLAZING
DESCRIPTION: 1" CLEAR INSULATED VISION GLASS UNIT
MANUFACTURER: VIRACON OR SIMILAR
COLOR: CLEAR
LOCATION: LEVELS 06-14

GL03
08 80 00 GLAZING
DESCRIPTION: 1" INSULATED SPANDREL GLASS UNIT
MANUFACTURER: VIRACON OR SIMILAR

GL04
08 80 00 GLAZING
DESCRIPTION: 1" INSULATED GLASS UNIT
MANUFACTURER: VIRACON OR SIMILAR
COLOR: SIMULATED ACID ETCH
LOCATION: LEVEL 05-06

MT METAL

MT01
05 70 00 INSIDE MULLIONS AT LOBBY
MANUFACTURER: PPG INDUSTRIES, INC
COLOR: UC55026 DURANAR BRIGHT WHITE OR SIMILAR

MT02
05 70 00 VERTICAL METAL FINS
MANUFACTURER: VALSPAR
TYPE: X
COLOR: 399C6835 PEARLESCENT WHITE OR SIMILAR
FINISH: X

MT03
05 70 00 HORIZONTAL METAL GRILLS
NAME: X
DESCRIPTION: HORIZONTAL GRILLS
COLOR: UC72662 DURANAR VL VANILLA SAND OR SIMILAR
LOCATION: HORIZONTAL GRILLS, PENTHOUSE
NOTE: X

MT04
05 70 00 METAL WALL PANEL
NAME: X
DESCRIPTION: METAL WALL PANEL
COLOR: UC72662 DURANAR GRAY OR SIMILAR
LOCATION: LOADING DOCK, GARAGE DOORS, PENTHOUSE SCREEN WALL, EXTERIOR MULLIONS
NOTE: X

MT05
05 70 00 METAL WALL PANEL
NAME: X
DESCRIPTION: METAL PANEL AT LOBBY ENTRY AND SOFFITS
MANUFACTURER: CHEMETAL
TYPE: #607 CORE ALUMINUM OR SIMILAR
COLOR: X
NOTE: X

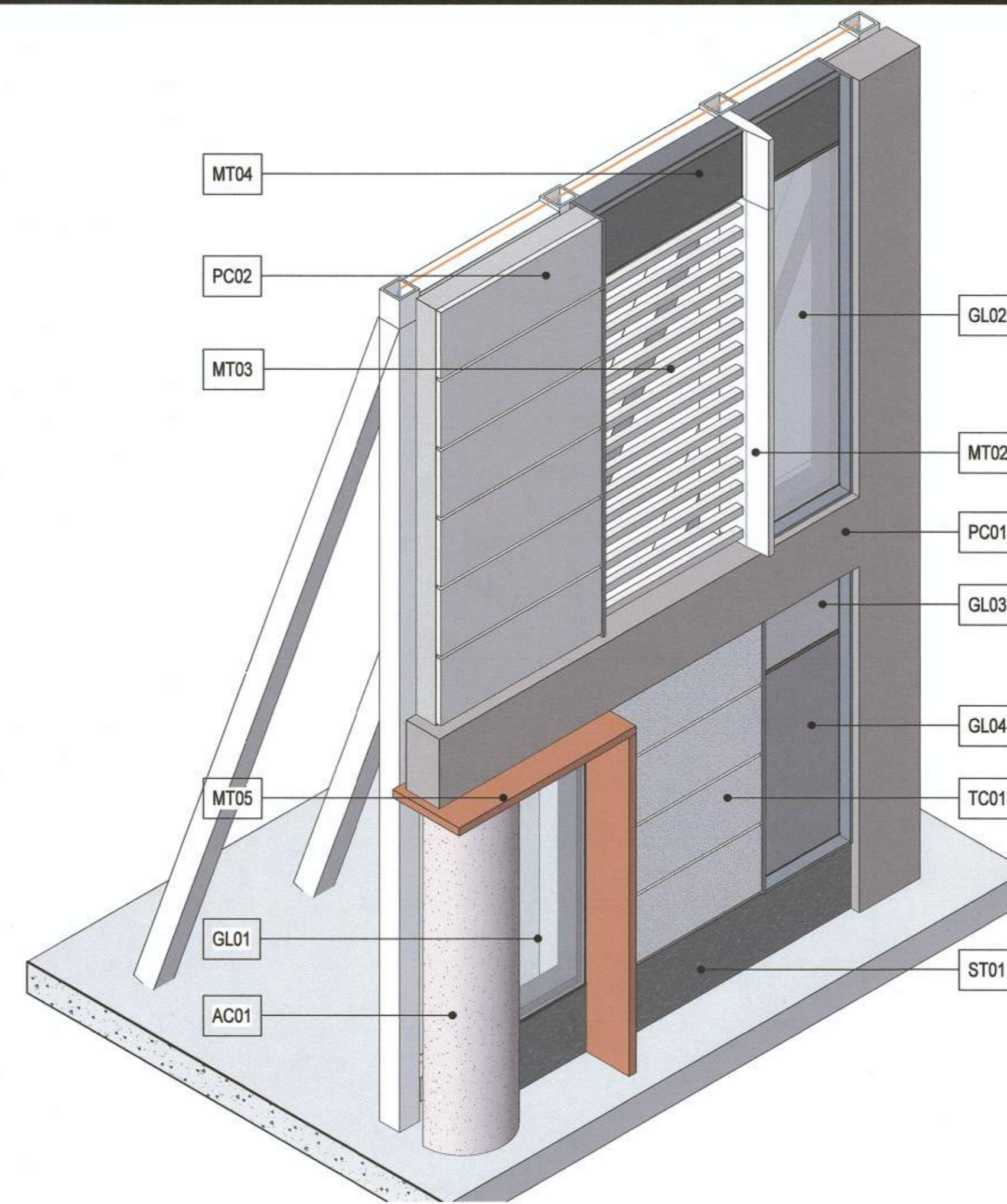
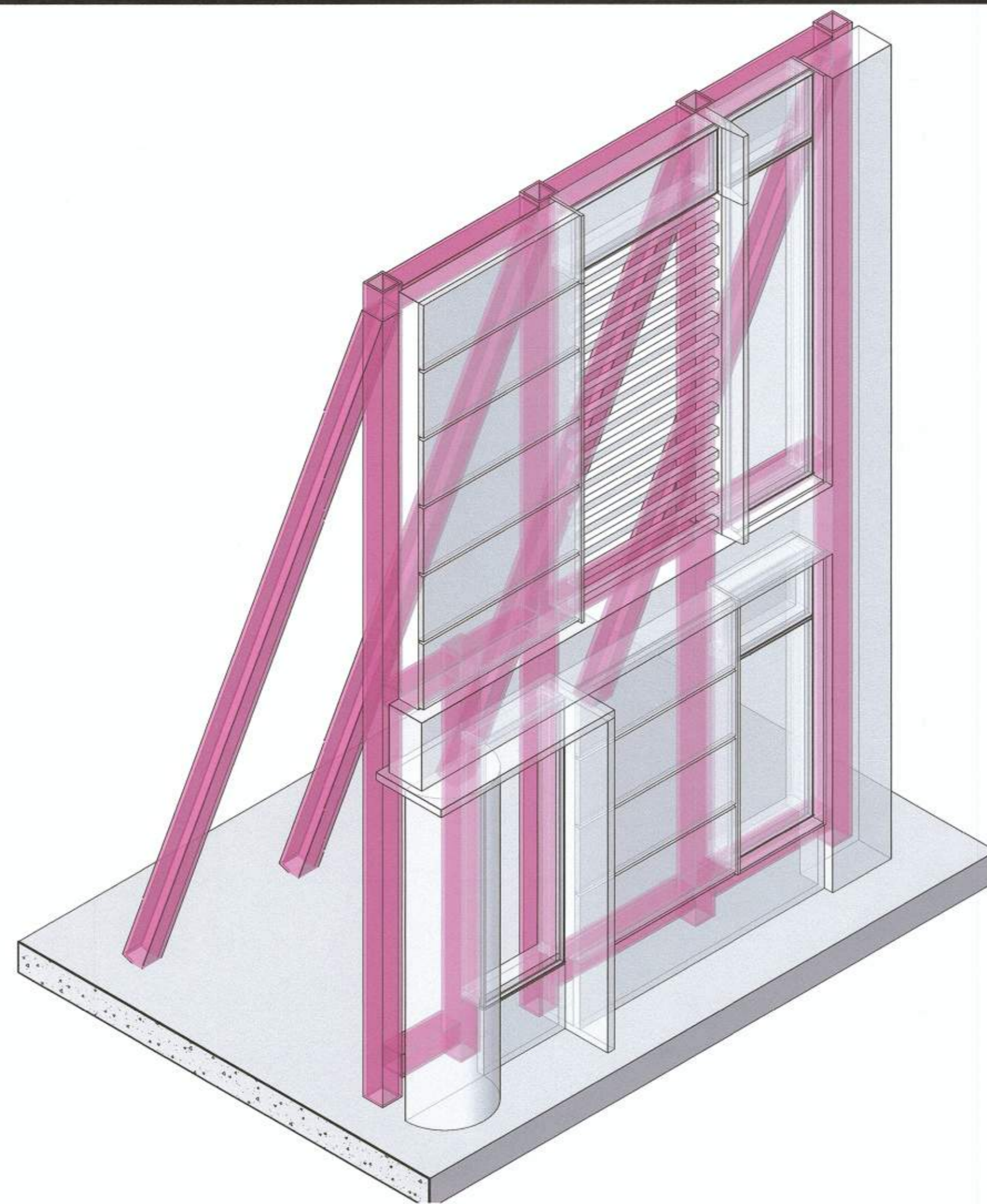
PC PRECAST ARCHITECTURAL CONCRETE

PC01
03 45 00 PRECAST ARCHITECTURAL CONCRETE
DESCRIPTION: ARCHITECTURAL PRECAST CONCRETE BUILDING FRAME
MANUFACTURER: SUN PRECAST CO., INC. OR SIMILAR
COLOR: MIX #332

PC02
03 45 00 PRECAST ARCHITECTURAL CONCRETE
DESCRIPTION: ARCHITECTURAL PRECAST CONCRETE PANEL
MANUFACTURER: SUN PRECAST CO., INC. OR SIMILAR
COLOR: MIX #302N
LOCATION: PILASTERS LEVELS 06-14

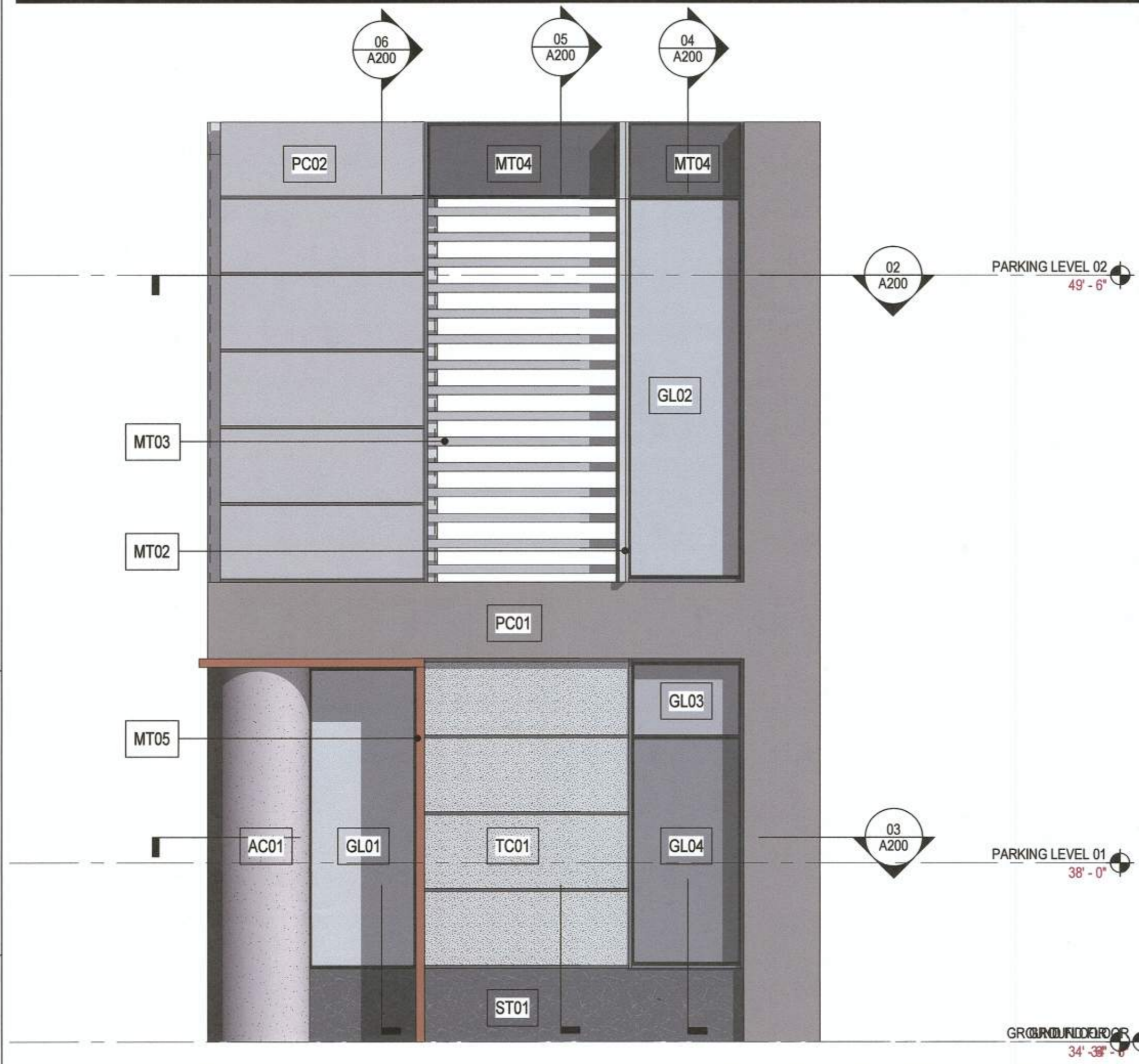
SC STUCCO

SC01
03 45 00 STUCCO
DESCRIPTION: CONCRETE WITH STUCCO FINISH
COLOR: INTEGRAL COLOR TO MATCH ARCHITECT'S PRECAST SAMPLE
FINISH: SANDED
LOCATION: EQUIPMENT ENCLOSURES



02 MOCKUP AXON - STRUCTURAL SCHEMATIC (SP)

SCALE:



01 MOCKUP AXON (SP)

SCALE:

03 MOCKUP - ELEVATION

SCALE: 1/2" = 1'-0"

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APPROVED
SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

[Signature] For KM 11/6/19
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. *[Signature]* 11/2/19
DIRECTOR DATE

[Signature] 11/6/19
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____
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Date	Description
07.10.2019	SITE PLAN SUBMISSION
08.15.2019	2ND FDSUP SUBMISSION
09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR



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NOT FOR CONSTRUCTION

Project Name

2395 MILL ROAD

Project Number

009.8974.000

Description

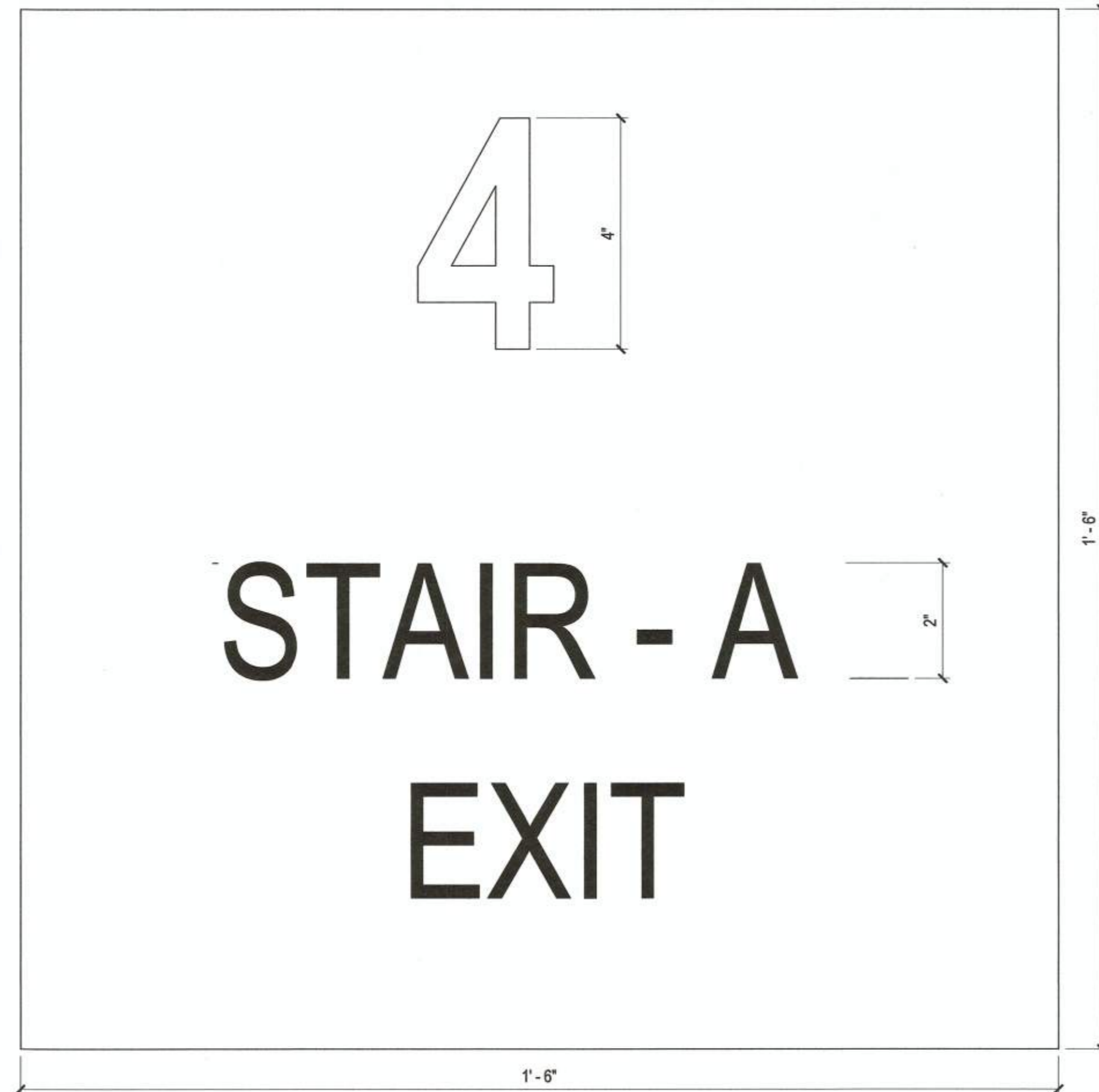
MOCKUP FINISH LEGEND

Scale

1/2" = 1'-0"

A201

10/30/2019 2:37:43 PM \\gensler-arj\projects\Revit\RevitModels\27432\Architecture - 009.8974.001 - Base Building - v2018_Kristen_Veiler@gensler.com.rvt



SIGNS TO COMPLY WITH ICC/ANSI 117.1 (TYP)



SIGNS TO COMPLY WITH ICC/ANSI 117.1 (TYP)

02 STAIRWAY IDENTIFICATION OUTSIDE
SCALE: 6" = 1'-0"

01 STAIRWAY IDENTIFICATION INSIDE
SCALE: 6" = 1'-0"

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08.15.2019	2ND FDSUP SUBMISSION
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10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR



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NOT FOR CONSTRUCTION

Project Name
2395 MILL ROAD

Project Number
009.8974.000

Description
STAIRWAY IDENTIFICATION

Scale
6" = 1'-0"

A202

APPROVED 2018-0028
SPECIAL USE PERMIT NO.
DEPARTMENT OF PLANNING & ZONING

[Signature] For KM 11/6/19
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.
[Signature] 11/6/19
DIRECTOR DATE

[Signature] 11/6/19
CHAIRMAN, PLANNING COMMISSION DATE

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10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR
02.05.2020	REVISION 1
06.19.2020	REVISION 3

Seal / Signature



Project
 2395 MILL ROAD

Project
 009.8974.000

Description
 TRANSFORMER LOCATIONS AND
 ELEVATIONS

Scale
 1/4" = 1'-0"

A203

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 DEPARTMENT OF PLANNING & ZONING

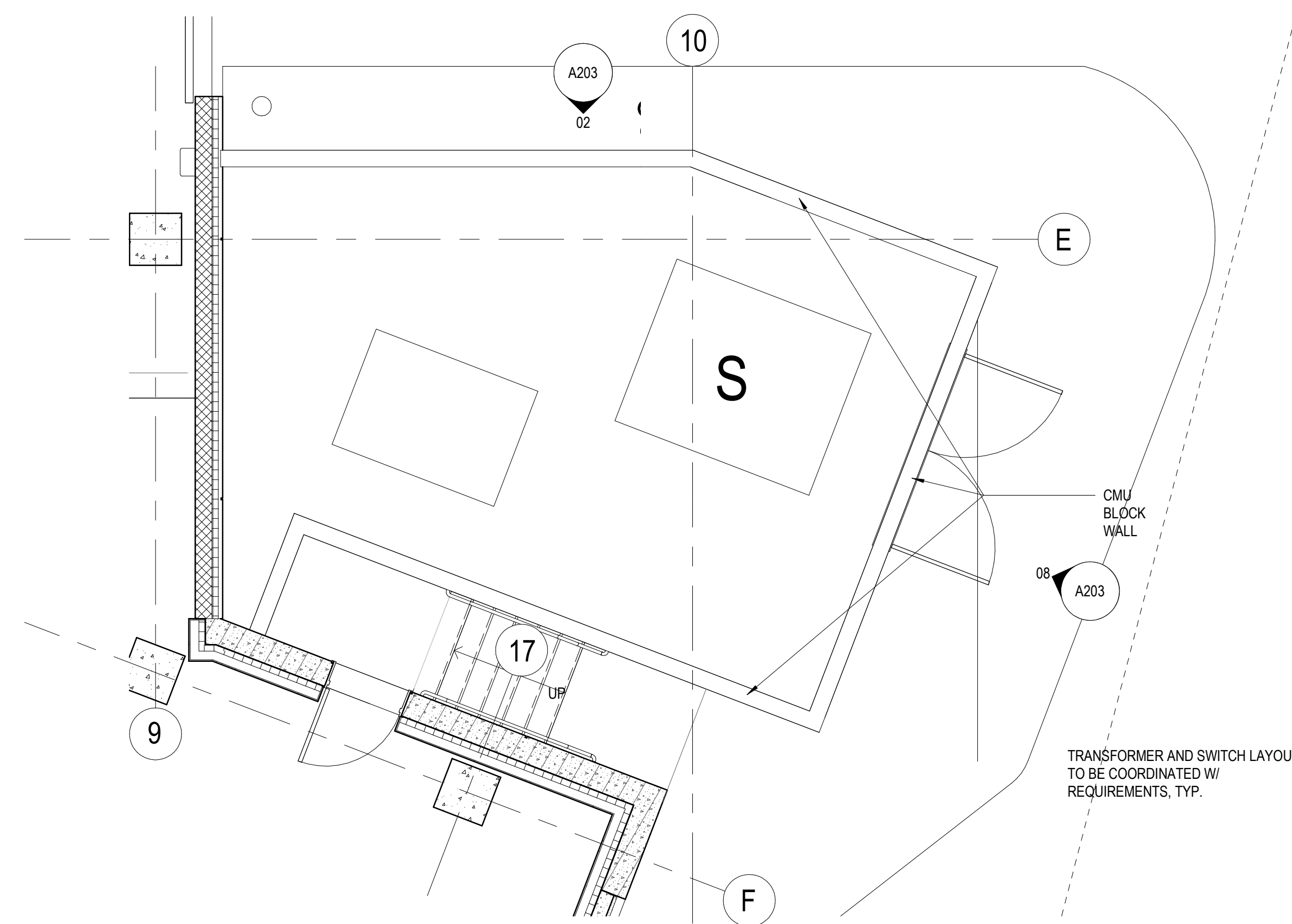
DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 DIRECTOR *[Signature]* DATE **7.29.20**

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

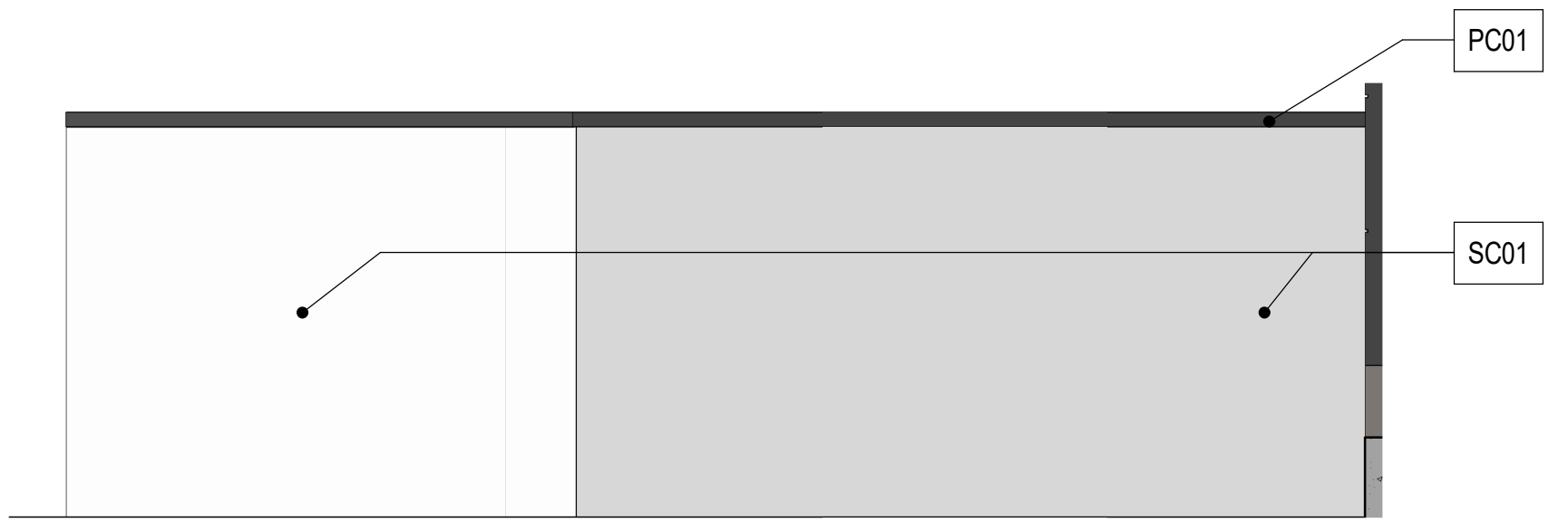
DATE RECORDED _____
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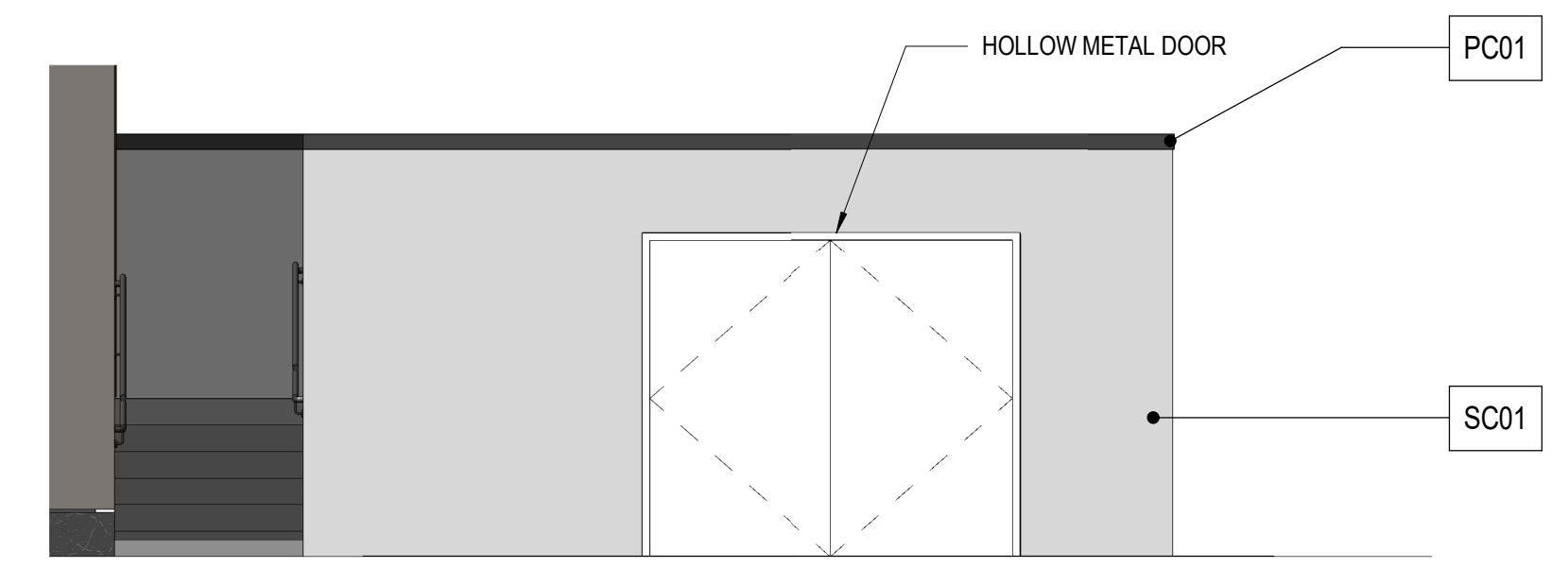
REVISION # 3



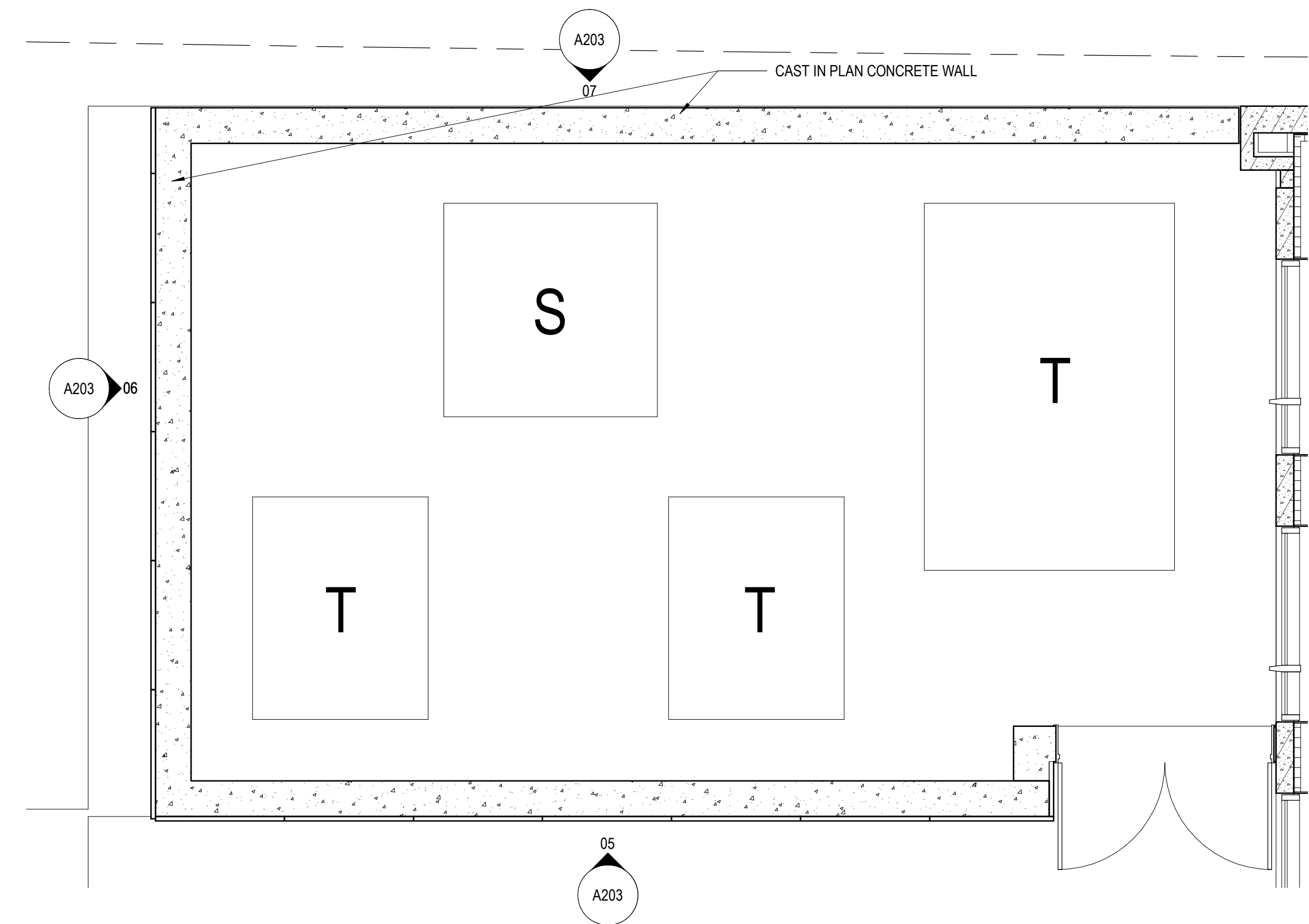
01 EAST TRANSFORMER PLAN
 SCALE: 1/4" = 1'-0"



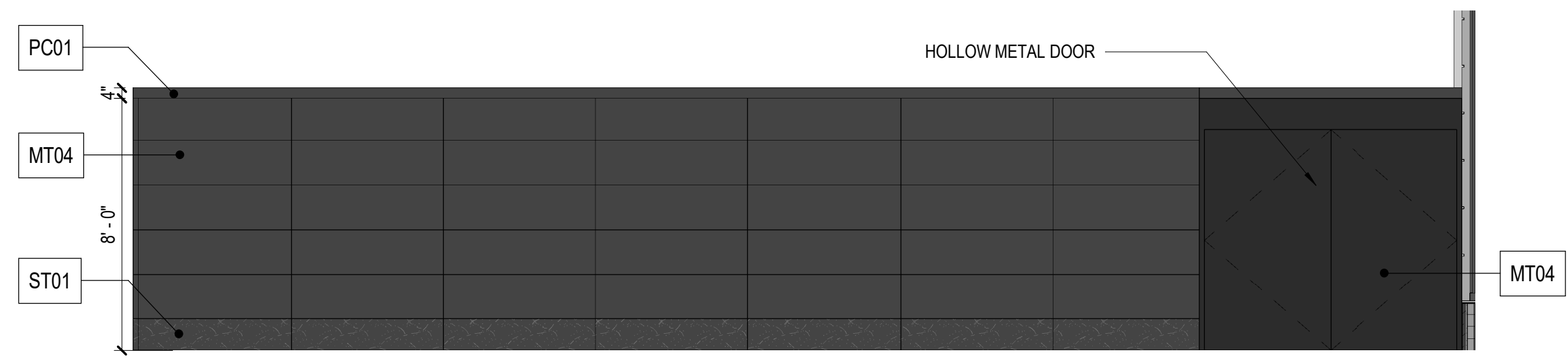
02 EAST TRANSFORMER ENCLOSURE NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



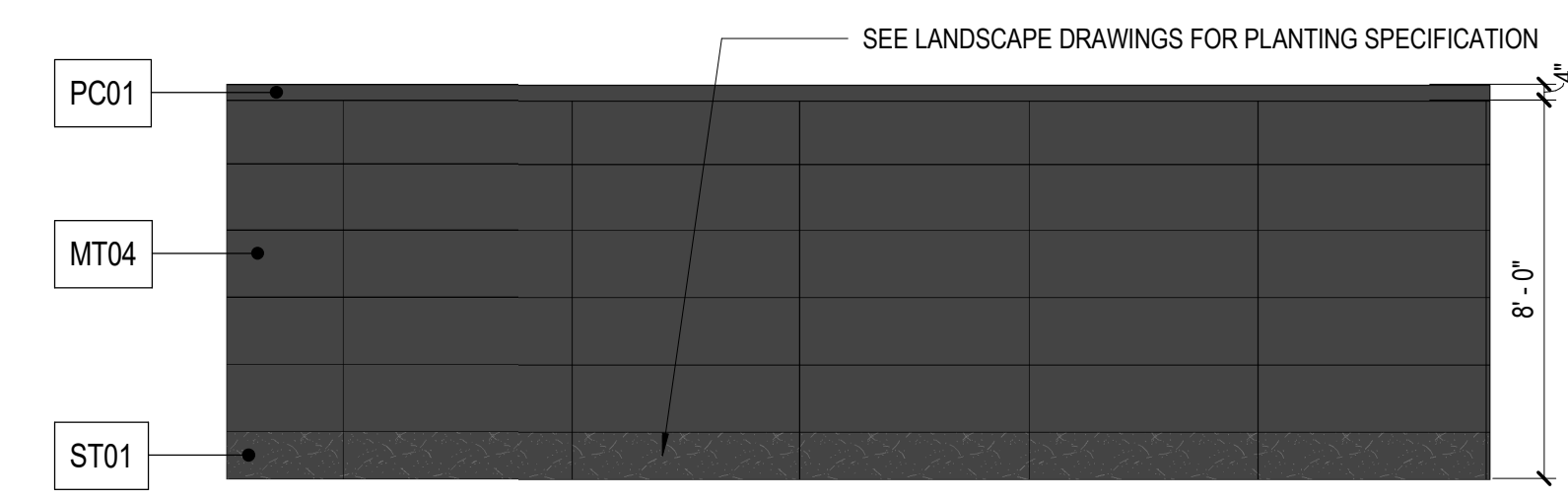
08 EAST TRANSFORMER ENCLOSURE EAST ELEVATION
 SCALE: 1/4" = 1'-0"



04 WEST TRANSFORMER PLAN
 SCALE: 1/4" = 1'-0"



05 WEST TRANSFORMER ENCLOSURE SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



06 WEST TRANSFORMER ENCLOSURE WEST ELEVATION
 SCALE: 1/4" = 1'-0"



07 WEST TRANSFORMER ENCLOSURE NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

6/19/2020 2:28:35 PM BIM 360://009.8974.002 - WMATA Eisenhower Avenue - Interiors/Architecture - 009.8974.001 - Base Building - 2019.rvt

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02.05.2020	REVISION 1
06.19.2020	REVISION 3

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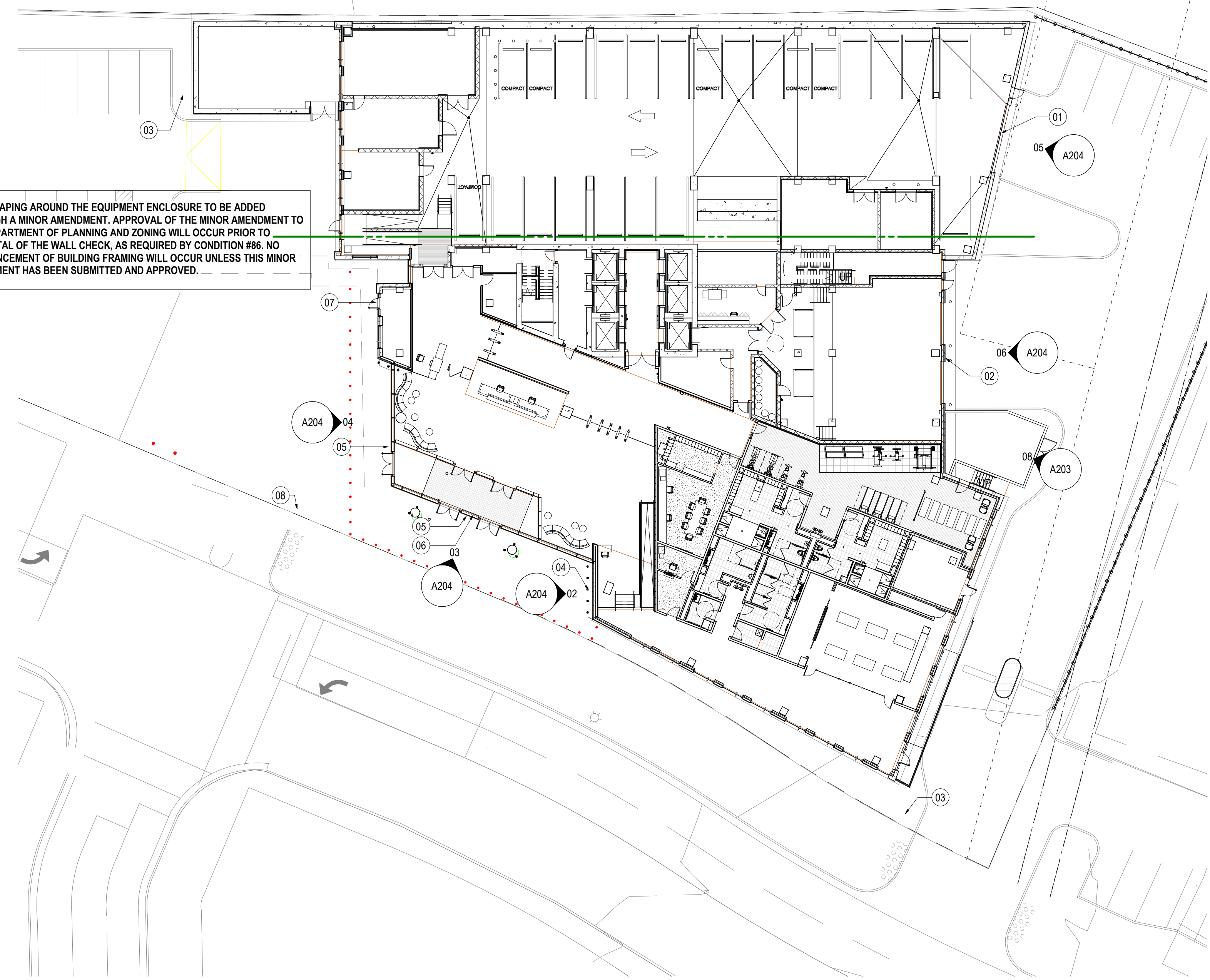
Project
 2395 MILL ROAD

Project
 009.8974.000

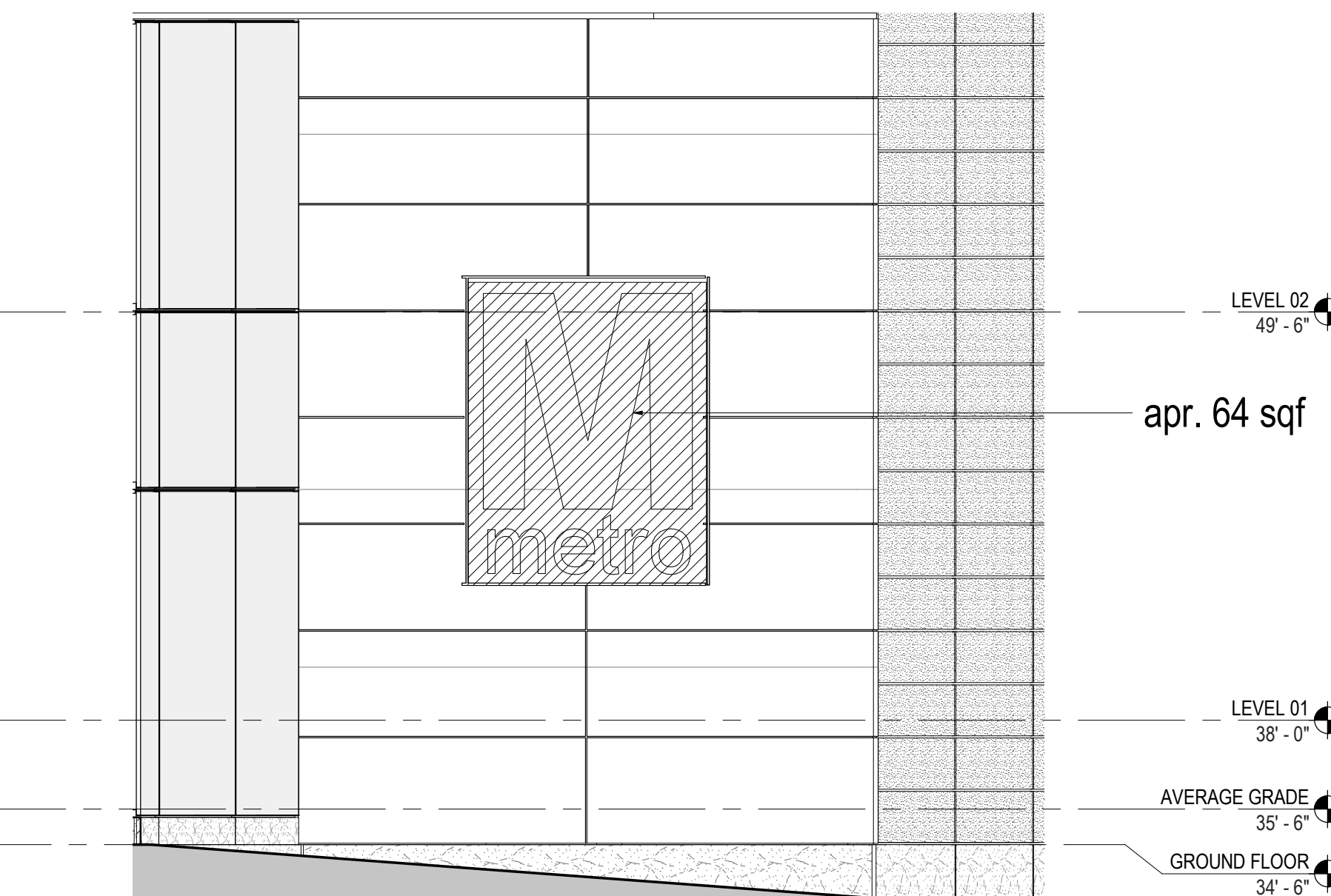
Description
 PROPOSED SIGNAGE LOCATIONS

Scale
 As indicated

A204



01 GROUND FLOOR PLAN - SIGNAGE
 SCALE: 3/64" = 1'-0"



02 ELEVATION - SIGNAGE ON SIDE WALL
 SCALE: 1/4" = 1'-0"

SIGNAGE LEGEND

- 01 PARKING GARAGE ENTRY SIGN
- 02 LOADING DOCK SIGN
- 03 VISITOR PARKING SIGN & ARROW
- 04 "M" LOGO SIGN ON METAL
- 05 SIGN ON ENTRANCE GLAZING
- 06 STREET ADDRESS ABOVE ENTRY DOORS
- 07 FIRE COMMAND CENTER SIGN
- 08 VISITOR PARKING SIGN

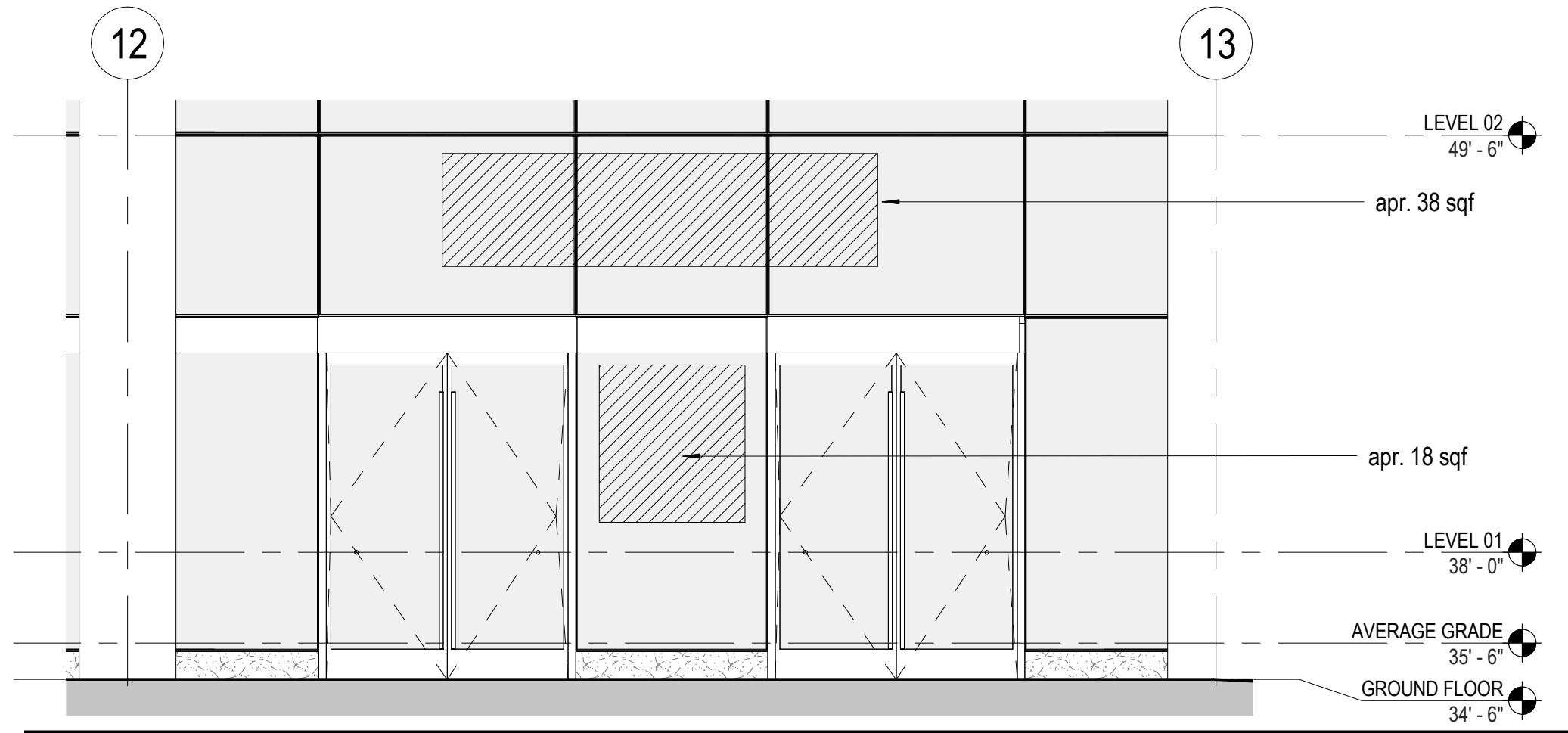
APPROVED SPECIAL USE PERMIT NO. **2018-0028**
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 DATE RECORDED **7.29.20**
 DIRECTOR _____ DATE _____

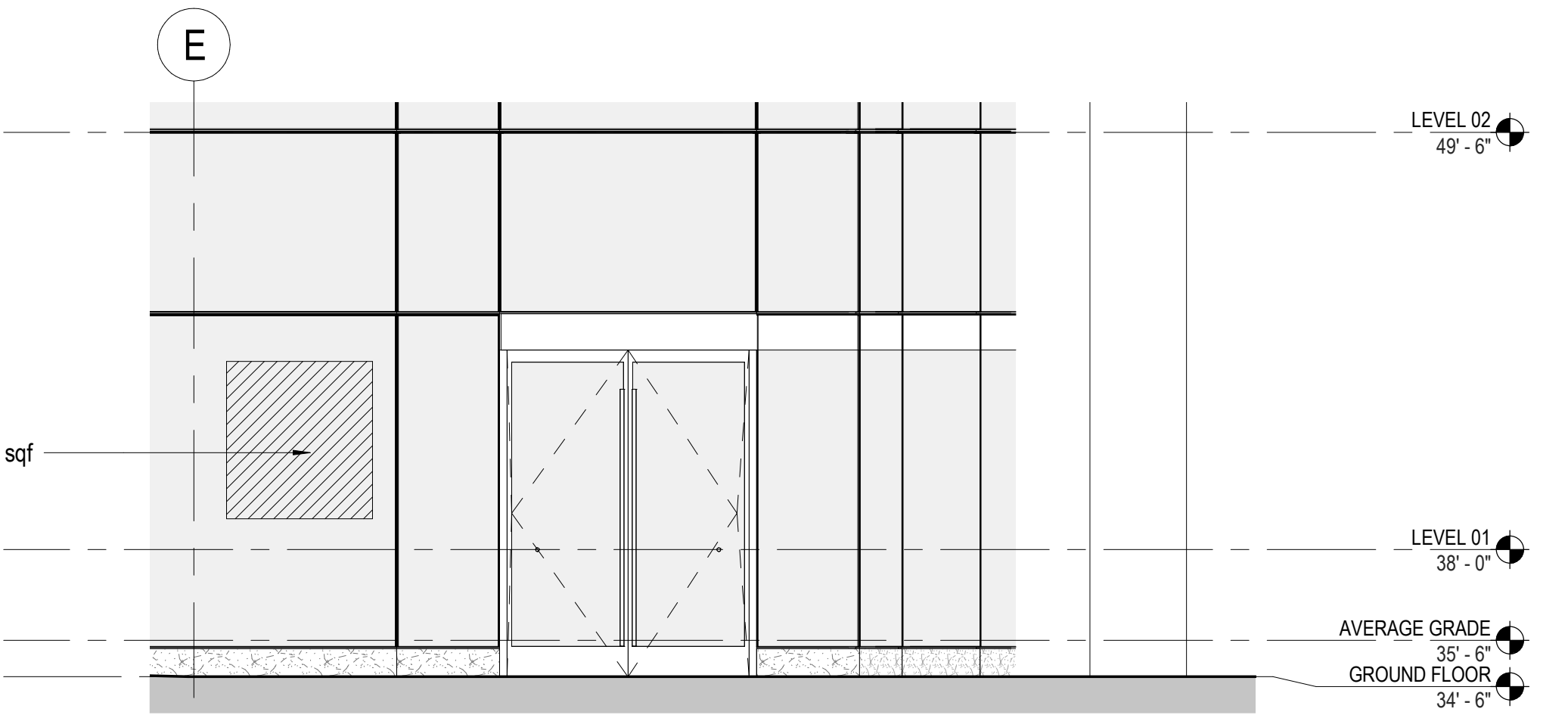
CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

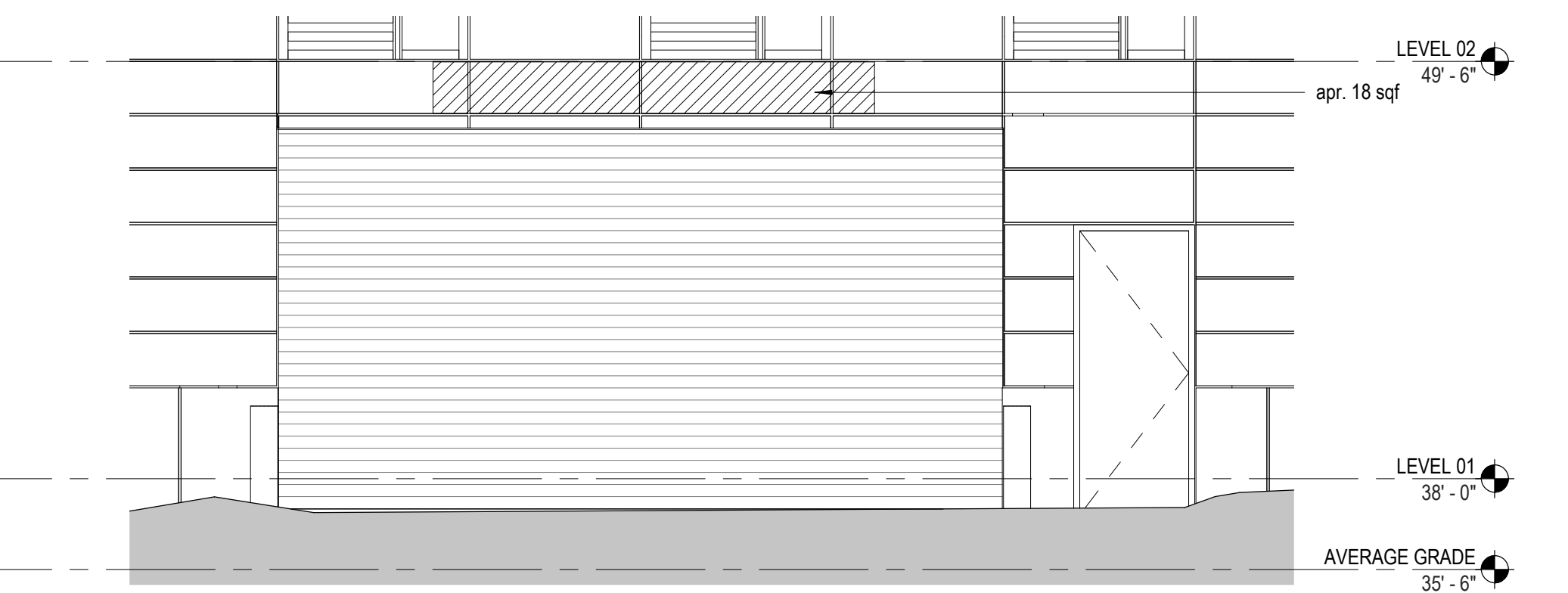
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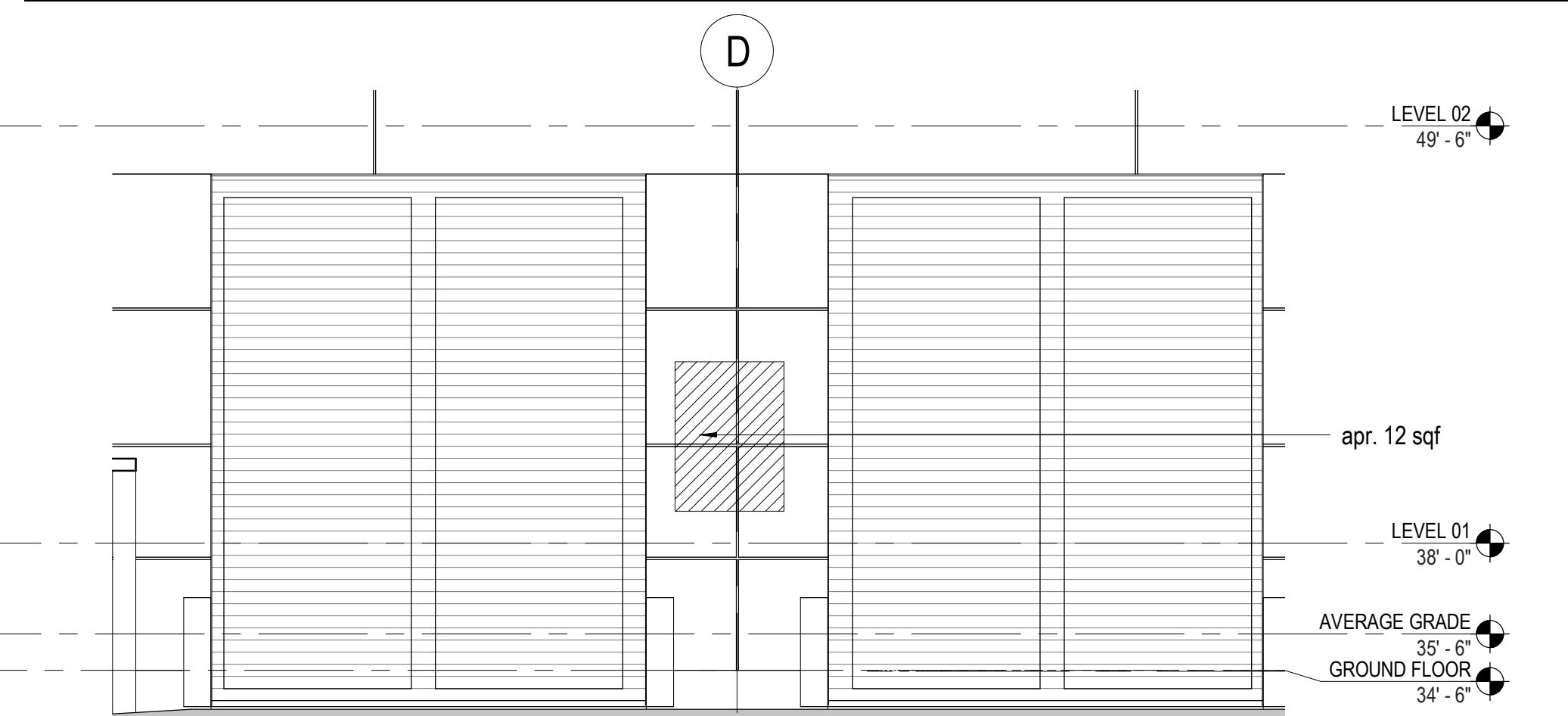
03 ELEVATION - SOUTH ENTRANCE
 SCALE: 1/4" = 1'-0"



04 ELEVATION - WEST ENTRANCE
 SCALE: 1/4" = 1'-0"

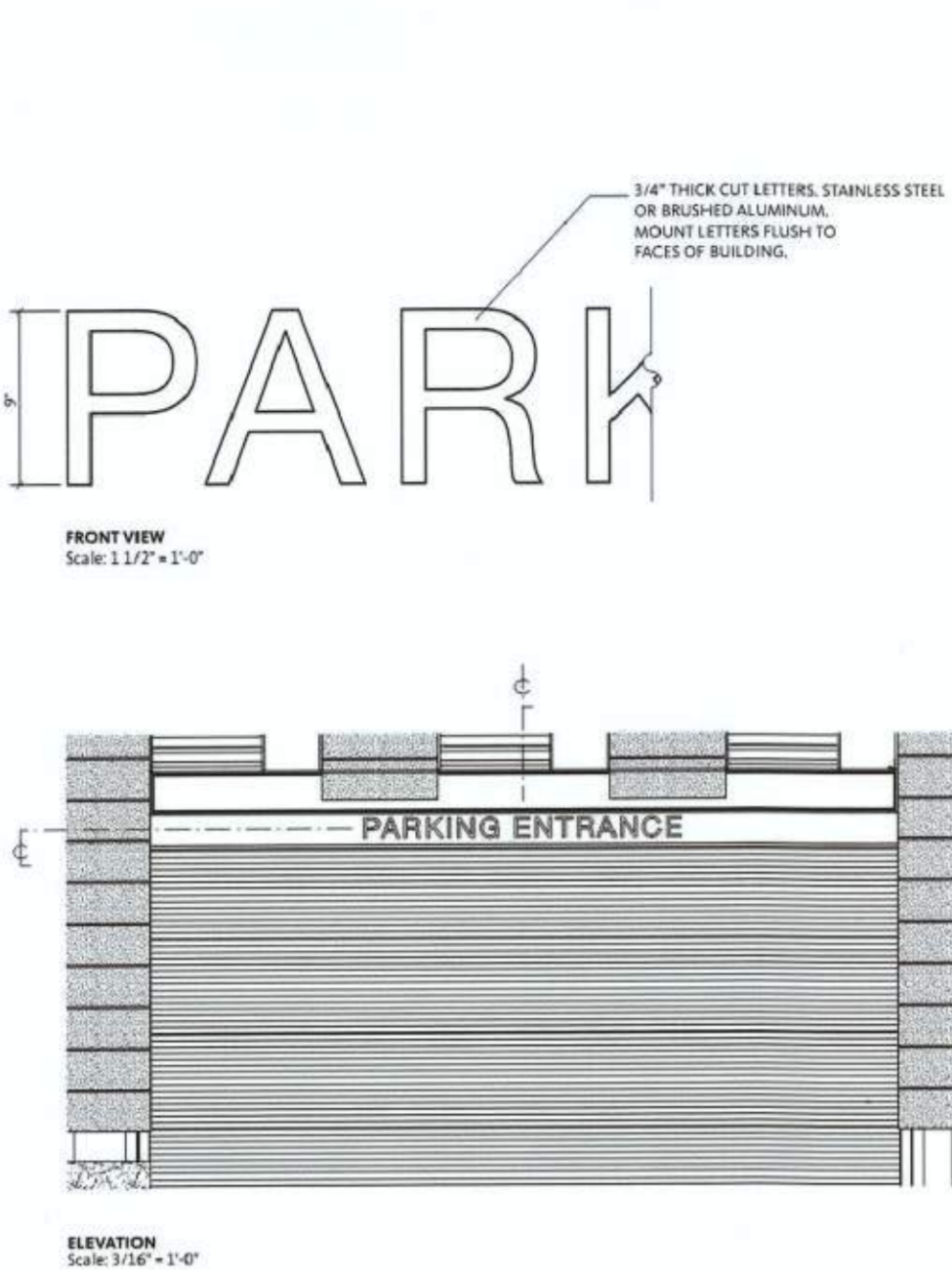


05 ELEVATION - PARKING ENTRANCE
 SCALE: 1/4" = 1'-0"

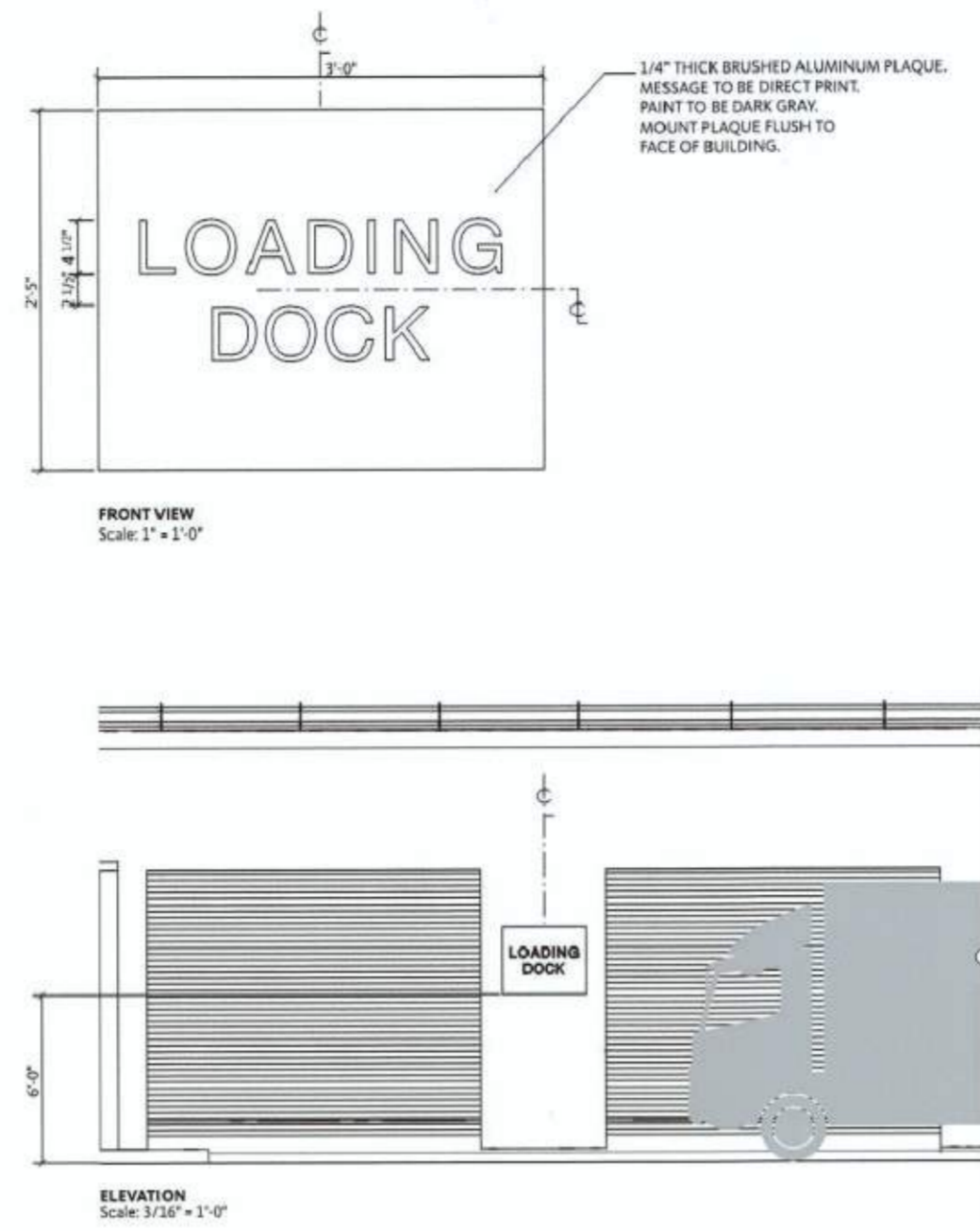


06 ELEVATION - LOADING DOCK
 SCALE: 1/4" = 1'-0"

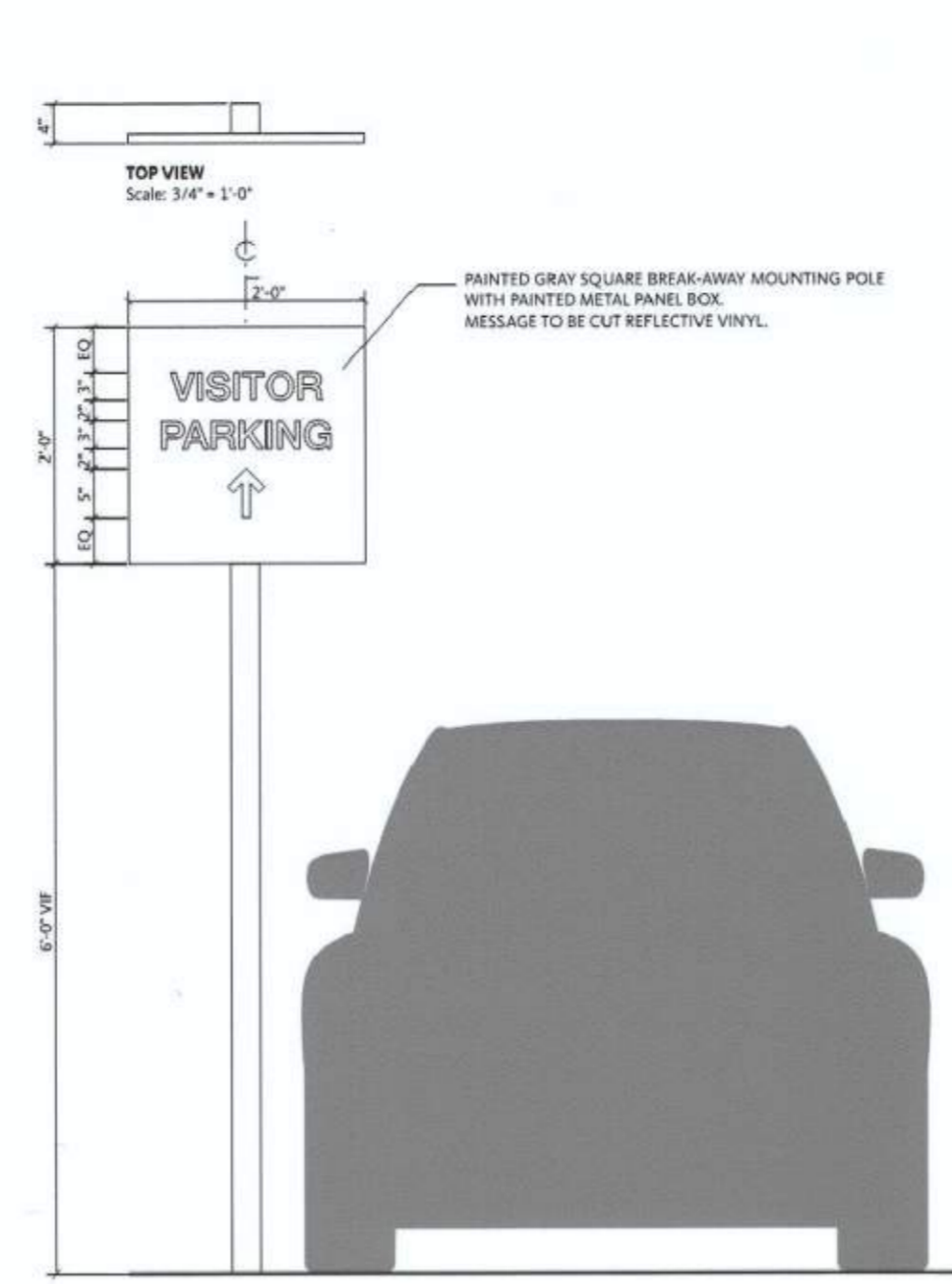
LANDSCAPING AROUND THE EQUIPMENT ENCLOSURE TO BE ADDED THROUGH A MINOR AMENDMENT. APPROVAL OF THE MINOR AMENDMENT TO THE DEPARTMENT OF PLANNING AND ZONING WILL OCCUR PRIOR TO SUBMITTAL OF THE WALL CHECK, AS REQUIRED BY CONDITION #86. NO COMMENCEMENT OF BUILDING FRAMING WILL OCCUR UNLESS THIS MINOR AMENDMENT HAS BEEN SUBMITTED AND APPROVED.



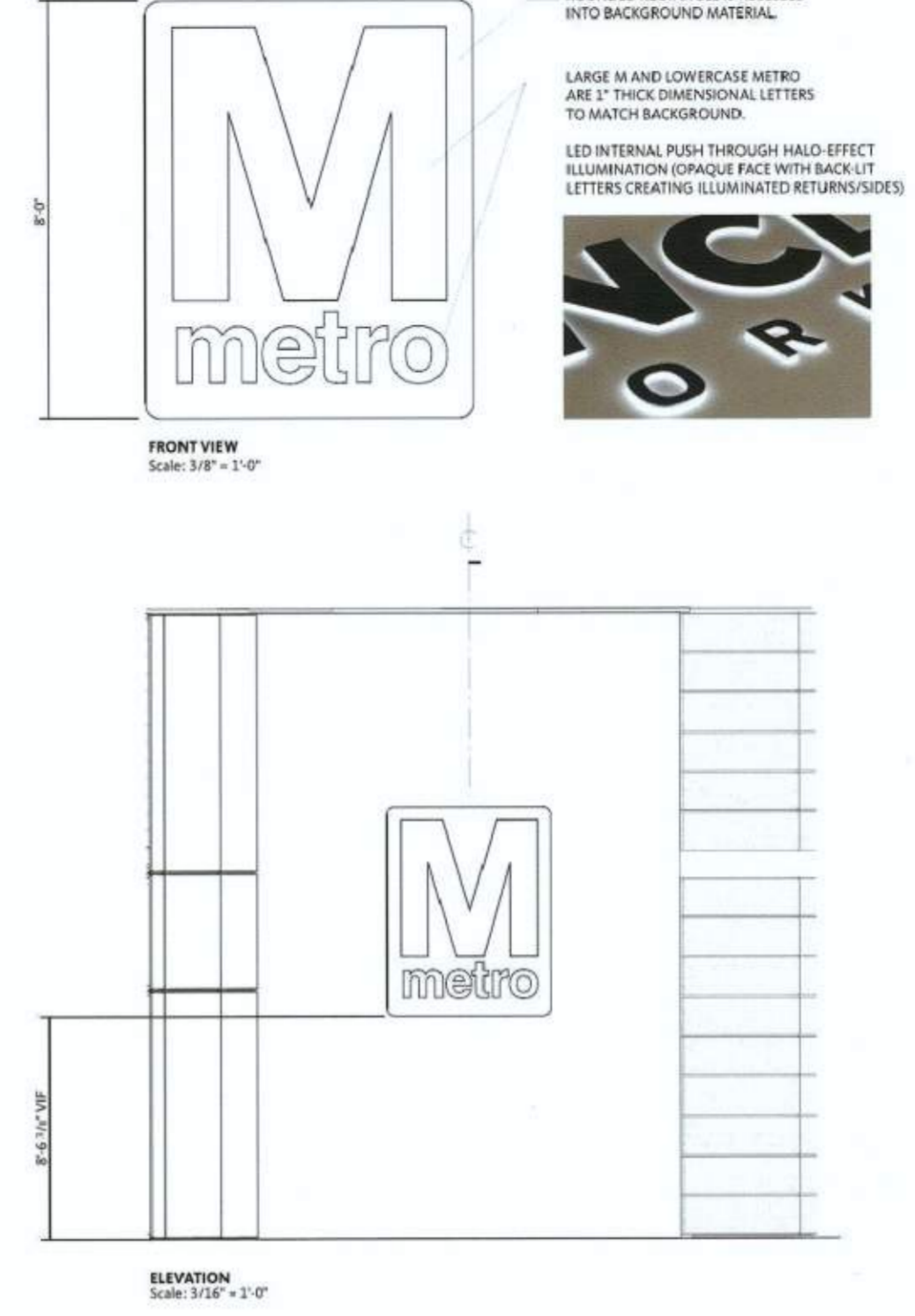
1 PARKING ENTRANCE SIGNAGE



2 LOADING DOCK SIGNAGE



3 VISITOR PARKING SIGN



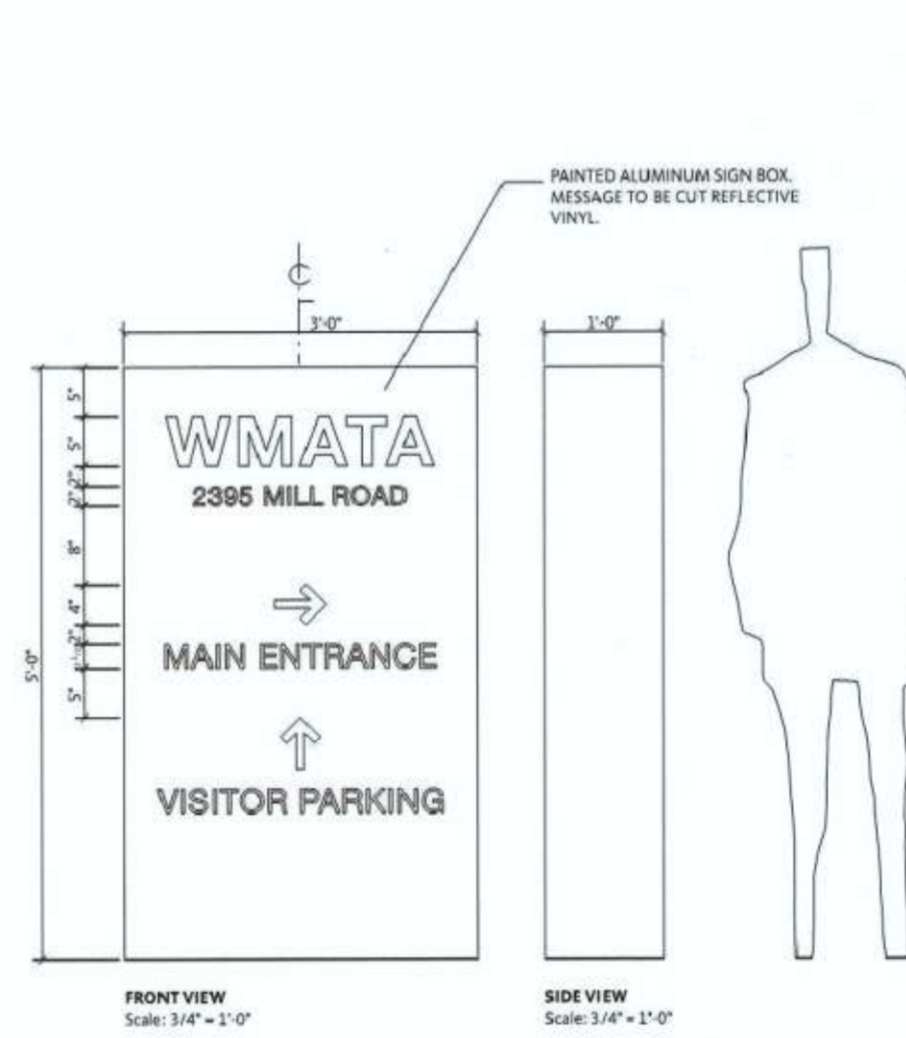
4 SIDE ENTRY SIGNAGE



5 SIGN ON ENTRANCE GLAZING



6 STREET ADDRESS ABOVE MAIN ENTRY DOOR



8 PARKING ENTRY SIGNAGE

*GENERAL NOTE: FONT FAMILY USED FOR ALL SIGNAGE IS HELVETICA NEUE

SIGNAGE LEGEND

- 01 PARKING GARAGE ENTRY SIGN
- 02 LOADING DOCK SIGN
- 03 VISITOR PARKING SIGN & ARROW
- 04 "M" LOGO SIGN ON METAL
- 05 SIGN ON ENTRANCE GLAZING
- 06 STREET ADDRESS ABOVE ENTRY DOORS
- 07 FIRE COMMAND CENTER SIGN
- 08 VISITOR PARKING SIGN

APPROVED 2018-0028
 SPECIAL USE PERMIT NO.
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR: [Signature] DATE: 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO.: [Signature] DATE: 11/6/19
 CHAIRMAN, PLANNING COMMISSION
 DATE RECORDED: _____
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

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01 SIGNAGE DETAILS
SCALE: 6" = 1'-0"

WMATA
Eisenhower Ave
Office Building
 2395 Mill Road Alexandria, VA

Gensler

2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel 202.721.5200
 Fax 202.872.8587

Jair Lynch

Jair Lynch Real Estate
 Partners
 1400 16th Street NW
 Suite 430
 Washington, DC 20036
 Tel 202.462.1092

KDA

K. Dixon Architecture, PLLC
 137 National Plaza
 Suite 300
 National Harbor, MD 20745
 Tel 301.364.5053

Bowman

Bowman Consulting
 12355 Sunrise Valley Drive
 Suite 520
 Reston, VA 20191
 Tel 703.464.1000

Setty

Setty
 1415 Elliot Place, NW
 Suite 100
 Washington, DC 20007
 Tel 202.393.1523

CGLA

Landscape Architecture
 1025 Connecticut Avenue, NW
 Suite 1000
 Washington, DC 20036
 Tel 202.657.9720

Thornton Tomasetti

Thornton Tomasetti
 2001 K Street, NW
 Suite 800 North
 Washington, DC 20006
 Tel 202.580.6300

A+F Engineers

A+F Engineers
 1112 16th Street NW
 Suite 920
 Washington, DC 20036
 Tel 202.628.1600

Jensen Hughes

Jensen Hughes
 4601 Fairfax Drive
 Suite 1200
 Arlington, VA 22203
 Tel 703.348.8398

Michael Blades

Michael Blades & Associates,
 Ltd
 5409 Rapidan Court
 Lothian, MD 20711
 Tel 410.798.8504

Date	Description
09.12.2019	3RD FDSUP SUBMISSION
10.03.2019	4TH FDSUP SUBMISSION
10.30.2019	MYLAR



Seal / Signature

NOT FOR CONSTRUCTION

Project Name
2395 MILL ROAD

Project Number
009.8974.000

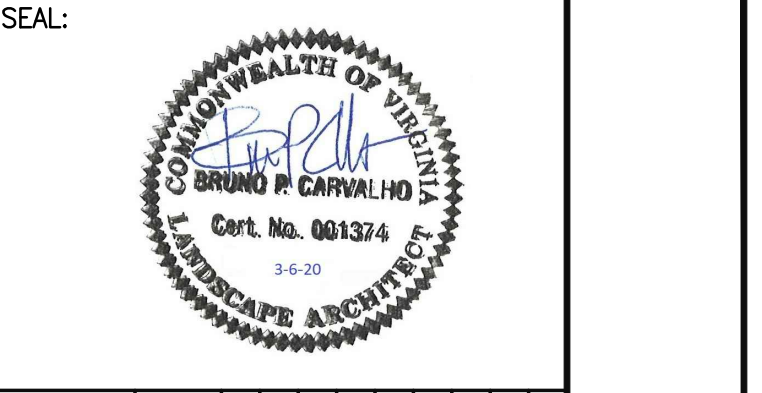
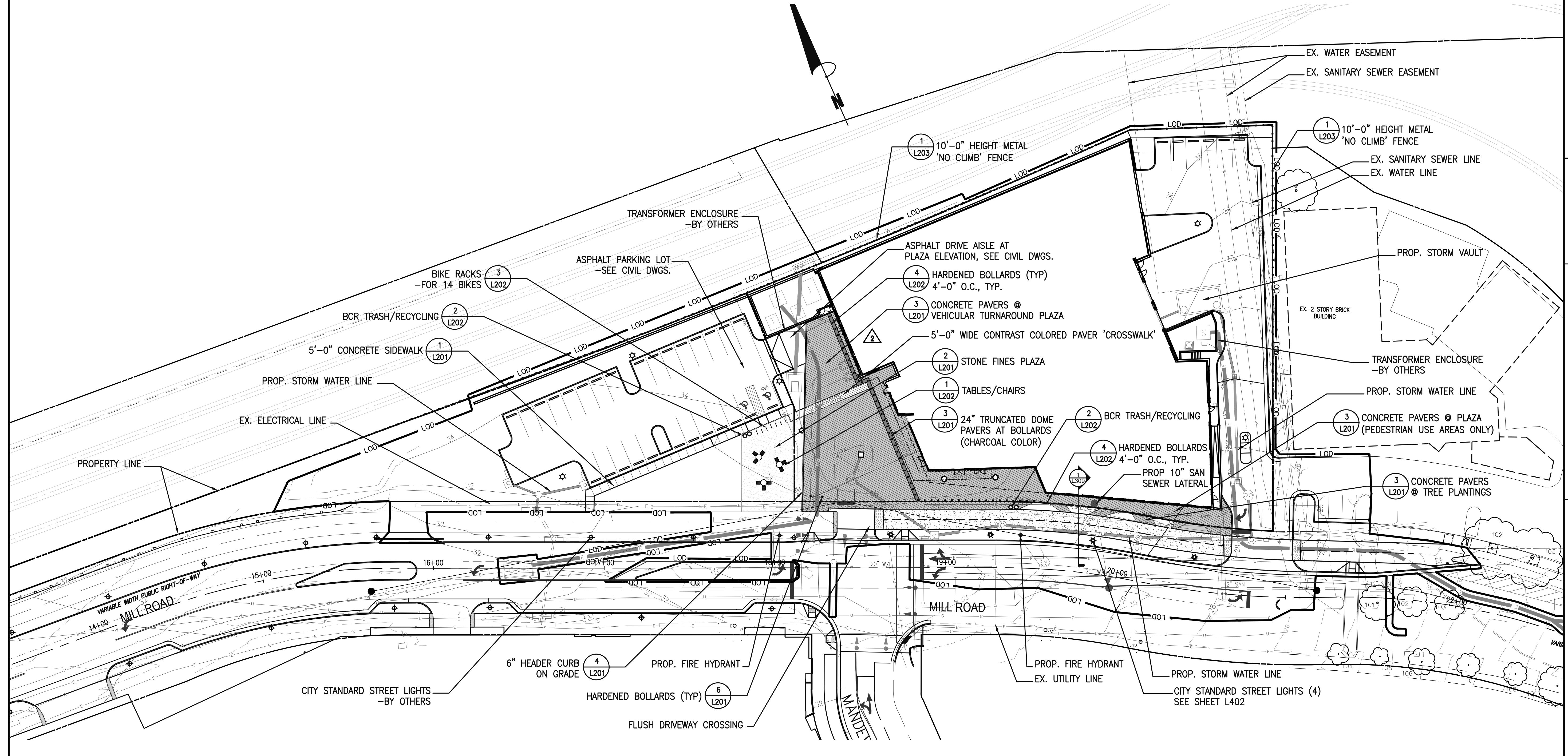
Description
SIGNAGE DETAILS

Scale
6" = 1'-0"

A206

THIS INFORMATION, NOT CUSTOMARILY IN THE PUBLIC DOMAIN, IS VOLUNTARILY SUBMITTED TO THE CITY OF ALEXANDRIA IN EXPECTATION OF PROTECTION FROM DISCLOSURE AS PROVIDED BY VIRGINIA FOIA § 2.2-3705.2(14), TO THE EXTENT PERMITTED BY LAW.

DATE	DESCRIPTION	PLAN STATUS
12/20/19	PROGRESS PRINTING	ISSUED FOR SUP - ORIGINAL
2/11/20	ISSUED FOR PERM/COMP	ISSUED FOR SUP - OWNER REVIEW



REVISION APPROVED BY		DATE	APPROVED
NO.	DESCRIPTION	DATE	APPROVED
1	SITE PLAN	3/16/20	

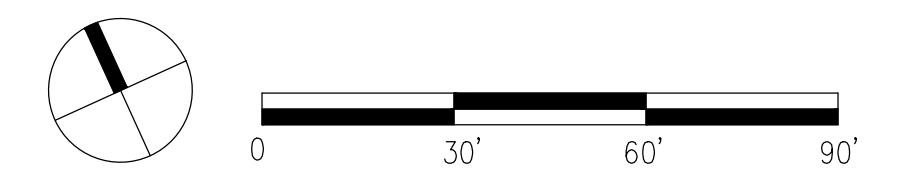
2395 MILL ROAD FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:
SITE PLAN

- LIGHTING LEGEND:**
- ✱ PROPOSED ON-SITE LIGHTING -SEE SHEET L403
 - ✱ PROPOSED STREET LIGHTING -SEE SHEET L402
 - ◆ STREET LIGHTING BY OTHERS -INCLUDED IN HOFFMAN TOWN CENTER 2410 & 2460 MILL ROAD BY STONEBRIDGE

NOTE:
LANDSCAPING AROUND THE EQUIPMENT ENCLOSURE TO BE ADDED THROUGH A MINOR AMENDMENT. APPROVAL OF THE MINOR AMENDMENT TO THE DEPARTMENT OF PLANNING & ZONING WILL OCCUR PRIOR TO SUBMITTAL OF THE WALL CHECK, AS REQUIRED BY CONDITION #86. NO COMMENCEMENT OF BUILDING FRAMING WILL OCCUR UNLESS THIS MINOR AMENDMENT HAS BEEN SUBMITTED AND APPROVED.

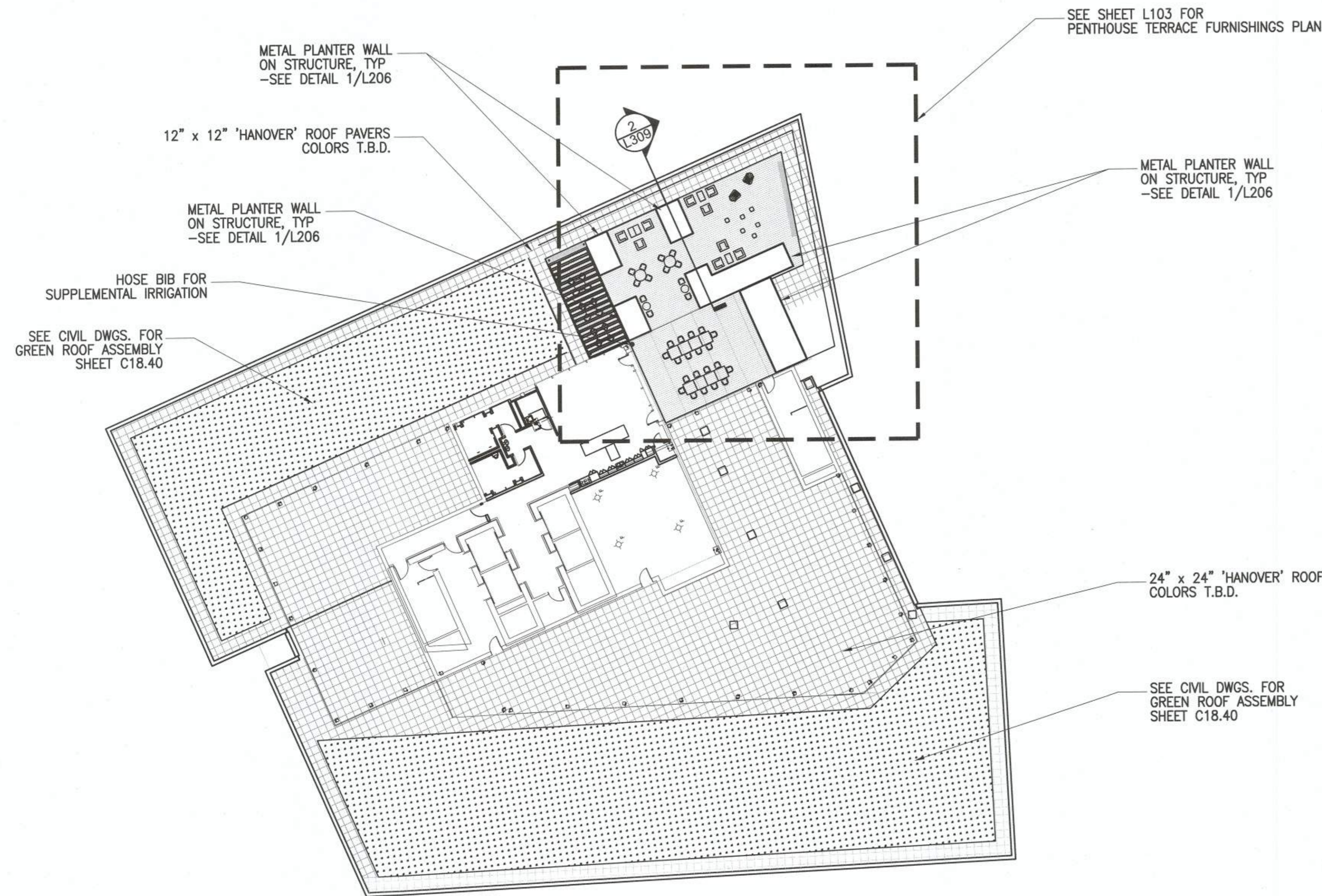


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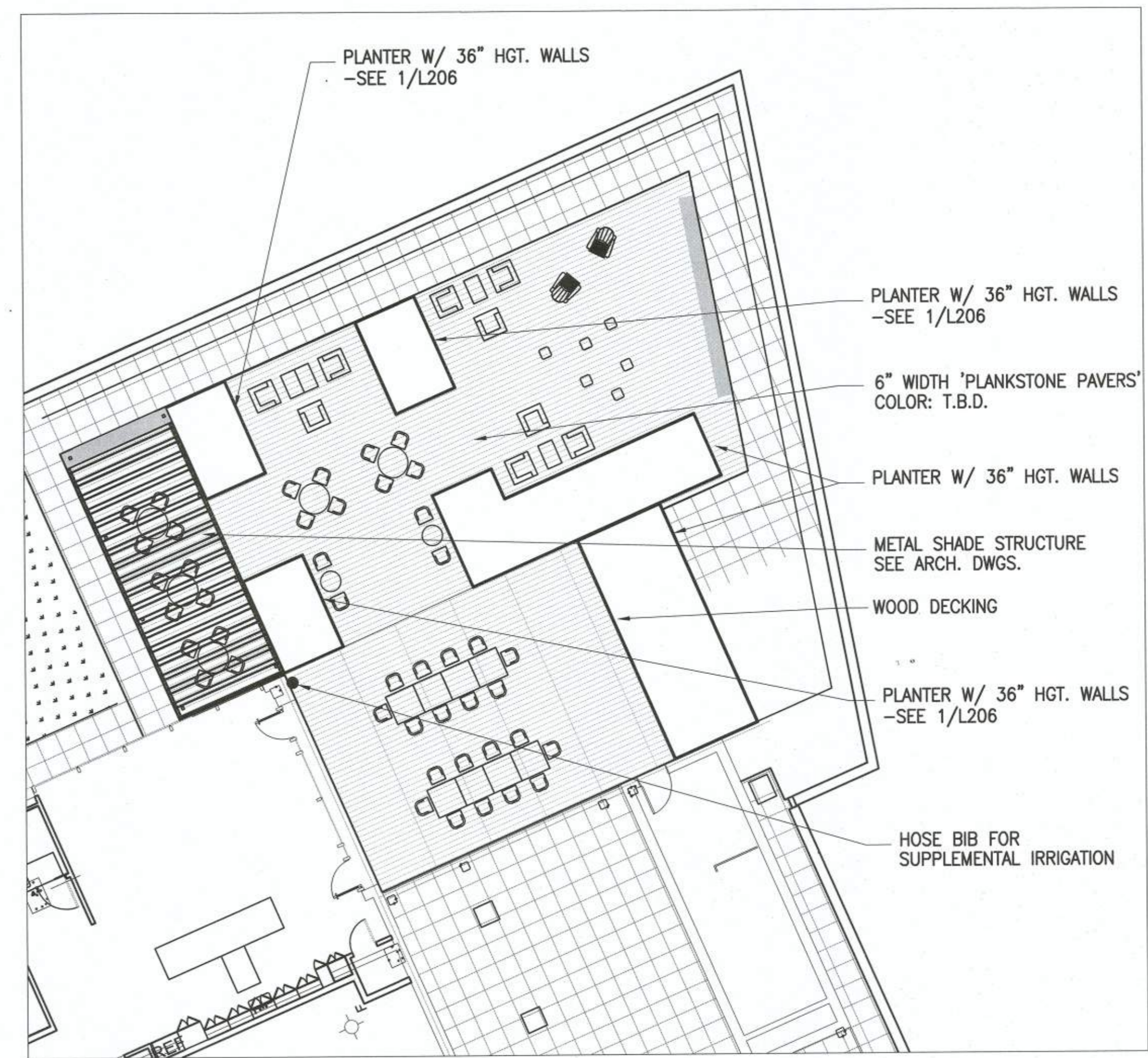
APPROVED
SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No.	
<i>John V.</i>	3.26.20
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
	PAGE NO.

NOTE:
1. SEE SHEET L303 FOR PENTHOUSE LANDSCAPE PLAN



1 PENTHOUSE TERRACE PLAN
SCALE: 1"=20'-0"



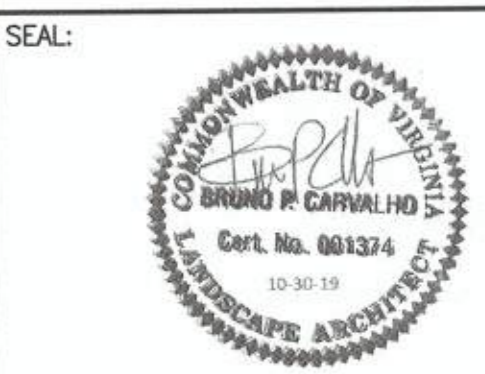
2 PENTHOUSE TERRACE SEATING AREA
SCALE: 1"=10'-0"



CGIA
COMMUNITY DESIGN GROUP
WWW.CGLADC.COM

DATE: JULY, 2019
DRAWN: [Signature]

DATE	DESCRIPTION	PLAN STATUS
09/17/19	3RD PERM SUBMISSION	10/03/19 4TH PERM SUBMISSION
09/20/19	ISSUED FOR DESIGN DEV.	10/30/19 1/19

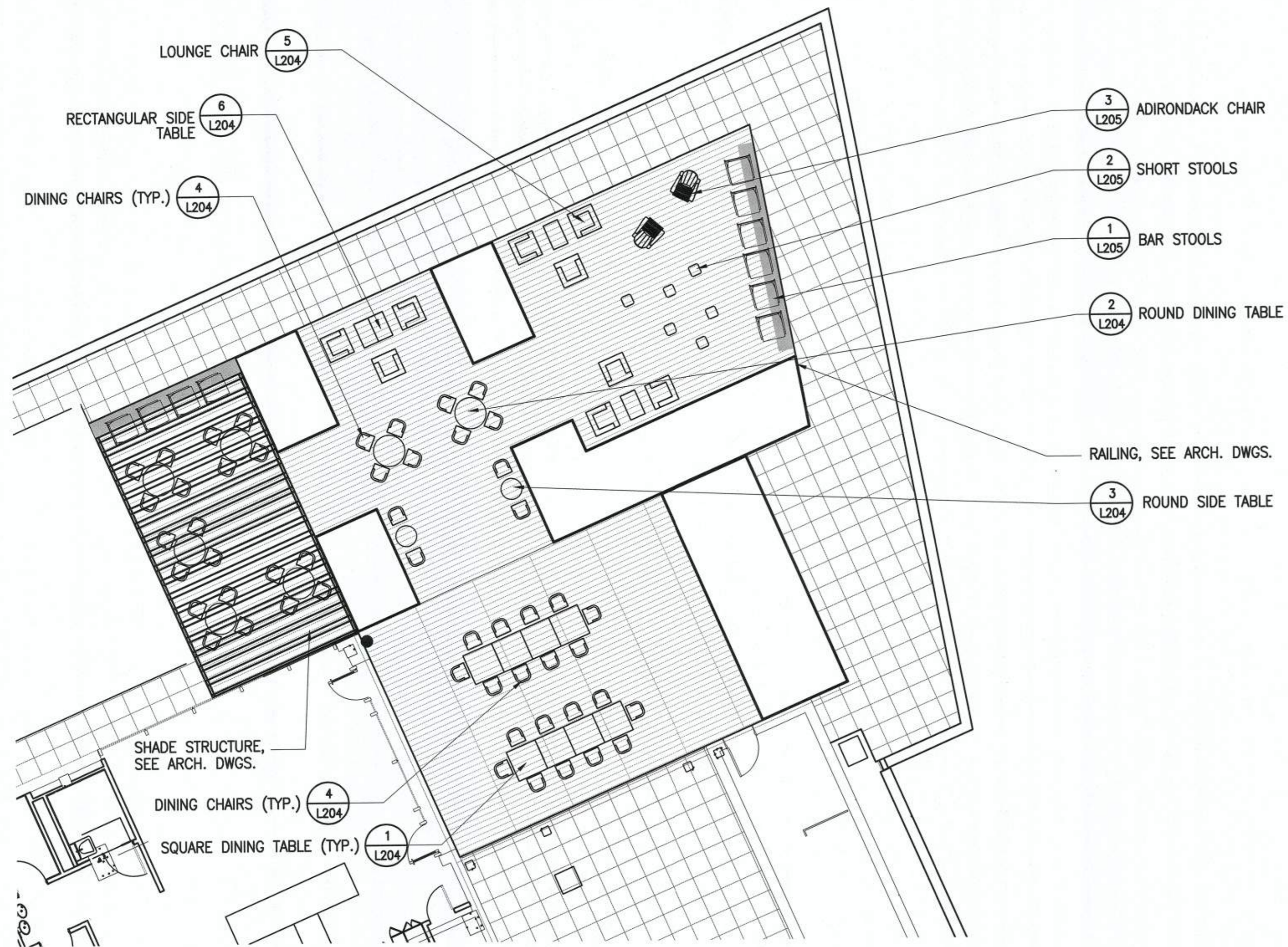


REVISION APPROVED BY		DATE
NO.	DESCRIPTION	DATE

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

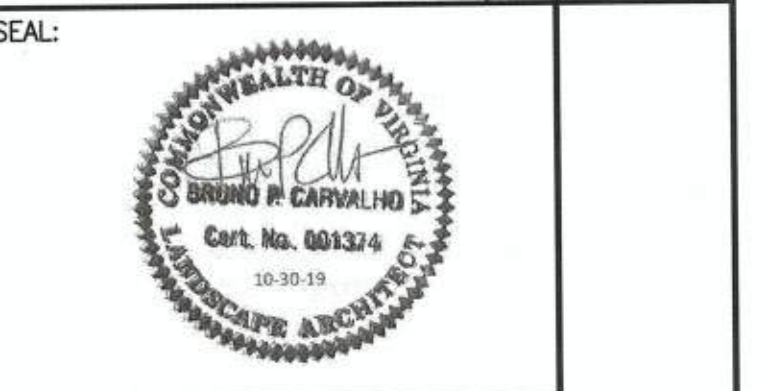
SHEET NAME:
PENTHOUSE TERRACE PLAN

APPROVED
SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
DIRECTOR [Signature] DATE 11/6/19
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. [Signature] DATE 11/21/19
CHAIRMAN, PLANNING COMMISSION DATE 11/6/19
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.



1 PENTHOUSE TERRACE FURNISHINGS PLAN
SCALE: 1/8"=1'-0"

SCALE:	DATE:	JULY, 2019	DRAWN:
PLAN STATUS:	DATE:	10/03/19	4TH FDSP SUBMISSION
DESCRIPTION:	DATE:	10/30/19	FINAL
DATE:	DESCRIPTION:	09/12/19	3RD FDSP SUBMISSION
DATE:	DESCRIPTION:	09/20/19	ISSUED FOR DESIGN DEV.



REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:
PENTHOUSE TERRACE FURNISHINGS PLAN

APPROVED
SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

Christopher P. Carroll DATE 11/6/19
DIRECTOR

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. *1/24/19*
DIRECTOR DATE

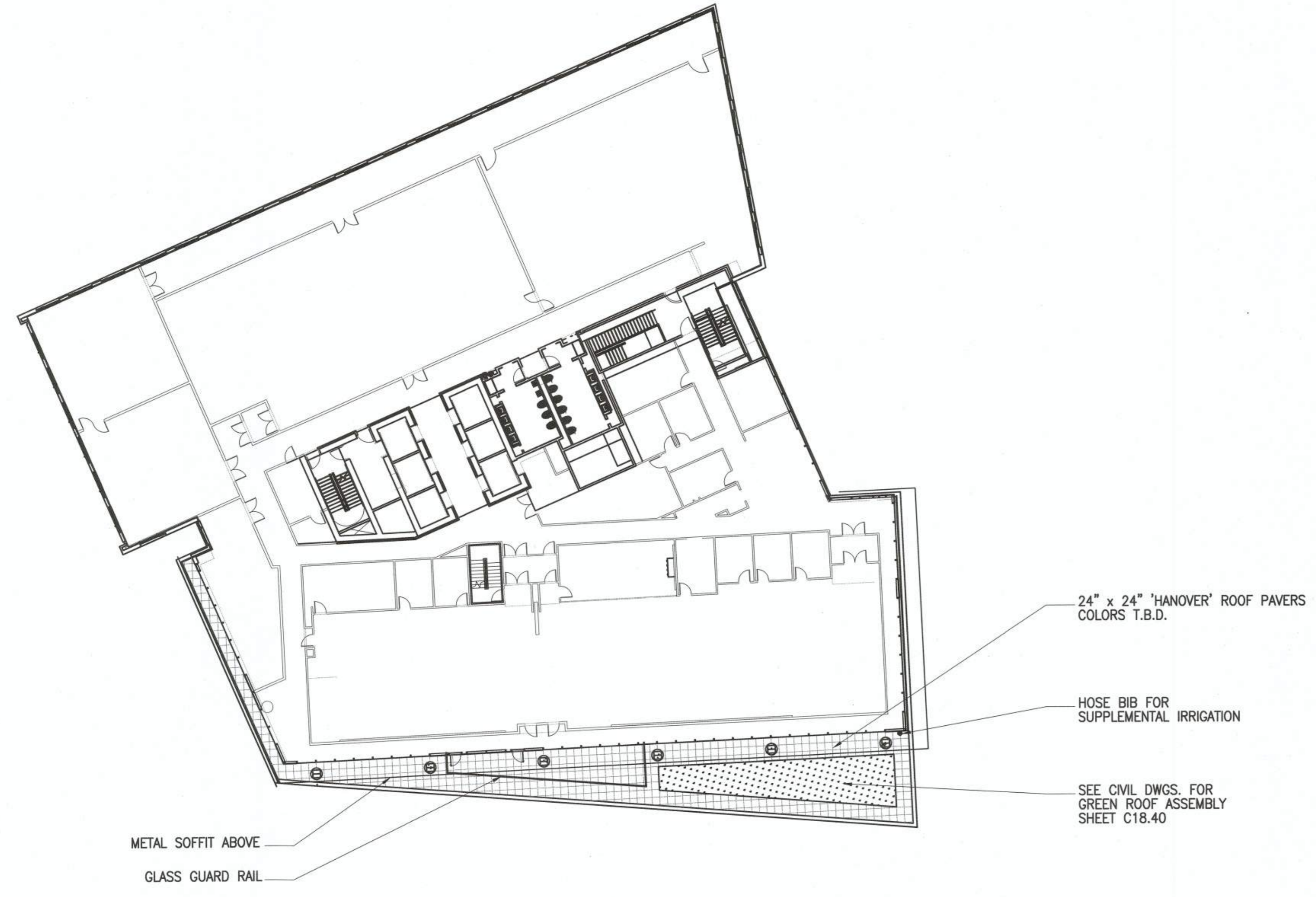
Christopher P. Carroll DATE 11/6/19
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

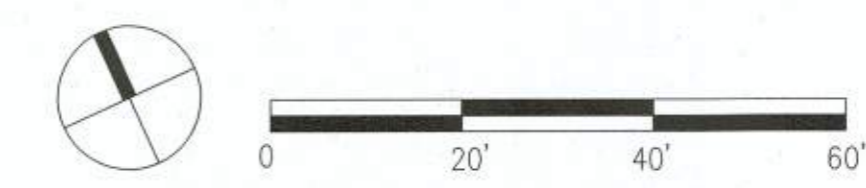


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NOTE:
1. SEE SHEET L304 FOR 5TH FLOOR LANDSCAPE PLAN



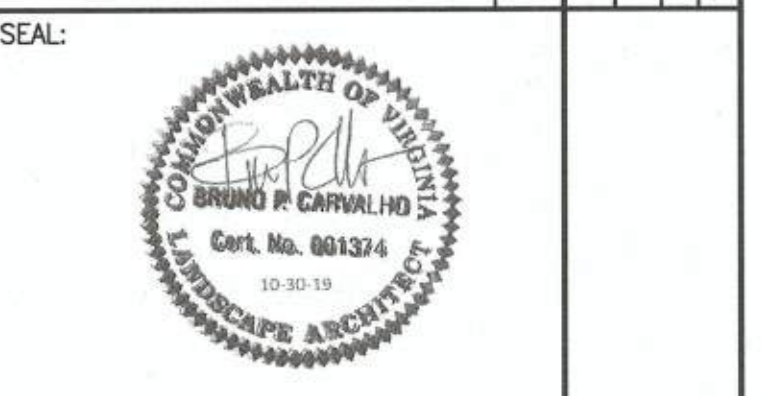
1 5TH FLOOR TERRACE PLAN
SCALE: 1"=20'-0"



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Peer Review

CGIA
landscape architecture
planning, urban design
WWW.CGLADC.COM

SCALE:	DATE:	JULY, 2019	DRAWN:
PLAN STATUS		DATE	DESCRIPTION
09/27/19	3RD DISIP. SUBMISSION	10/03/19	4TH DISIP. SUBMISSION
09/29/19	ISSUED FOR DESIGN DEV.	10/30/19	10/19/19



REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:
5TH FLOOR TERRACE PLAN

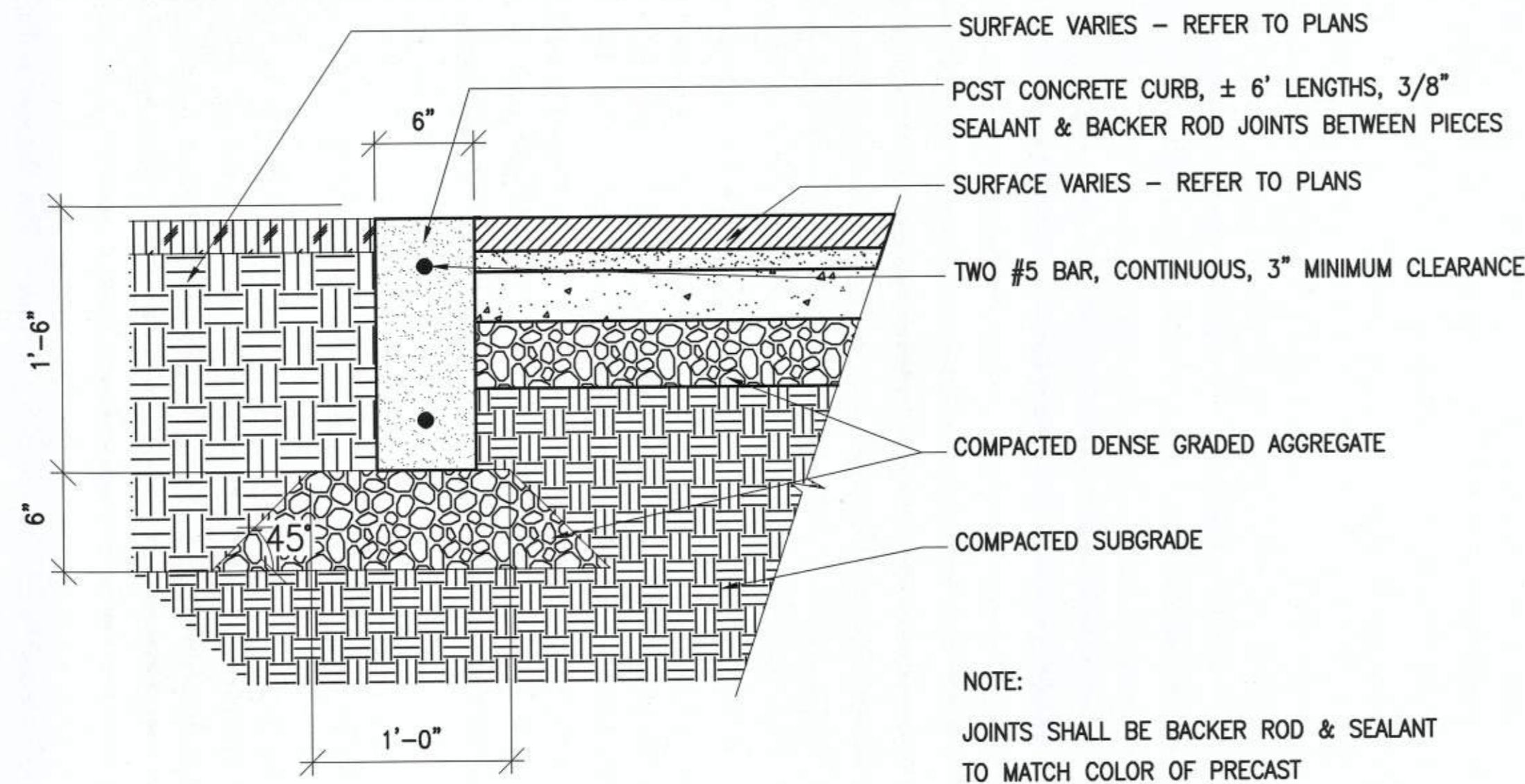
APPROVED
SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING
DIRECTOR: *Atanilla For KM* DATE: 11/6/19

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. *11/6/19*

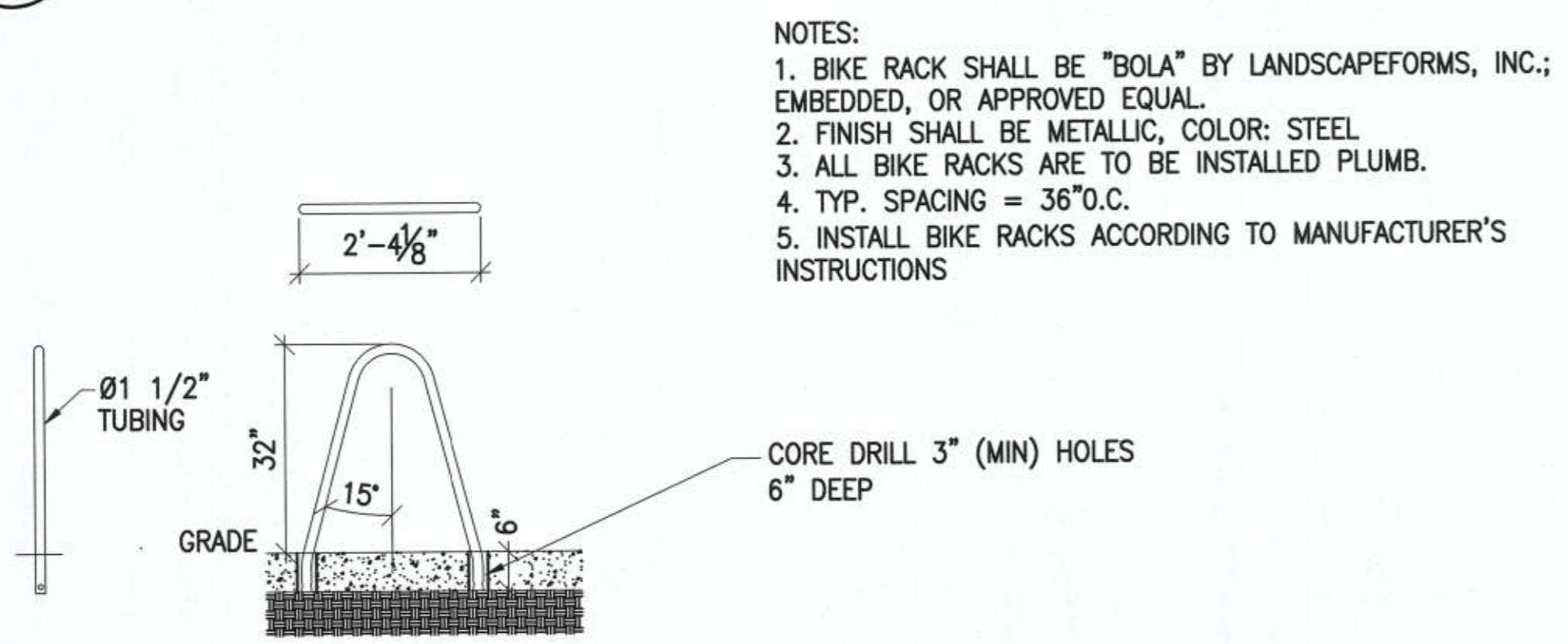
CHAIRMAN, PLANNING COMMISSION: *Atanilla For KM* DATE: 11/6/19

DATE RECORDED: _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



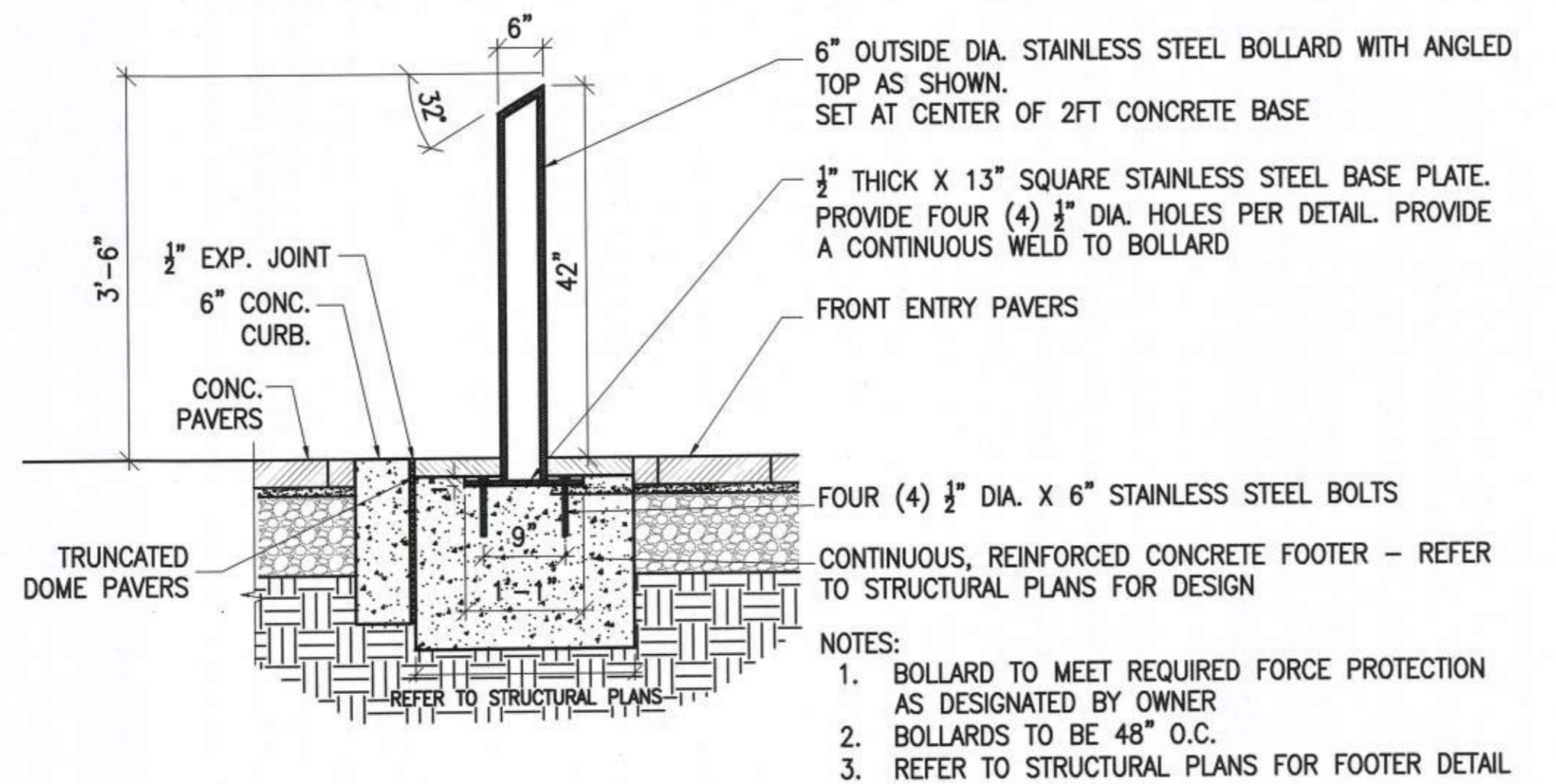
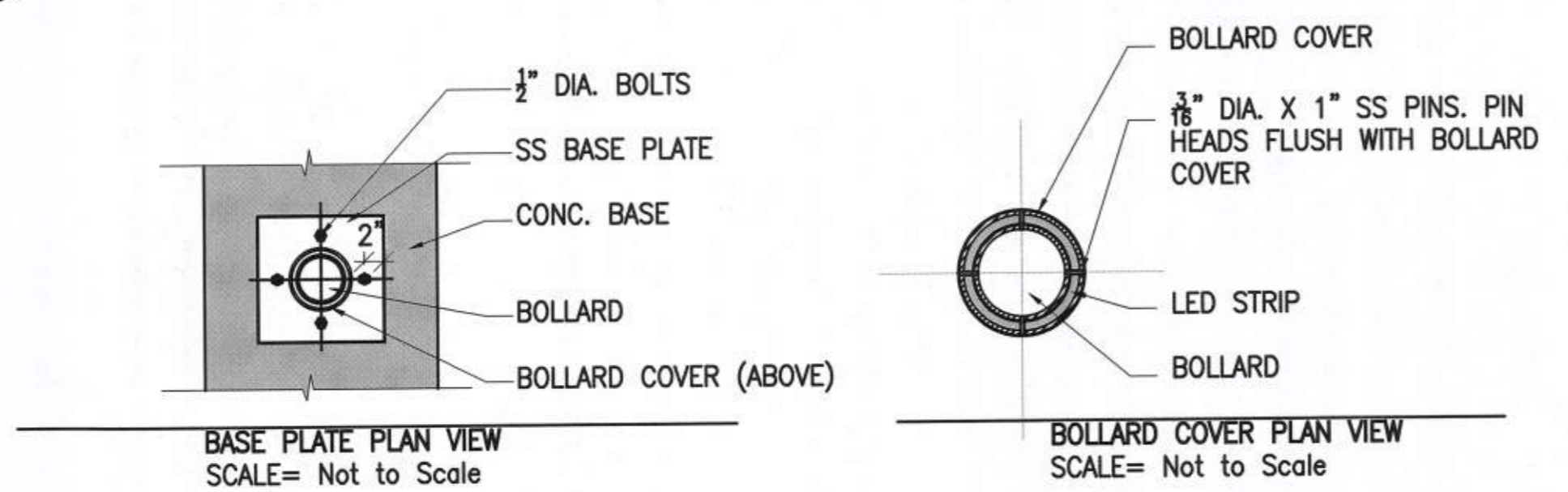
4 6" HEADER CURB ON GRADE
SCALE: 1 1/2" = 1'-0" (pave03d)

NOTE:
JOINTS SHALL BE BACKER ROD & SEALANT TO MATCH COLOR OF PRECAST



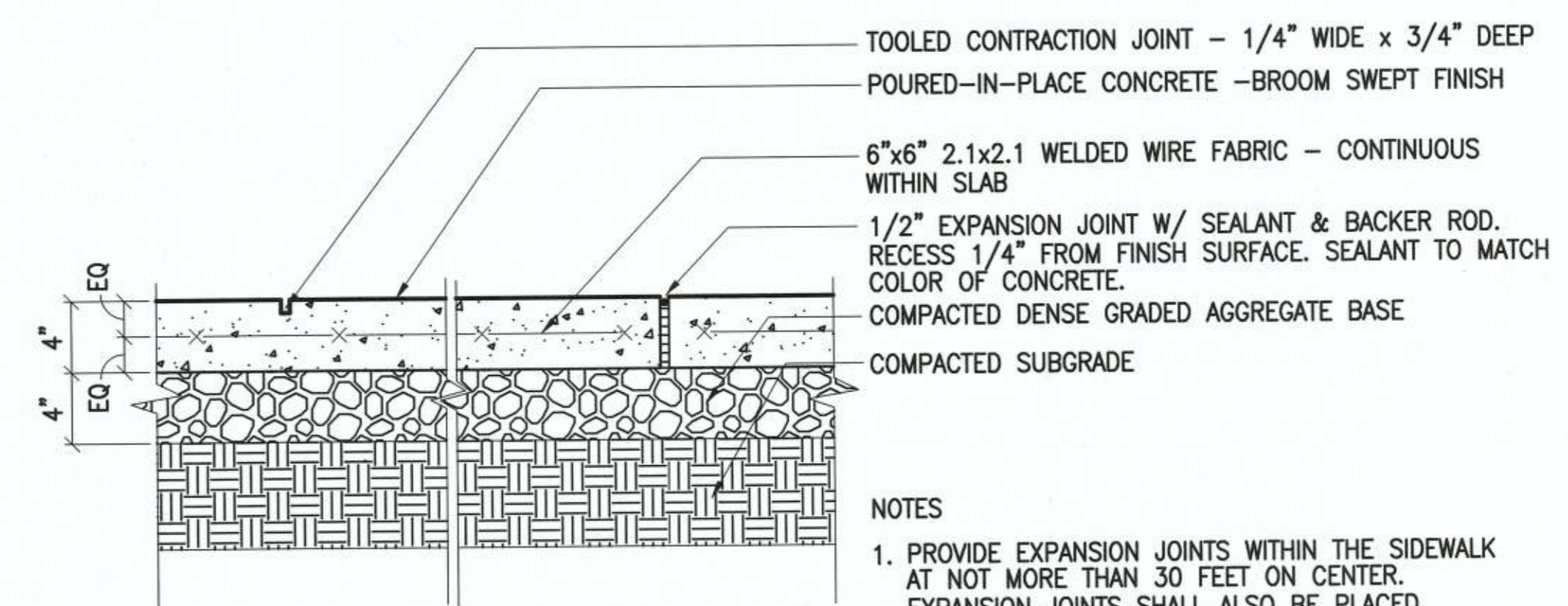
5 BIKE RACKS
SCALE: 1/2" = 1'-0" (BIKE01F)

NOTES:
1. BIKE RACK SHALL BE "BOLA" BY LANDSCAPEFORMS, INC.; EMBEDDED, OR APPROVED EQUAL.
2. FINISH SHALL BE METALLIC, COLOR: STEEL
3. ALL BIKE RACKS ARE TO BE INSTALLED PLUMB.
4. TYP. SPACING = 36" O.C.
5. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S INSTRUCTIONS



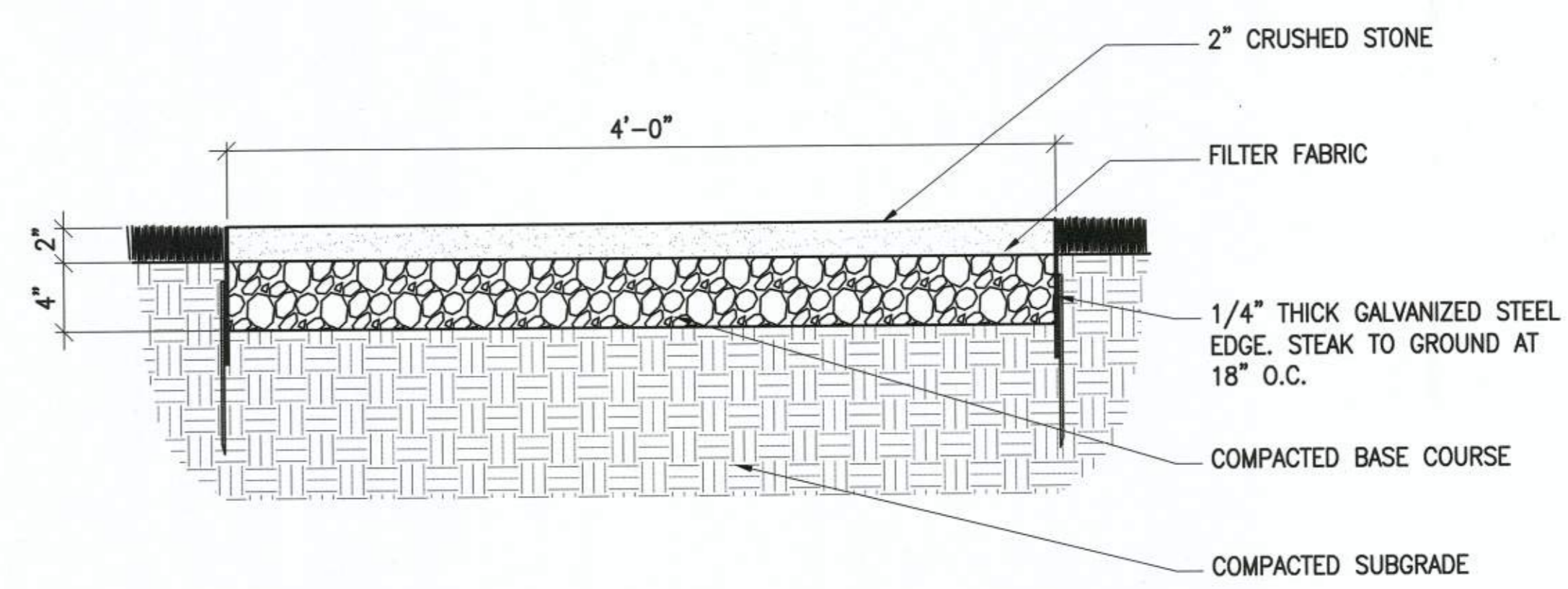
6 HARDENED BOLLARD ON GRADE
SCALE: 3/4" = 1'-0" (BOLLARD01E)

NOTES:
1. BOLLARD TO MEET REQUIRED FORCE PROTECTION AS DESIGNATED BY OWNER
2. BOLLARDS TO BE 48" O.C.
3. REFER TO STRUCTURAL PLANS FOR FOOTER DETAIL

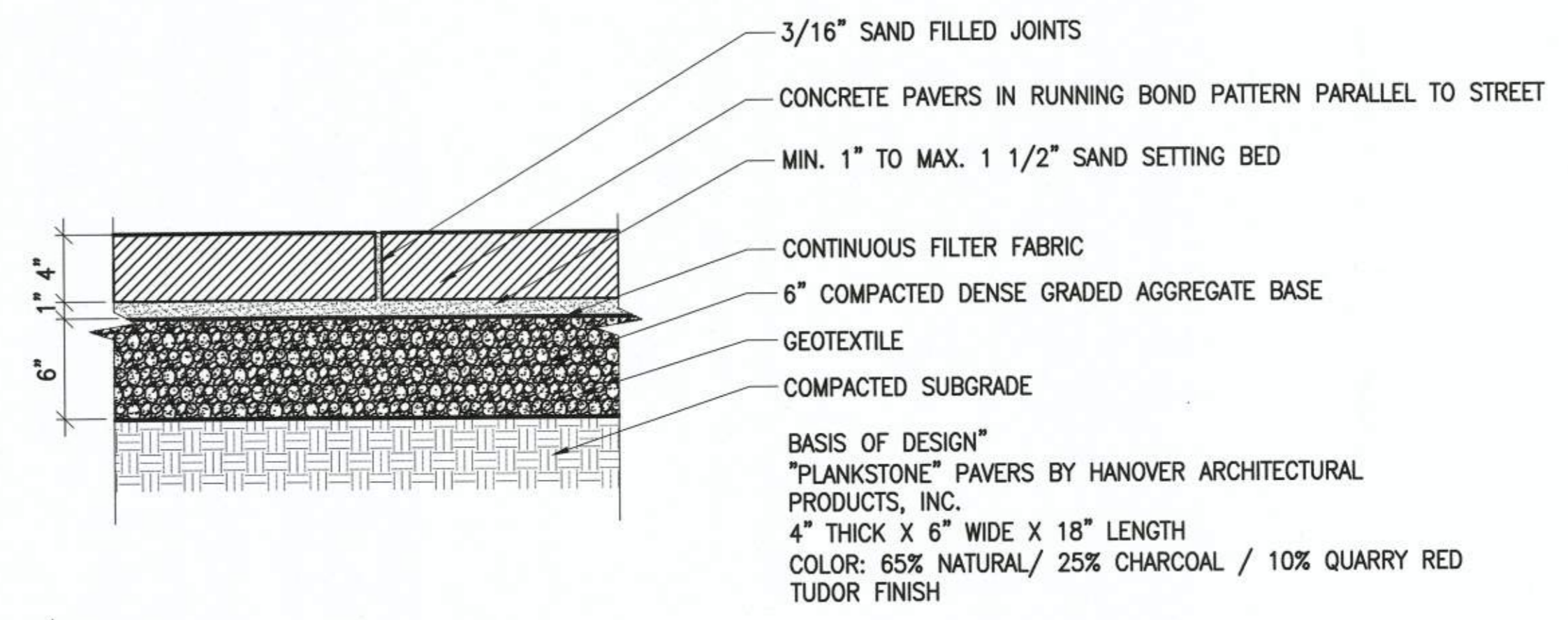


1 CONCRETE SIDEWALK
SCALE: 1 1/2" = 1'-0" (pave01D)

NOTES
1. PROVIDE EXPANSION JOINTS WITHIN THE SIDEWALK AT NOT MORE THAN 30 FEET ON CENTER. EXPANSION JOINTS SHALL ALSO BE PLACED WHERE SIDEWALKS ABUT FIXED OBJECTS INCLUDING CURBS, STAIRS, WALLS, AND EXISTING CONCRETE PAVING.



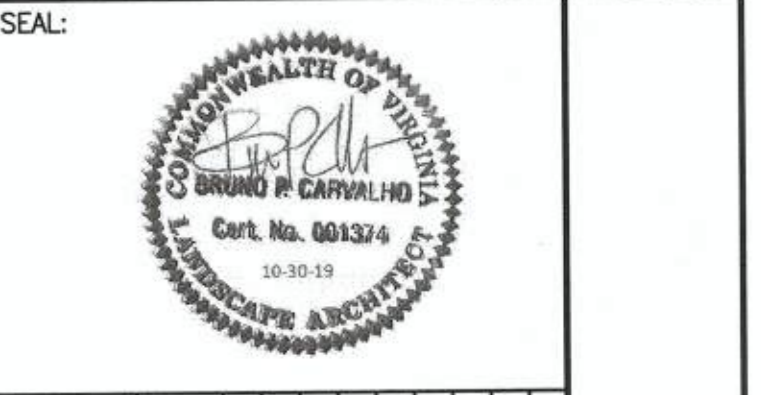
2 STONE FINES PLAZA
SCALE: 1 1/2" = 1'-0" (CrushedStone01D)



3 CONCRETE PAVERS • VEHICULAR TURNAROUND PLAZA
SCALE: 1 1/2" = 1'-0" (ConcretePaversVehicularArea02D)

BASIS OF DESIGN
"PLANKSTONE" PAVERS BY HANOVER ARCHITECTURAL PRODUCTS, INC.
4" THICK X 6" WIDE X 18" LENGTH
COLOR: 65% NATURAL / 25% CHARCOAL / 10% QUARRY RED TUDOR FINISH

DATE	DESCRIPTION	PLAN STATUS
09/20/19	3RD FICSP SUBMISSION	DATE
09/20/19	ISSUED FOR DESIGN DEV.	10/03/19
		14TH FICSP SUBMISSION
		10/20/19
		FINAL



NO.	DESCRIPTION	DATE	APPROVED BY

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

APPROVED SPECIAL USE PERMIT NO. 2018-0028

DEPARTMENT OF PLANNING & ZONING

[Signature] 11/6/19
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

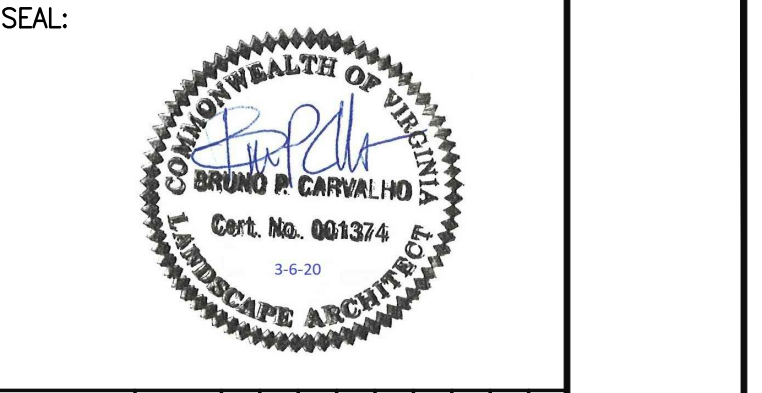
[Signature] 11/6/19
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

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Peer Review

DATE	DESCRIPTION	PLAN STATUS	DATE	DESCRIPTION
12/20/19	PROGRESS PRINTING		3/20/20	ISSUED FOR BIP - ADDITIONAL
2/11/20	ISSUED FOR PERM/COMP		3/20/20	ISSUED FOR BIP - OWNER REVIEW



REVISION APPROVED BY		DATE	APPROVED
NO.	DESCRIPTION	DATE	APPROVED
1	△ SITE PLAN	3/16/20	

2395 MILL ROAD

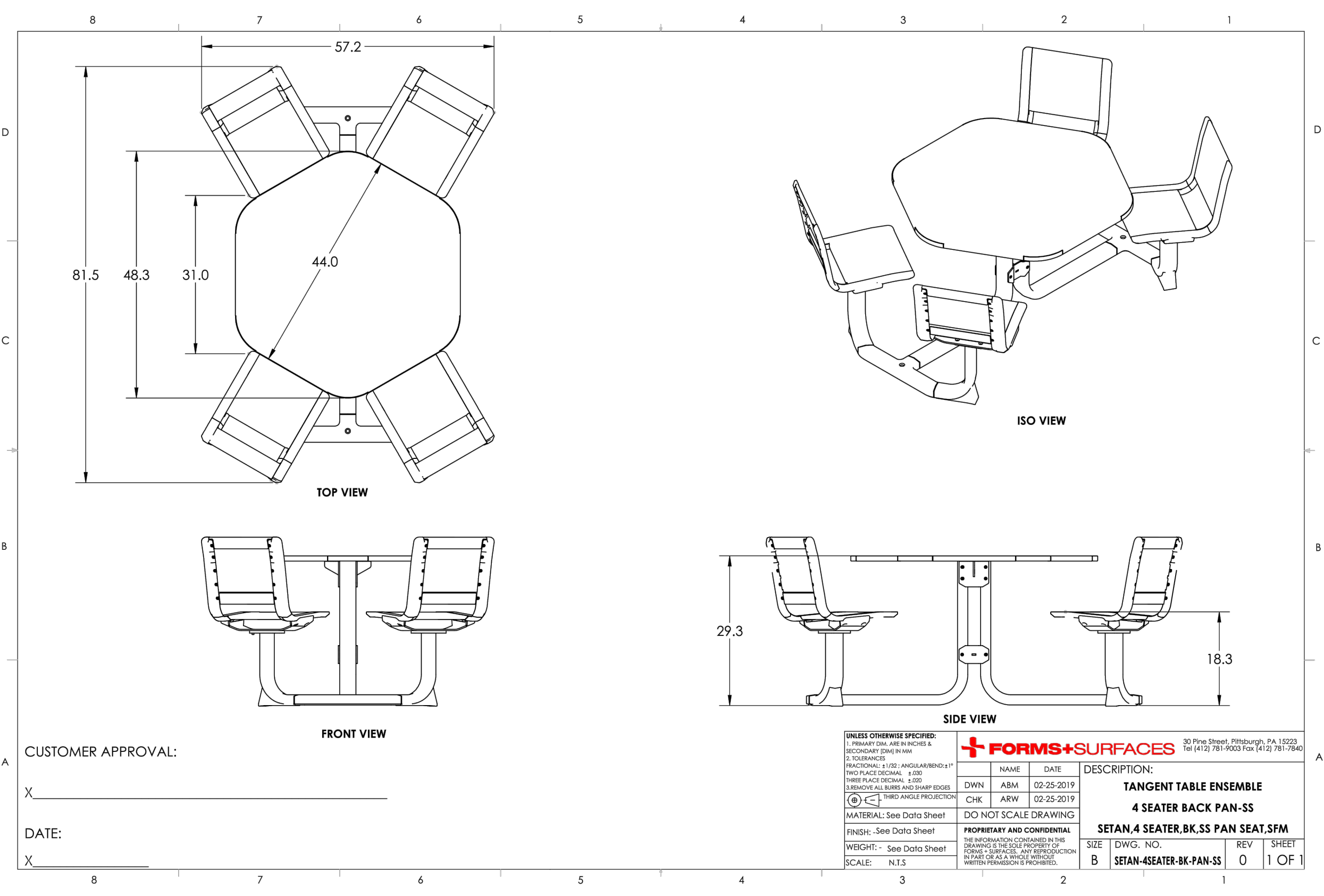
FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:
SITE DETAILS - FURNISHINGS

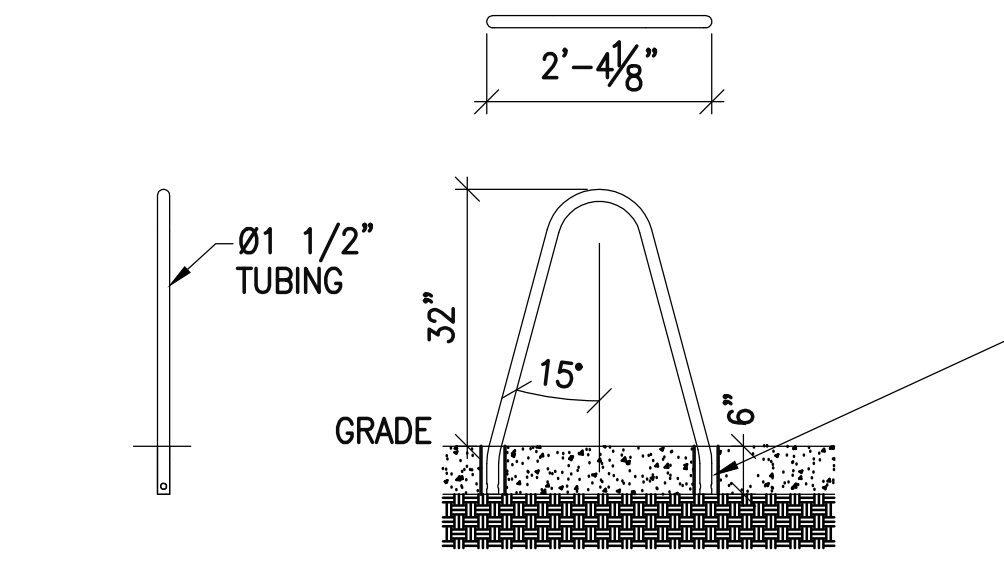
APPROVED		2018-0028
SPECIAL USE PERMIT NO.		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR	DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No.		
<i>John V.</i>	3.26.20	
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED		
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

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Peer Review



NAME	DATE	DESCRIPTION
DWN: ARW	02-25-2019	TANGENT TABLE ENSEMBLE
CHK: ARW	02-25-2019	4 SEATER BACK PAN-SS
		4 SEATER BK PAN-SS
		SETAN-4SEATER-BK-PAN-SS
		REV: 0
		SHEET: 1 OF 1

- NOTES:**
- BIKE RACK SHALL BE "BOLA" BY LANDSCAPEFORMS, INC.; EMBEDDED, OR APPROVED EQUAL.
 - FINISH SHALL BE METALLIC, COLOR: STEEL
 - ALL BIKE RACKS ARE TO BE INSTALLED PLUMB.
 - TYP. SPACING = 36" O.C.
 - INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S INSTRUCTIONS

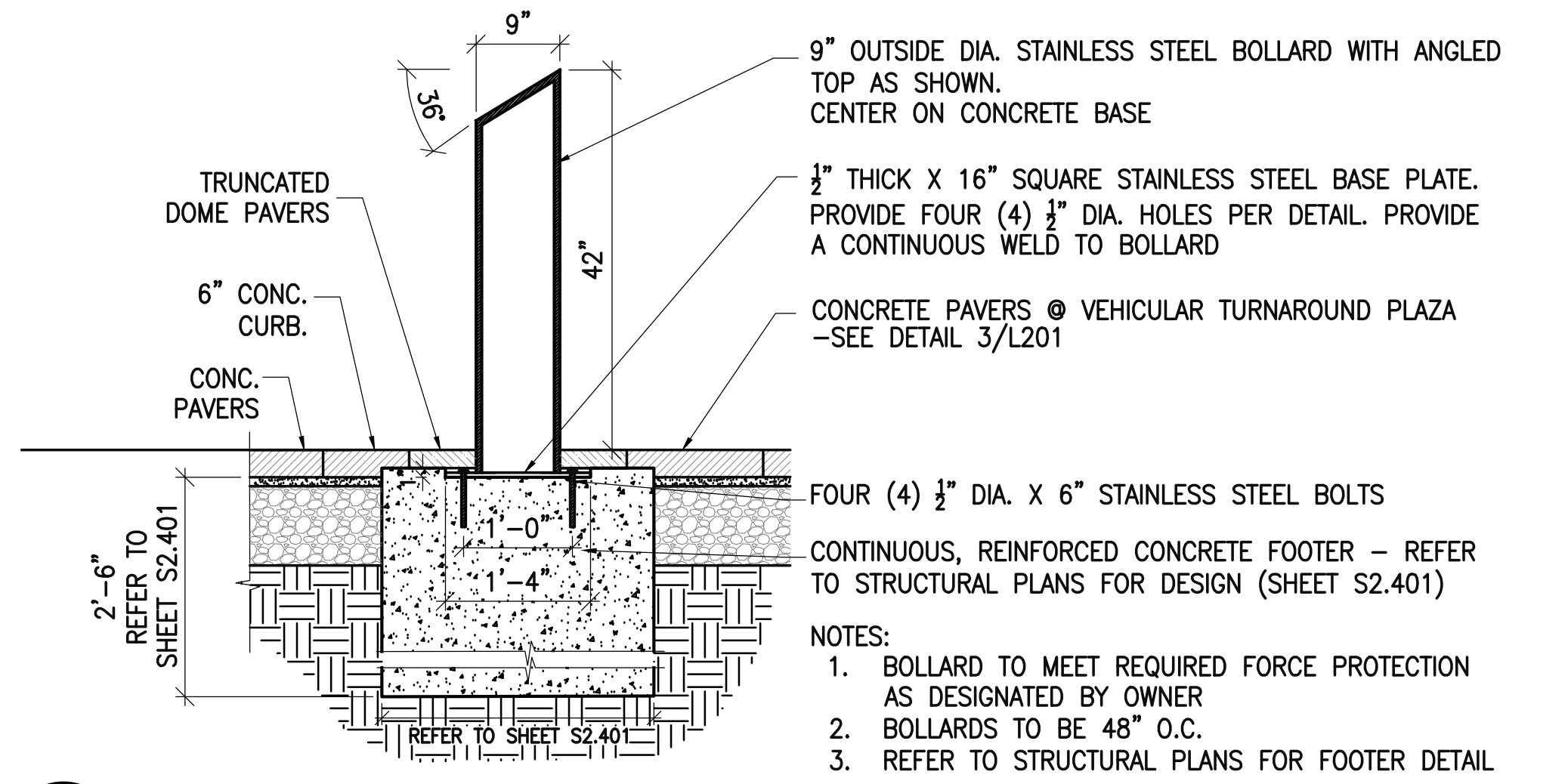
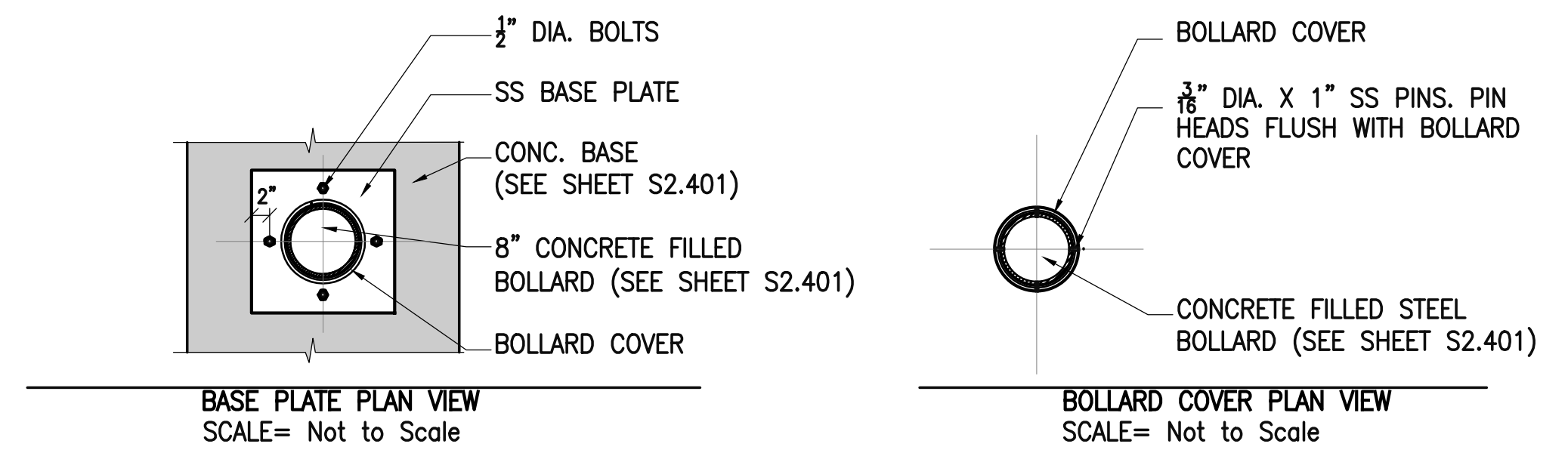


3 BIKE RACKS

SCALE: 1/2" = 1'-0" (BIKE01F)

1 TABLES/CHAIRS

SCALE: NOT TO SCALE



BCR L3 Technical Specifications

- Protection: Level 3.
- Diameter: 760 mm (30 inches).
- Height: 994 mm (39 inches).
- Weight: 600 kg (1100 lbs.).
- Internal Volume: 40 gallons (150 liters).

Certification

Blast Containment Receptacles are certified with the newest ASTM E2740 & E2639 Revision 12 standards, and approved by the Department of Homeland Security.

Options

- Stainless steel cladding or painted exterior finish
- Single or bifurcated plastic lid and liner for double stream waste recycling.
- Floor anchoring
- Ashtray
- Rain cover

*Color of BCR can be changed according to customer preferences.

BCR TRASH RECEPTACLES

MISTRAL SECURITY
BCR L3
FINISH: WMATA STANDARD, BODY: STAINLESS STEEL LID: SINGLE, BLACK
QUANTITY: 2

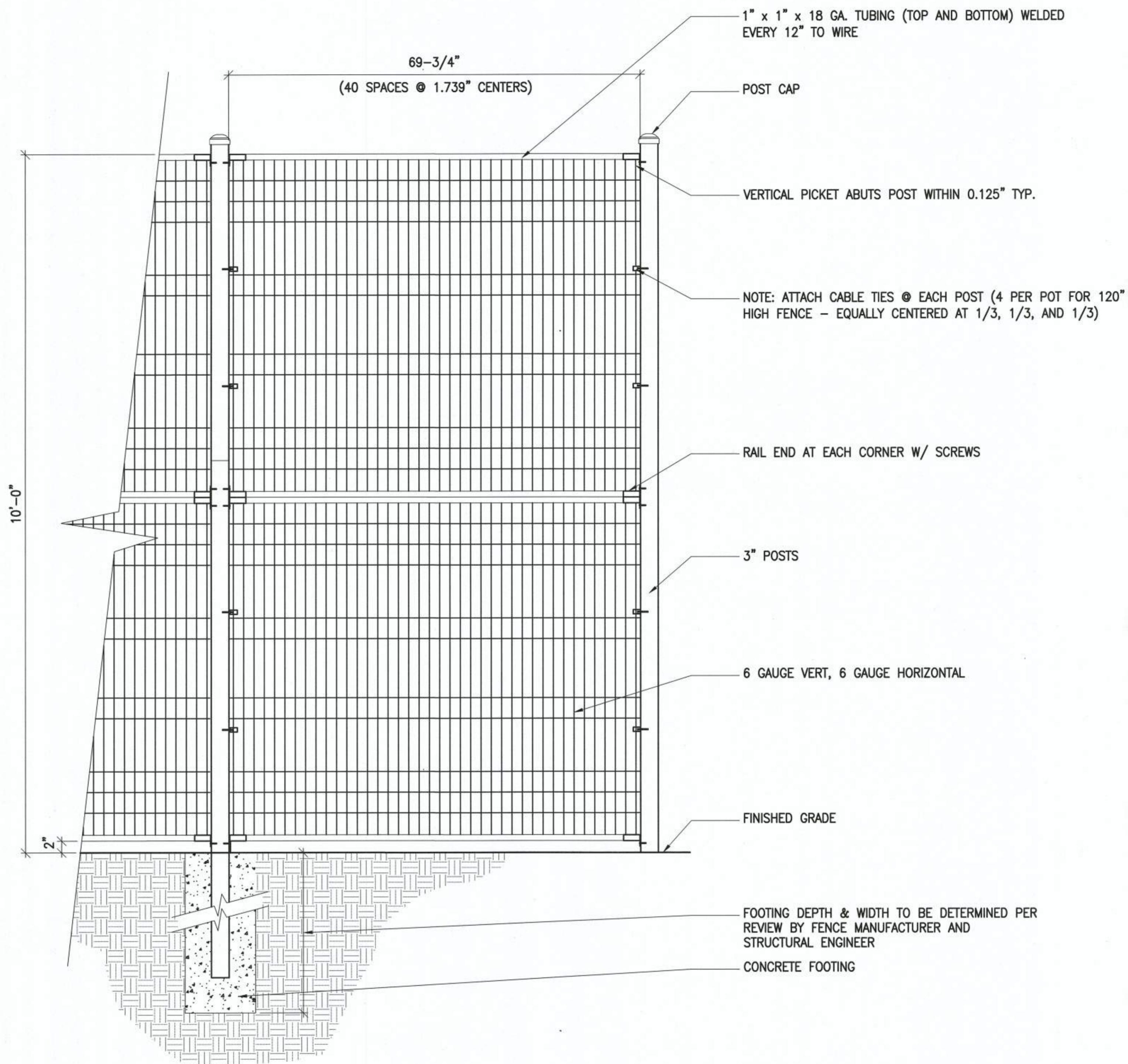
BCR RECYCLING RECEPTACLES

MISTRAL SECURITY
BCR L3
FINISH: WMATA STANDARD, BODY: STAINLESS STEEL LID: BIFURCATED, BLACK
QUANTITY: 2

PRIDE. PASSION. PERFORMANCE.

2 BLAST CONTAINMENT TRASH/ RECYCLING RECEPTACLES

SCALE: NOT TO SCALE



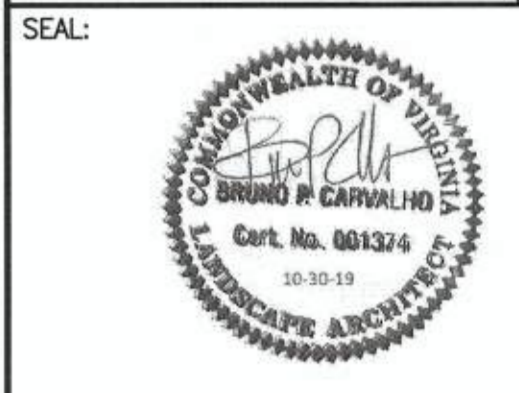
- FENCE NOTE:**
1. BASIS OF FENCE DESIGN 'JERITH MANUFACTURING' PATRIOT WIRE FENCE, 10' NOM. HGT.
 2. BLACK POWDER COAT FINISH.

1 10' HEIGHT METAL 'NO CLIMB' FENCE
SCALE: 1" = 1'-0"

(Fence01e)



SCALE:	DATE: JULY, 2019	DRAWN:
DATE: 09/12/19	DESCRIPTION: 3RD FSDUP SUBMISSION	PLAN STATUS: DATE
DATE: 09/20/19	DESCRIPTION: ISSUED FOR DESIGN DEV.	DATE: 10/03/19
		DESCRIPTION: 4TH FSDUP SUBMISSION
		DATE: 10/30/19
		DESCRIPTION: MYLAR



REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

**2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA**

SHEET NAME:
SITE DETAILS - FENCING

APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

Atanulescu For KM 11/6/19
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. *1* 11/6/19
DIRECTOR DATE

Mark 11/6/19
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED: _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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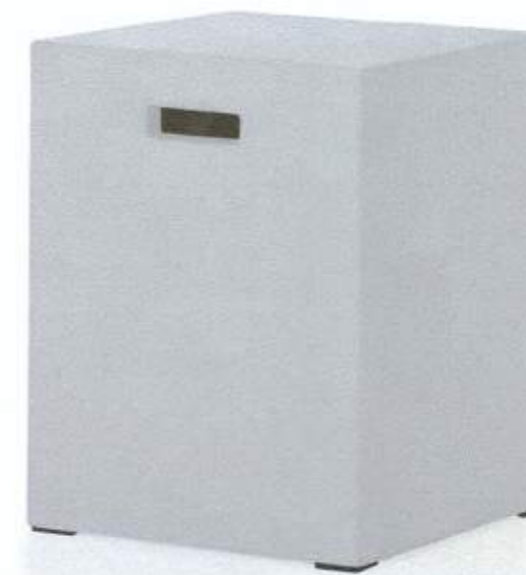
TRASH/RECYCLE BINS:
 LANDSCAPE FORMS
 'APEX' LITTER AND RECYCLE RECEPTACLE
 TYPE: 36 GALLON SPLIT STREAM
 FINISH: IPE WOOD AND 'SILVER' COLOR POWDERCOAT
 QUANTITY: 2

4 TRASH/RECYCLE BIN
 SCALE: NOT TO SCALE



BAR STOOLS:
 LANDSCAPE FORMS
 'MORRISON' STOOL
 FINISH: IPE WOOD AND 'SILVER' COLORED POWDERCOAT
 QUANTITY: 10

1 BAR STOOLS
 SCALE: NOT TO SCALE



SHORT STOOLS:
 WAYFAIR.COM
 'SHEREE' 18" BAR STOOL
 FINISH: IVORY
 QUANTITY: 6

2 SHORT STOOLS
 SCALE: NOT TO SCALE



ADIRONDACK CHAIR:
 LOLL DESIGNS
 'LOLLYGAGGER' LOUNGE CHAIR
 FINISH: RED
 QUANTITY: 2

3 ADIRONDACK CHAIR
 SCALE: NOT TO SCALE

DATE	DESCRIPTION	DATE	PLAN STATUS
08/20/19	ISSUED FOR DESIGN DEV.	09/20/19	ISSUED FOR DESIGN DEV.
09/12/19	3RD FRSIP SUBMISSION	10/03/19	4TH FRSIP SUBMISSION
		10/29/19	FINAL



REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:
 SITE DETAILS - PENTHOUSE TERRACE FURNISHINGS

APPROVED 2018-0028
 SPECIAL USE PERMIT NO.
 DEPARTMENT OF PLANNING & ZONING

[Signature] 11/6/19
 DIRECTOR DATE

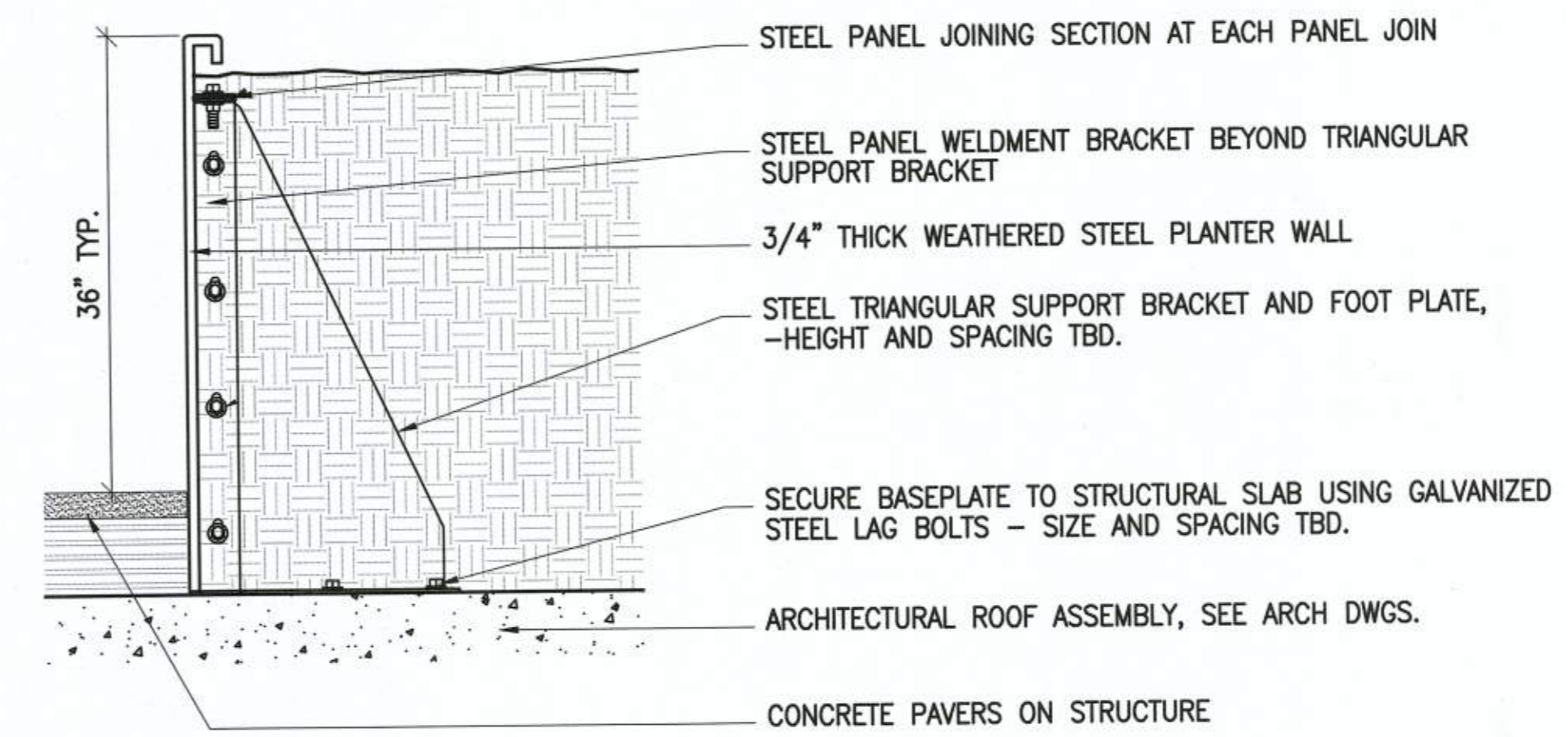
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. *[Signature]* 11/6/19
 DIRECTOR DATE

[Signature] 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

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 Peer Review

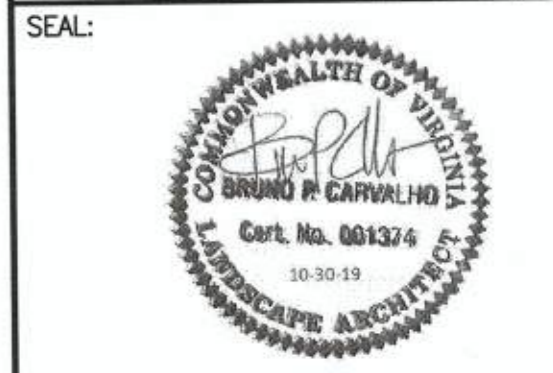
NOTE:
DETAIL TO BE REVIEWED AND COORDINATED
W/ STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION



1 METAL PLANTER WALL ON STRUCTURE
SCALE: 1" = 1'-0" (STEELPLANTER01E)



DATE	DESCRIPTION	PLAN STATUS
09/20/19	ISSUED FOR DESIGN DEV.	10/20/19
09/12/19	3RD FDSUP SUBMISSION	10/03/19
		4TH FDSUP SUBMISSION
		10/20/19
		FINAL



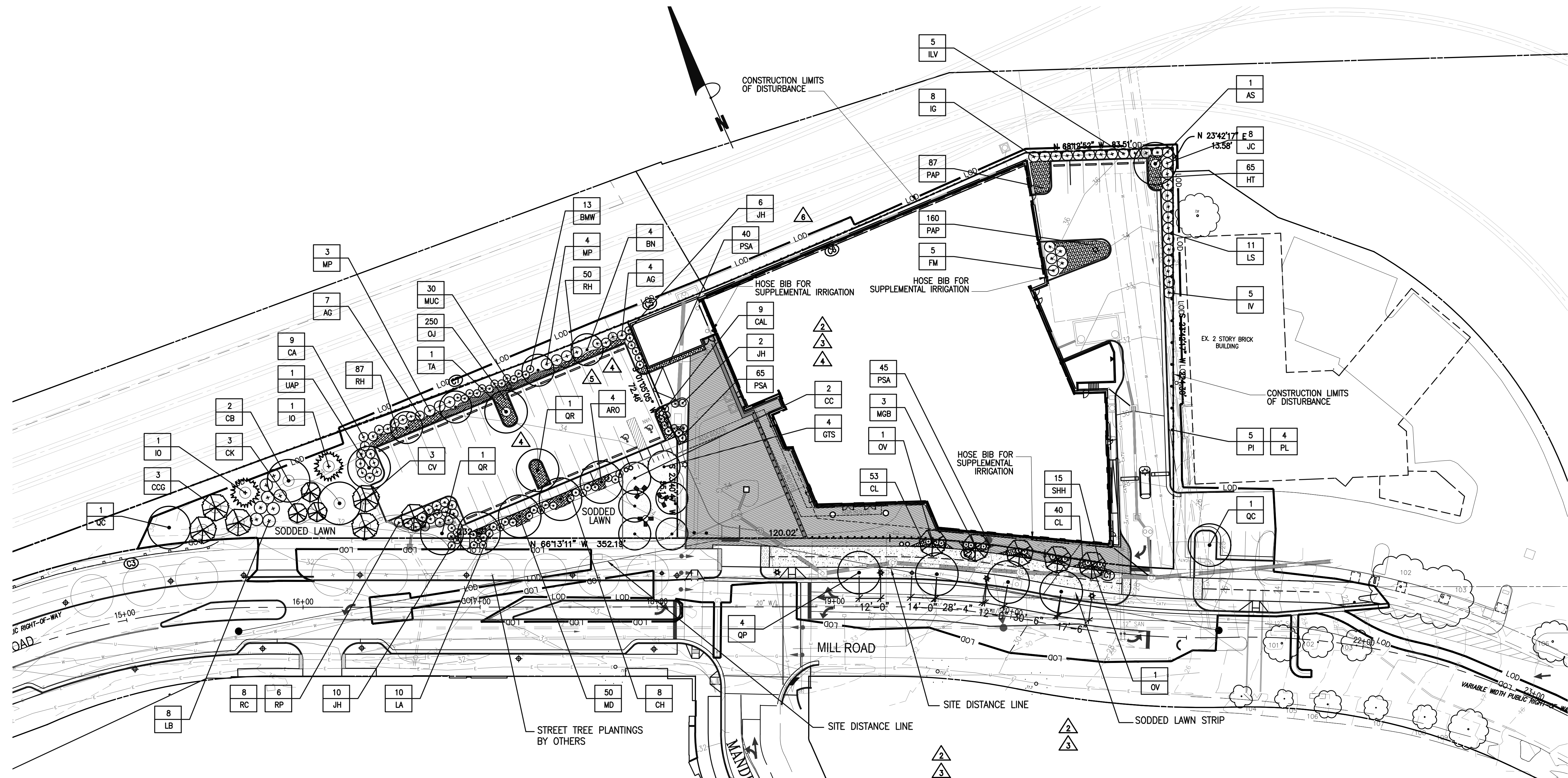
REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:
SITE DETAILS - TERRACE

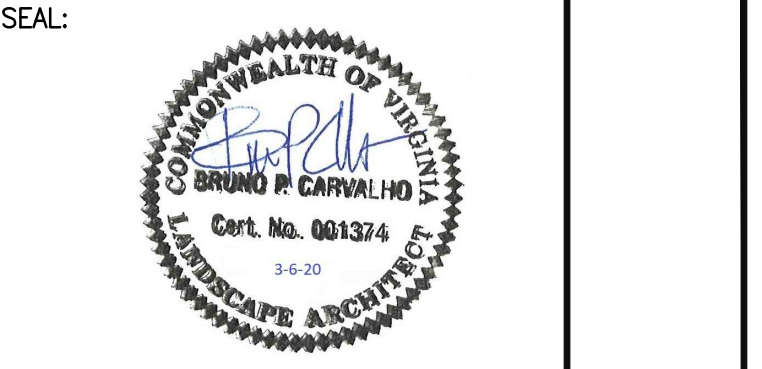
APPROVED
SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
DIRECTOR: *For KM* DATE: 11/6/19
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. *11/6/19* DATE: 11/6/19
CHAIRMAN, PLANNING COMMISSION: *William W. Hinkle* DATE: 11/6/19
DATE RECORDED: _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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SCALE: _____ DATE: JULY, 2019 DRAWN: _____

DATE	DESCRIPTION	PLAN STATUS
3/20/20	ISSUED FOR PERMIT - ADDITION 1	BUILDING PERMIT RESPONSE
3/20/20	ISSUED FOR PERMIT - OWNER REVIEW	BUILDING PERMIT RESPONSE #1



REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED
1	SITE PLAN	3/16/20	
2	REVISION 1	3/20/20	
3	REVISION 2	5/14/20	
4	ADDENDUM 1	5/29/20	
5	MINOR SITE PLAN AMENDMENT	9/19/20	
6	FOR SIGNATURE RELEASE	7/28/20	

2395 MILL ROAD

FINAL SITE PLAN

CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME: SITE LANDSCAPE PLAN

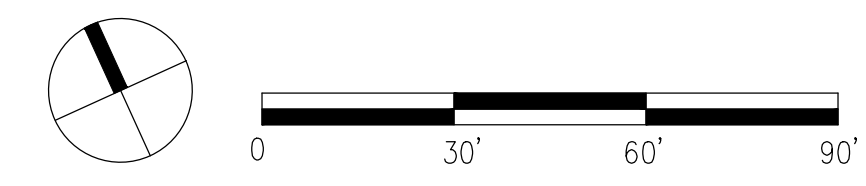
LANDSCAPE PLAN NOTES:

- The property owner and/or applicant, specifier, contractor and installer of plant material are responsible for understanding and adhering to the standards set forth in the most recent version of the City of Alexandria Landscape Guidelines and applicable conditions of approval.
- The City-approved landscape plan submission, including plant schedule, notes and details shall be the document used for installation purposes and all procedures set forth in the Landscape Guidelines must be followed.
- The contractor shall not interfere with any tree protection measures or impact any existing vegetation identified to be preserved per the approved Tree and Vegetation Protection Plan.
- Any changes, alterations or modifications to the site conditions that affect vegetation protection zones will require an amendment to the approved Tree and Vegetation Protection Plan and/or details.
- Installation of plant material may only occur during the Planting Seasons identified in the Landscape Guidelines.
- In lieu of more strenuous specifications, all landscape related work shall be installed and maintained in accordance with the current and most up-to-date edition (at time of construction) of Landscape Specification Guidelines as produced by the Landscape Contractors Association of Maryland, District of Columbia and Virginia; Gaithersburg Maryland.
- Substitutions to the approved plant material shall not occur until written approval is provided by the City.
- Maintenance for this project shall be performed by the owner, applicant, successor(s) and/or assign(s) in perpetuity and in compliance with City of Alexandria Landscape Guidelines as conditioned by project approval, as applicable.
- All materials' specifications shall be in accordance with the industry standard for grading plant material - The American Standard for Nursery Stock (ANSI Z60.1).
- Maintenance of all trees and landscape materials shall conform to accepted industry standards set forth by the Landscape Contractors Association, American Society of Landscape Architects, the International Society of Arboriculture, and the American National Standards Institute.

*SEE SHEET L302 FOR PLANT LEGEND AND TREE COVERAGE CALCULATIONS.

NOTE:

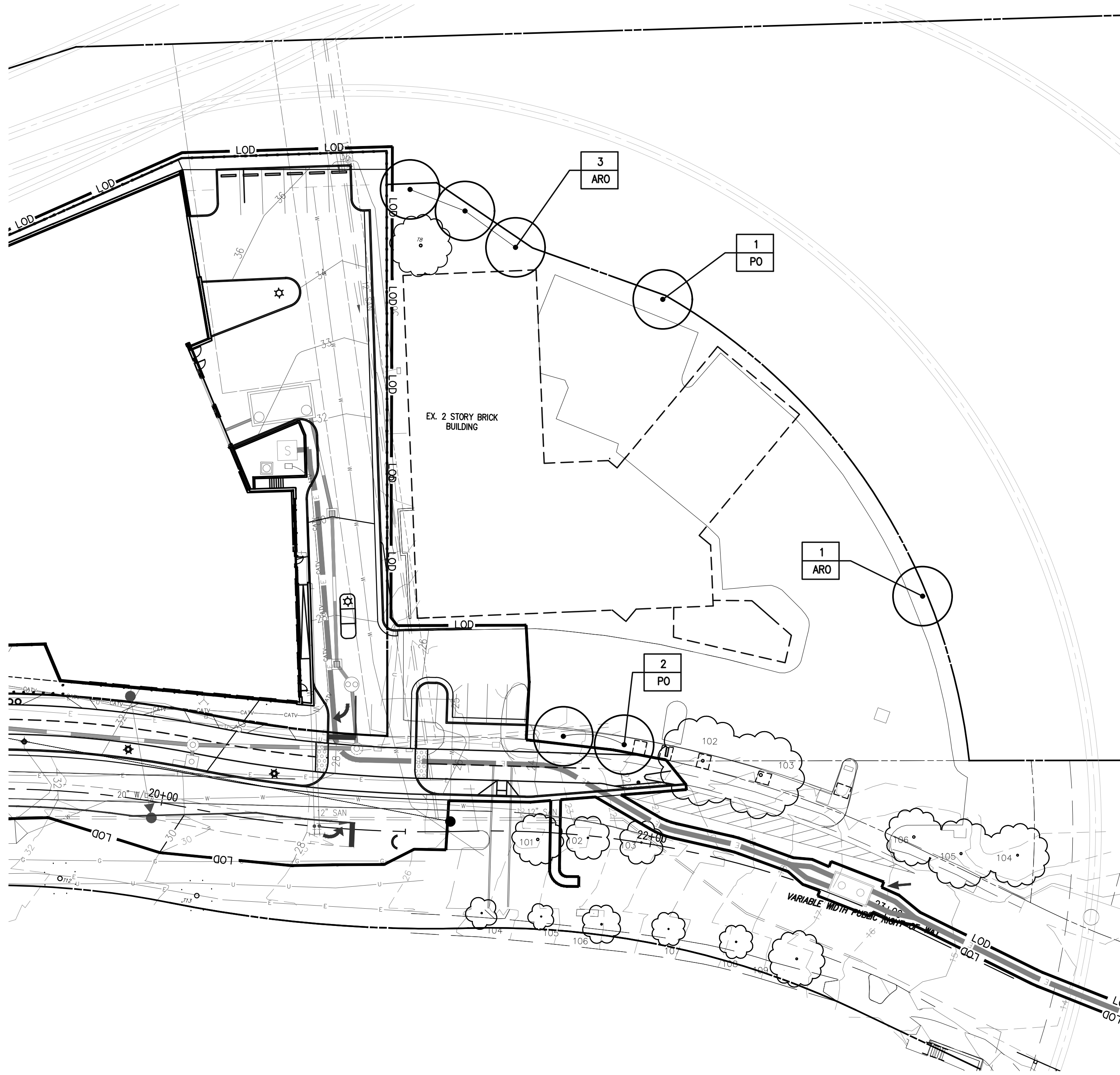
LANDSCAPING AROUND THE EQUIPMENT ENCLOSURE TO BE ADDED THROUGH A MINOR AMENDMENT. APPROVAL OF THE MINOR AMENDMENT TO THE DEPARTMENT OF PLANNING & ZONING WILL OCCUR PRIOR TO SUBMITTAL OF THE WALL CHECK, AS REQUIRED BY CONDITION #86. NO COMMENCEMENT OF BUILDING FRAMING WILL OCCUR UNLESS THIS MINOR AMENDMENT HAS BEEN SUBMITTED AND APPROVED.



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Peer Review

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____
 7.29.20
 DIRECTOR DATE
 CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED _____
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

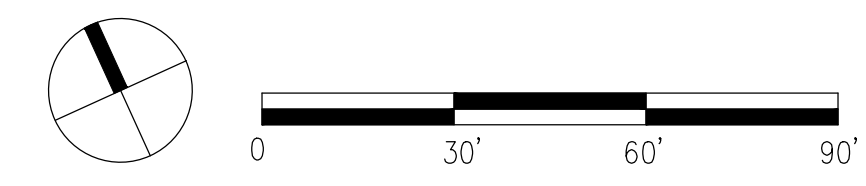


REPLACEMENT TREE SCHEDULE

Key	Qty	Botanical Name	Common Name	Size	Remarks
Trees:					
ARO	4	Acer rubrum 'October Glory'	October Glory Red Maple	2.5" Cal.,b&b	
PO	3	Platanus occidentalis	American Sycamore	2.5" Cal.,b&b	

LANDSCAPE PLAN NOTES:

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- Substitutions to the approved plant material shall not occur until written approval is provided by the City.
- Maintenance for this project shall be performed by the owner, applicant, successor(s) and/or assign(s) in perpetuity and in compliance with City of Alexandria Landscape Guidelines as conditioned by project approval, as applicable.
- All materials' specifications shall be in accordance with the industry standard for grading plant material - The American Standard for Nursery Stock (ANSI Z60.1).
- Maintenance of all trees and landscape materials shall conform to accepted industry standards set forth by the Landscape Contractors Association, American Society of Landscape Architects, the International Society of Arboriculture, and the American National Standards Institute.



DATE	DESCRIPTION	PLAN STATUS
12/20/19	PROGRESS PRINTING	ISSUED FOR SUP - ADDENDUM 1
2/11/20	ISSUED FOR PERMIT/COMP	ISSUED FOR SUP - OWNER REVIEW



REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED
1	SITE PLAN	3/6/20	

2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:
SHELTER PROPERTY - TREE REPLACEMENT PLAN

APPROVED SPECIAL USE PERMIT NO. **2018-0028**
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____
John V. 3.26.20
 DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED _____
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

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 Peer Review

AREA TABULATIONS

TOTAL EX. SITE AREA = 1.889 AC 82,283 SF
 TOTAL PROP. SITE AREA = 1.889 AC 82,283 SF
 TOTAL DISTURBED AREA = 1.889 AC 82,283 SF

*See sheet L100 for LOD delineation.

CROWN COVER TABULATIONS	
TOTAL SITE AREA (SF)	82,283
25% CROWN COVER REQUIRED (SF)	20,571
EXISTING CROWN COVER (SF)	0
REMOVED CROWN COVER (SF)	0
PRESERVED CROWN COVER (SF)	0
Crown Cover from Preserved Trees	0
Crown Cover from Preserved Shrubs	0
PROPOSED CROWN COVER (SF)	31,000
Crown Cover from Proposed Trees	31,000
Crown Cover from Proposed Shrubs	2,536
TOTAL CROWN COVER PROVIDED (%)	40.8%
TOTAL CROWN COVER PROVIDED (SF)	33,536

BIODIVERSITY TABULATIONS

TREES (URBAN AND STANDARD)							
TOTAL NUMBER OF TREES PROPOSED: 47							
GENUS	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED	SPECIES	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED
Acer	5	10.6%	33%	rubrum	4	8.5%	10%
				saccharum	1	2.1%	10%
Betula	4	8.5%	33%	nigra	4	8.5%	10%
Carpinus	2	4.3%	33%	caroliniana	2	4.3%	10%
Catalpa	2	4.3%	33%	bignonioides	2	4.3%	10%
Crataegus	3	6.4%	33%	crus-galli	3	6.4%	10%
Cornus	3	6.4%	33%	kousa	3	6.4%	10%
Chionanthus	3	6.4%	33%	virginicus	3	6.4%	10%
Gleditsia	4	8.5%	33%	triacanthos	4	8.5%	10%
Ilex	2	4.3%	33%	opaca	2	4.3%	10%
Lagerstroemia	2	4.3%	33%	indica	2	4.3%	10%
Magnolia	5	10.6%	33%	grandiflora	3	6.4%	10%
				virginiana	2	4.3%	10%
Ostrya	2	4.3%	33%	virginiana	2	4.3%	10%
Quercus	8	17.0%	33%	phellos	4	8.5%	10%
				coccinea	2	4.3%	10%
				rubra	2	4.3%	10%
Tilia	1	2.1%	33%	americana	1	2.1%	10%
Ulmus	1	2.1%	33%	americana	1	2.1%	10%

SHRUBS							
TOTAL NUMBER OF SHRUBS PROPOSED: 162							
GENUS	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED	SPECIES	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED
Abelia	11	6.79%	33%	grandiflora	11	6.79%	10%
Buxus	13	8.02%	33%	microphylla	13	8.02%	10%
Calicanthus	2	1.23%	33%	floridus	2	1.23%	10%
Callicarpa	9	5.56%	33%	americana	9	5.56%	10%
Ceanothus	13	8.02%	33%	americanus	13	8.02%	10%
Cephalotaxus	8	4.94%	33%	harringtonia	8	4.94%	10%
Clethra	9	5.56%	33%	alnifolia	9	5.56%	10%
Fothergilla	5	3.09%	33%	major	5	3.09%	10%
Ilex	29	19.21%	33%	glabra	8	4.94%	10%
				verticillata	16	9.88%	10%
				vomitioria	5	3.09%	10%
Juniperus	8	4.94%	33%	communis	8	4.94%	10%
Lindera	8	4.94%	33%	benzoin	8	4.94%	10%
Leucothoe	10	6.17%	33%	axillaris	10	6.17%	10%
Myrica	7	4.32%	33%	pennsylvanica	7	4.32%	10%
Rosa	14	8.64%	33%	carolina	8	4.94%	10%

URBAN TREE TABULATIONS					
PLAN KEY	QUANTITY	PLAN LOCATION	PROJECTED 20 YR. CANOPY* (PER TREE)	IMPERVIOUS AREA UNDER CANOPY (PER TREE)	IMPERVIOUS AREA GREATER THAN 50% OF PROJECTED 20 YR. CANOPY? (Y/N)
ARO	4	PARKING LOT	1,250 SF	522 SF	N
AS	1	PARKING LOT	1,250 SF	765 SF	Y
AS	1	PARKING LOT	1,250 SF	311 SF	N
BN	4	PARKING LOT	750 SF	50 SF	N
CB	2	OPEN SPACE	1,250 SF	0 SF	N
CCG	3	OPEN SPACE	500 SF	0 SF	N
CK	3	OPEN SPACE	250 SF	0 SF	N
CV	3	PARKING LOT	500 SF	45 SF	N
GTS	4	SITTING AREA	750 SF	300 SF	N
IO	2	OPEN SPACE	250 SF	0 SF	N
MGB	3	STREETSCAPE	500 SF	407 SF	Y
OV	2	SITTING AREA	750 SF	300 SF	N
QP	4	STREET TREE	1,250 SF	919 SF	Y
QC	1	PARKING LOT	1,250 SF	196 SF	N
QC	1	PARKING LOT	1,250 SF	207 SF	N
QP	1	PARKING LOT	1,250 SF	500 SF	N
QR	1	PARKING LOT	1,250 SF	900 SF	Y
TA	1	PARKING LOT	1,250 SF	862 SF	Y

TOTAL URBAN TREES: 10

*Refer to Landscape Guidelines Chapter 3 Canopy Coverage

NATIVE PLANT TABULATIONS											
PLANT TYPE	QUANTITY	NATIVE TYPE	MARCH 2, 2019 - JANUARY 1, 2020			JANUARY 2, 2020 - JANUARY 1, 2024			BEGINNING JANUARY 2, 2024		
			REQUIRED	PROVIDED	%	REQUIRED	PROVIDED	%	REQUIRED	PROVIDED	%
Urban Trees	10	Regional/Local	10%	3	30.0%	15%	6	40.0%	20%	6	60.0%
			25%	6	60.0%	25%	6	60.0%	25%	6	60.0%
			Total Natives	15%	31	83.8%	25%	40%	80%	40%	80%
Standard Trees	37	Regional/Local	40%	32	86.5%	40%	32	86.5%	40%	32	86.5%
			5%	43	50.6%	8%	40%	10%	40%	10%	
			Total Natives	20%	43	50.6%	30%	40%	40%	40%	40%
Evergreen Shrubs	85	Regional/Local	10%	72	93.5%	15%	20%	100%	20%	20%	
			40%	77	100.0%	60%	80%	100%	80%	100%	
			Total Natives	5%	397	65.7%	10%	10%	10%	10%	
Deciduous Shrubs	77	Regional/Local	10%	415	68.7%	20%	20%	100%	20%	20%	
			10%	599	100.0%	15%	25%	60%	25%	60%	
			Total Natives	25%	599	100.0%	40%	60%	100%	60%	100%
Groundcovers	604	Regional/Local	10%	599	100.0%	15%	25%	60%	25%	60%	
			25%	599	100.0%	40%	60%	100%	60%	100%	
			Total Natives	80%	20	100.0%	100%	20	100.0%	100%	100%
Perennials, Ferns, Ornamental Grasses	599	Regional/Local	10%	599	100.0%	15%	25%	60%	25%	60%	
			25%	599	100.0%	40%	60%	100%	60%	100%	
			Total Natives	80%	20	100.0%	100%	20	100.0%	100%	100%
Vines	20	Regional/Local	10%	20	100.0%	100%	20	100.0%	20	100.0%	
			25%	20	100.0%	40%	20	100.0%	20	100.0%	
			Total Natives	80%	20	100.0%	100%	20	100.0%	20	100.0%
TOTALS			10%	1165	81.4%	15%	1192	83.2%	20%	1192	83.2%

NOTES:
 1) Percentages apply to the total quantity of each plant type specified on Completeness/Preliminary Plans and Final #1 Grading Plans submitted during the listed time frames.
 2) Total Natives is the sum of Eastern Native, Western Native, and Locally Native vegetation specified on the plans for each plant type.
 3) Non-native vegetation for the purposes of providing edible fruits, seeds, or nuts may be planted and shall not be calculated in the above-stated requirements for native species regardless of plant type.

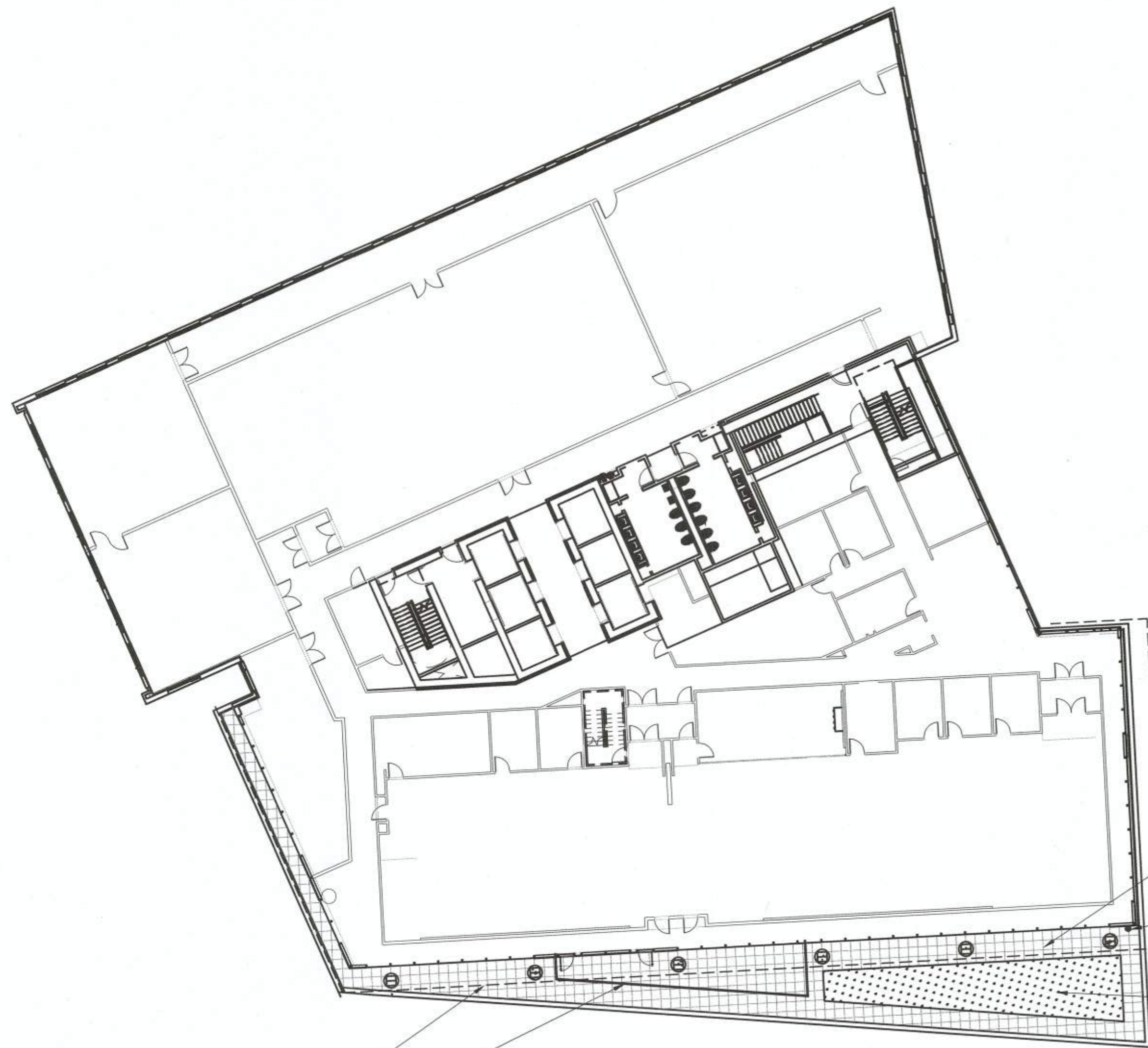
PLANT SCHEDULE		July 8, 2019		BOTANIC/Common Name		SIZE		NOTES		CROWN COVER ALLOWANCE (CCA)		NATIVE PLANTS PROVIDED			
PLANT TYPE	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	CALIPER/HEIGHT			CCA PER TREE (SF)	TOTAL CROWN COVER (SF)	LOCAL/REGIONAL (#)	EASTERN U.S. (#)	TOTAL	
URBAN TREES	MGB	3	Magnolia	grandiflora	Brackens Brown Beauty'	Southern Magnolia	1.5"-1.75" cal./6-10 ft. ht.	B&B; symmetrical, single leader		500	1,500	0	3	3	
	TA	1	Tilia	americana		American Basswood	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader		1,250	1,250	1	0	1	
	AS	1	Acer	saccharum		Sugar Maple	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader		1,250	1,250	1	0	1	
	QR	1	Quercus	rubrum		Northern Red Oak	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader		1,250	1,250	1	0	1	
	QP	4	Quercus	phellos		Willow Oak	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader (ROW Tree)		0	0	0	0	0	
	TOTALS	10								URBAN TREE CCA:	5,250	30.0%	30.0%	60.0%	
STANDARD TREES	ARO	4	Acer	rubrum	October Glory'	Red Maple	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader		1,250	5,000	4	0	4	
	QC	2	Quercus	coccinea		Scarlet Oak	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader		1,250	2,500	2	0	2	
	BN	4	Betula	nigra		River Birch	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader		750	3,000	4	0	4	
	CB	2	Catalpa	bignonioides		Southern Catalpa	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader		1,250	2,500	2	0	2	
	CC	2	Carpinus	caroliniana		American Hornbeam	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader		500	1,000	2	0	2	
	CCG	3	Crataegus	crus-galli		Cockspur Hawthorn	1.5"-1.75" cal./6-10 ft. ht.	B&B; multistem, branching		500	1,500	3	0	3	
	CK	3	Cornus	kousa		Kousa Dogwood	1.5"-1.75" cal./6-10 ft. ht.	B&B; multistem, branching		250	750	0	0	0	
	CV	3	Chionanthus	virginicus		White Fringetree	1.5"-1.75" cal./6-10 ft. ht.	B&B; multistem, branching		500	1,500	3	0	3	
	GTS	4	Gleditsia	triacanthos		Shademaster Honey Locust	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader		750	3,000	4	0	4	
	IO	2	Ilex	opaca		American Holly	1.5"-1.75" cal./6-10 ft. ht.	B&B; full to ground		500	2	0	2		
	LIM	2	Lagerstroemia	indica		Crape Myrtle	1.5"-1.75" cal./6-10 ft. ht.	B&B; multistem, branching		250	500	0	0	0	
	MV	2	Magnolia	virginiana		Sweetbay Magnolia	1.5"-1.75" cal./6-10 ft. ht.	B&B; multistem, branching		250	500	2	0	2	
	OV	2	Ostrya	virginiana		Hophornbeam	1.5"-1.75" cal./6-10 ft. ht.	B&B; symmetrical, single leader		500	1,000	2	0	2	
	QR	1	Quercus	rubrum		Northern Red Oak	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader		1,250	1,250	1	0	1	
	UAP	1	Ulmus	americana		Princeton'	Princeton American Elm	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader		1,250	1,250	1	0	1
	TOTALS	37								STANDARD TREE CCA:	25,750	83.8%	2.7%	86.5%	
	EVERGREEN SHRUBS	AG	11	Abelia	grandiflora		Glossy Abelia	1 gallon, 30" height			10	110	0	0	0
BNW		13	Bauus	microphylla	var. insularis 'Wintergreen'	Korean Boxwood	1 gallon, 30" height			26	0	0	0	0	
CH		8	Cephalotaxus	harringtonia		Japanese Plum Yew	1 gallon, 30" height			25	200	0	0	0	
IG		8	Ilex	glabra		Inkberry	1 gallon, 30" height			25	200	13	0	13	
ILV		5	Ilex	vomitioria		Yaupon Holly	1 gallon, 30" height			25	125	5	0	5	
JC		8	Juniperus	communis		Common Juniper	3 gallon, 42" height			10	80	8	0	8	
LA		10	Larix	laricina		Coastal Dogwood	1 gallon, 30" height			10	100	10	0	10	
MP		7	Myrica	pennsylvanica		Northern Bayberry	3 gallon, 42" height			25	175	7	0	7	
SHH		15	Sarcococca	hookeriana		Sweetbox	1 gallon, 30" height			10	150	0	0	0	
TOTALS		85								EVERGREEN SHRUB CCA:	1,166	43	0.0%	50.6%	
DECIDUOUS SHRUBS		CA	9	Callicarpa	americana		Beautyberry	3 gallon, 42" height			10	90	0	0	9
	CAM	13	Ceanothus	americanus		New Jersey Tea	1 gallon, 30" height			10	130	13	0	13	
	CAL	9	Clethra	alnifolia		Sweet Pepperbush	1 gallon, 30" height			10	90	9	0	9	
	CF	2	Calycanthus	floridus		Carolina Allspice	3 gallon, 42" height			25	50	2	0	2	
	FM	5	Fothergilla	major		Large Witch-Alder	1 gallon, 30" height			25	125	0	5	5	
	IV	16	Ilex	verticillata	Berry Poppins'	Berry Poppins Winterberry	1 gallon, 30" height			25	400	16	0	16	

PENTHOUSE EXTENSIVE GREEN ROOF PLANT SCHEDULE

Qty	Botanical Name
15%	Delosperma cooperii
5%	Delosperma 'Keltoidis'
10%	Delosperma nobigenum 'Basutoland'
15%	Sedum lanceolatum
15%	Talinum calycinum
5%	Sedum oreganum
10%	Sedum stoloniferum
10%	Sedum telephoides
15%	Sedum ternatum

PLANTING NOTES:

- EVENLY MIX PLANT SPECIES THROUGHOUT THE GREEN ROOF PLANTING AREAS.



24" x 24" 'HANOVER' ROOF PAVERS
COLORS T.B.D.

HOSE BIB FOR
SUPPLEMENTAL IRRIGATION

SEE CIVIL DWGS. FOR
GREEN ROOF ASSEMBLY
SHEET C18.40

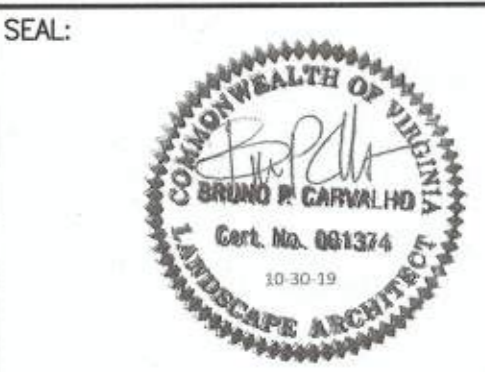
METAL SOFFIT ABOVE

GLASS GUARD RAIL

1 5TH FLOOR TERRACE PLAN
SCALE: 1"=20'-0"



DATE	DESCRIPTION	PLAN STATUS
09/27/19	3RD FDSBP SUBMISSION	10/03/19 10% FDSBP SUBMISSION
09/27/19	ISSUED FOR DESIGN DEV.	10/29/19 10% FDSBP SUBMISSION

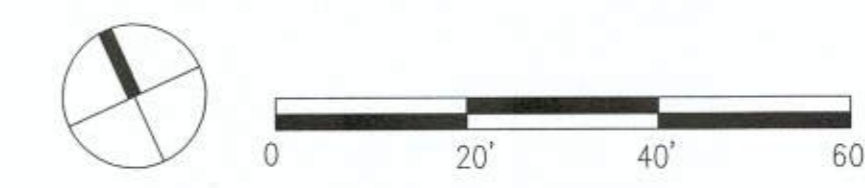


REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

**2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA**

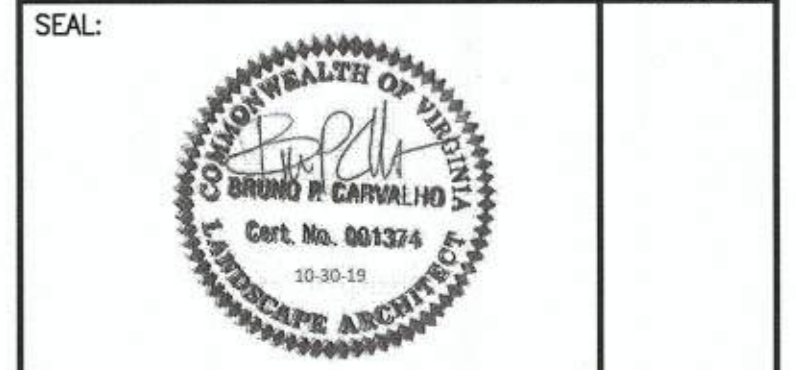
SHEET NAME:
5TH FLOOR LANDSCAPE PLAN

APPROVED
SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
DIRECTOR: [Signature] DATE: 11/6/19
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. [Signature] DATE: 11/6/19
CHAIRMAN, PLANNING COMMISSION: [Signature] DATE: 11/6/19
DATE RECORDED: _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



ESI
Peer Review

DATE	DESCRIPTION	DATE	DESCRIPTION
09/20/19	ISSUED FOR DESIG. REV.	10/20/19	NVAAR
10/03/19	4TH DISAP. SUBMISSION	11/15/19	ISSUED FOR 50% CD

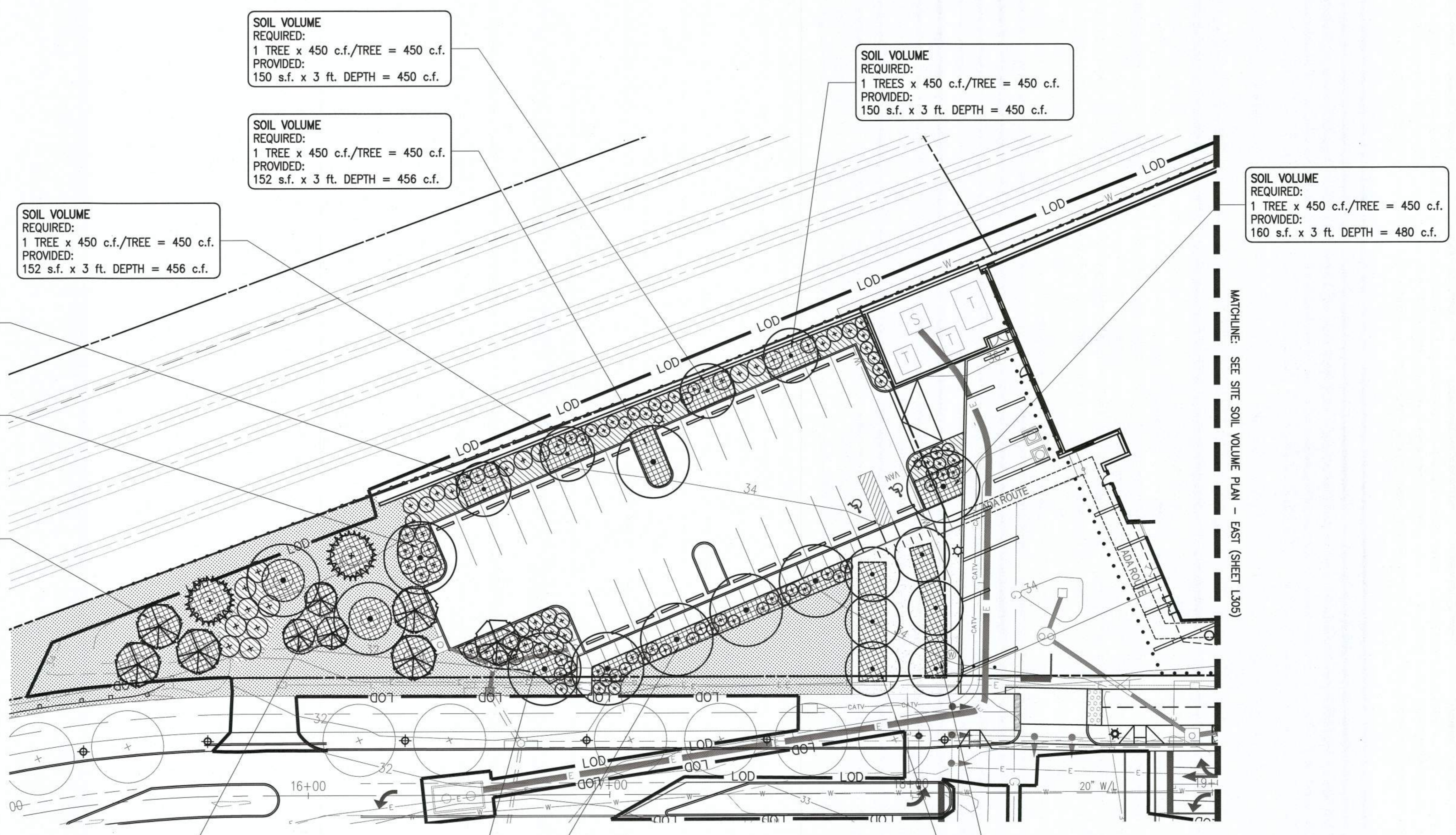


NO.	DESCRIPTION	DATE	APPROVED	DATE

2395 MILL ROAD FINAL SITE PLAN CITY OF ALEXANDRIA, VIRGINIA

SHEET NAME:
 SITE SOIL VOLUME PLAN - WEST

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR FOR KM 11/6/19
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. 11/6/19
 DATE RECORDED
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.



SOIL VOLUME
 REQUIRED:
 1 TREE x 450 c.f./TREE = 450 c.f.
 PROVIDED:
 152 s.f. x 3 ft. DEPTH = 456 c.f.

SOIL VOLUME
 REQUIRED:
 1 TREE x 450 c.f./TREE = 450 c.f.
 PROVIDED:
 243 s.f. x 3 ft. DEPTH = 729 c.f.

TYP. CALCULATION FOR INDIVIDUAL
 TREES IN THIS AREA

SOIL VOLUME
 REQUIRED:
 1 TREE x 450 c.f./TREE = 450 c.f.
 PROVIDED:
 150 s.f. x 3 ft. DEPTH = 450 c.f.

SOIL VOLUME
 REQUIRED:
 1 TREE x 450 c.f./TREE = 450 c.f.
 PROVIDED:
 150 s.f. x 3 ft. DEPTH = 450 c.f.

SOIL VOLUME
 REQUIRED:
 1 TREE x 450 c.f./TREE = 450 c.f.
 PROVIDED:
 152 s.f. x 3 ft. DEPTH = 456 c.f.

SOIL VOLUME
 REQUIRED:
 1 TREES x 450 c.f./TREE = 450 c.f.
 PROVIDED:
 150 s.f. x 3 ft. DEPTH = 450 c.f.

SOIL VOLUME
 REQUIRED:
 1 TREE x 450 c.f./TREE = 450 c.f.
 PROVIDED:
 160 s.f. x 3 ft. DEPTH = 480 c.f.

SOIL VOLUME
 REQUIRED:
 3 TREES x 300 c.f./TREE = 900 c.f.
 PROVIDED:
 312 s.f. x 3 ft. DEPTH = 936 c.f.

SOIL VOLUME
 REQUIRED:
 2 TREES x 300 c.f./TREE = 600 c.f.
 PROVIDED:
 360 s.f. x 3 ft. DEPTH = 1,080 c.f.

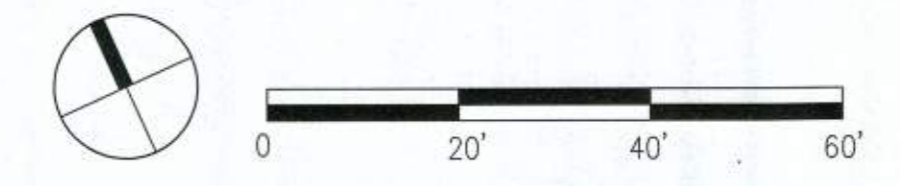
SOIL VOLUME
 REQUIRED:
 3 TREES x 300 c.f./TREE = 900 c.f.
 PROVIDED:
 310 s.f. x 3 ft. DEPTH = 930 c.f.

SOIL VOLUME
 REQUIRED:
 4 TREES x 300 c.f./TREE = 1,200 c.f.
 PROVIDED:
 583 s.f. x 3 ft. DEPTH = 1,749 c.f.

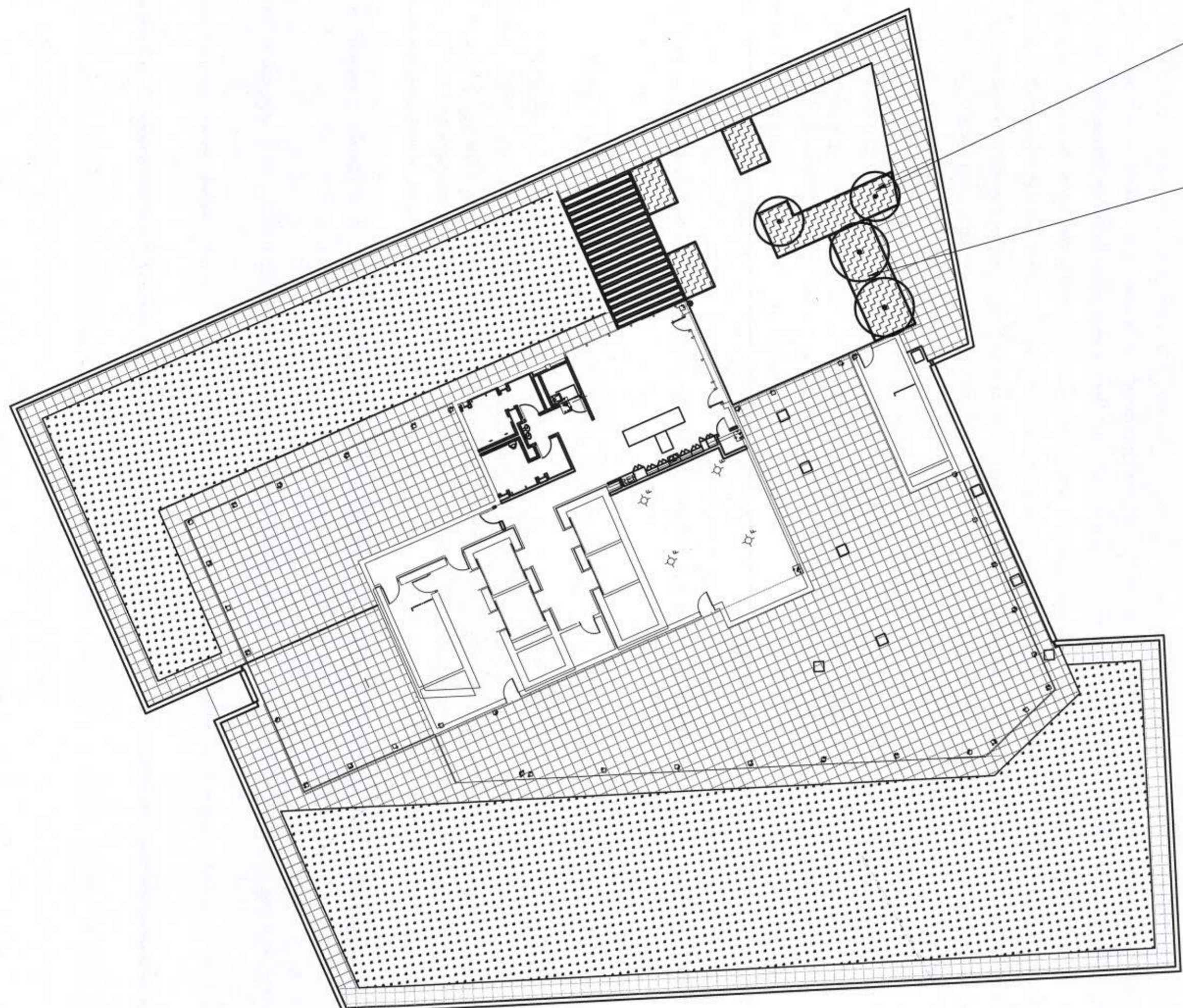
SOIL VOLUME
 REQUIRED:
 3 TREES x 300 c.f./TREE = 900 c.f.
 PROVIDED:
 355 s.f. x 3 ft. DEPTH = 1,065 c.f.

PLANTING SOIL/MEDIA LEGEND

- 36" MIN. DEPTH PLANTING MIX
- 24" MIN. DEPTH PLANTING MIX
- 12" MIN. DEPTH PLANTING MIX
- 36" MIN. DEPTH STRUCTURAL SOIL



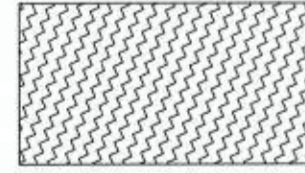
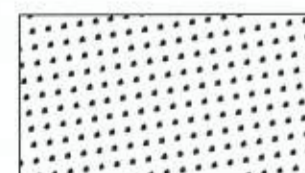
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 Peer Review



SOIL VOLUME
 REQUIRED:
 2 TREES x 300 c.f./TREE = 600 c.f.
 PROVIDED:
 202 s.f. x 3 ft. DEPTH = 606 c.f.

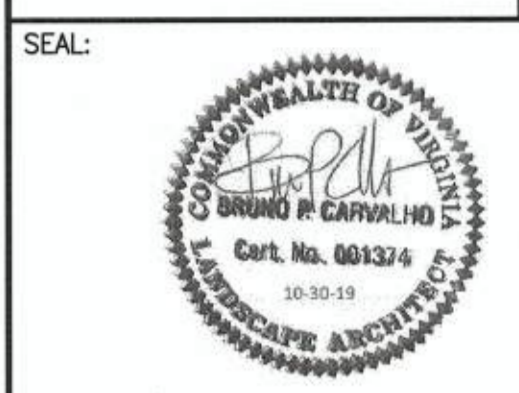
SOIL VOLUME
 REQUIRED:
 2 TREES x 300 c.f./TREE = 600 c.f.
 PROVIDED:
 208 s.f. x 3 ft. DEPTH = 624 c.f.

PLANTING SOIL/MEDIA LEGEND

-  36" MIN. DEPTH LIGHTWEIGHT GROWING MEDIA
-  EXTENSIVE GREEN ROOF, SEE CIVIL DRAWINGS



SCALE:	DATE: JULY, 2019	DRAWN:
PLAN STATUS	DATE	DESCRIPTION
	09/12/19	3RD FDSUP SUBMISSION
	10/03/19	4TH FDSUP SUBMISSION
	09/20/19	ISSUED FOR DESIGN DEV.
	10/20/19	MTLAR



REVISION APPROVED BY			
NO.	DESCRIPTION	DATE	APPROVED

**2395 MILL ROAD
 FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA**

SHEET NAME:
 TERRACE SOIL VOLUME PLAN

APPROVED
 SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING
Attwell FOR KM 11/6/19
 DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. *11/6/19*
 DIRECTOR DATE
Chairman 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED _____
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.



ESI
 Peer Review

Code File Name

A EVERGREEN TREE PLANTING
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS	NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	Source: City of Alexandria Approved by: COA	DATE DOWN: 01/01/19	LD 002
------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------	---------------------	--------

A GROUNDCOVER & PERENNIAL PLANTING
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS	NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	Source: City of Alexandria Approved by: COA	DATE DOWN: 01/01/19	LD 011
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A MULTI-STEM TREE PLANTING
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS	NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	Source: City of Alexandria Approved by: COA	DATE DOWN: 01/01/19	LD 003
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A DECIDUOUS TREE PLANTING
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS	NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	Source: City of Alexandria Approved by: COA	DATE DOWN: 01/01/19	LD 008
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A TREE PLANTING STRIP
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS	NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	Source: City of Alexandria Approved by: COA	DATE DOWN: 01/01/19	LD 006
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A STREET TREE PLANTING WELL
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS	NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	Source: City of Alexandria Approved by: COA	DATE DOWN: 01/01/19	LD 005
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A SHRUB PLANTING
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS	NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	Source: City of Alexandria Approved by: COA	DATE DOWN: 01/01/19	LD 009
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CGLA
landscape architecture
planning, urban design
WWW.CGLADC.COM

DATE: JULY 2019
DRAWN: [Signature]
PLAN STATUS: []
DATE: 10/03/19 3RD FDSIP SUBMISSION
DESCRIPTION: []
DATE: 09/20/19 ISSUED FOR DESIGN DEV.
DATE: 10/20/19 MTLAR

SEAL: [Professional Seal]

REVISION APPROVED BY:

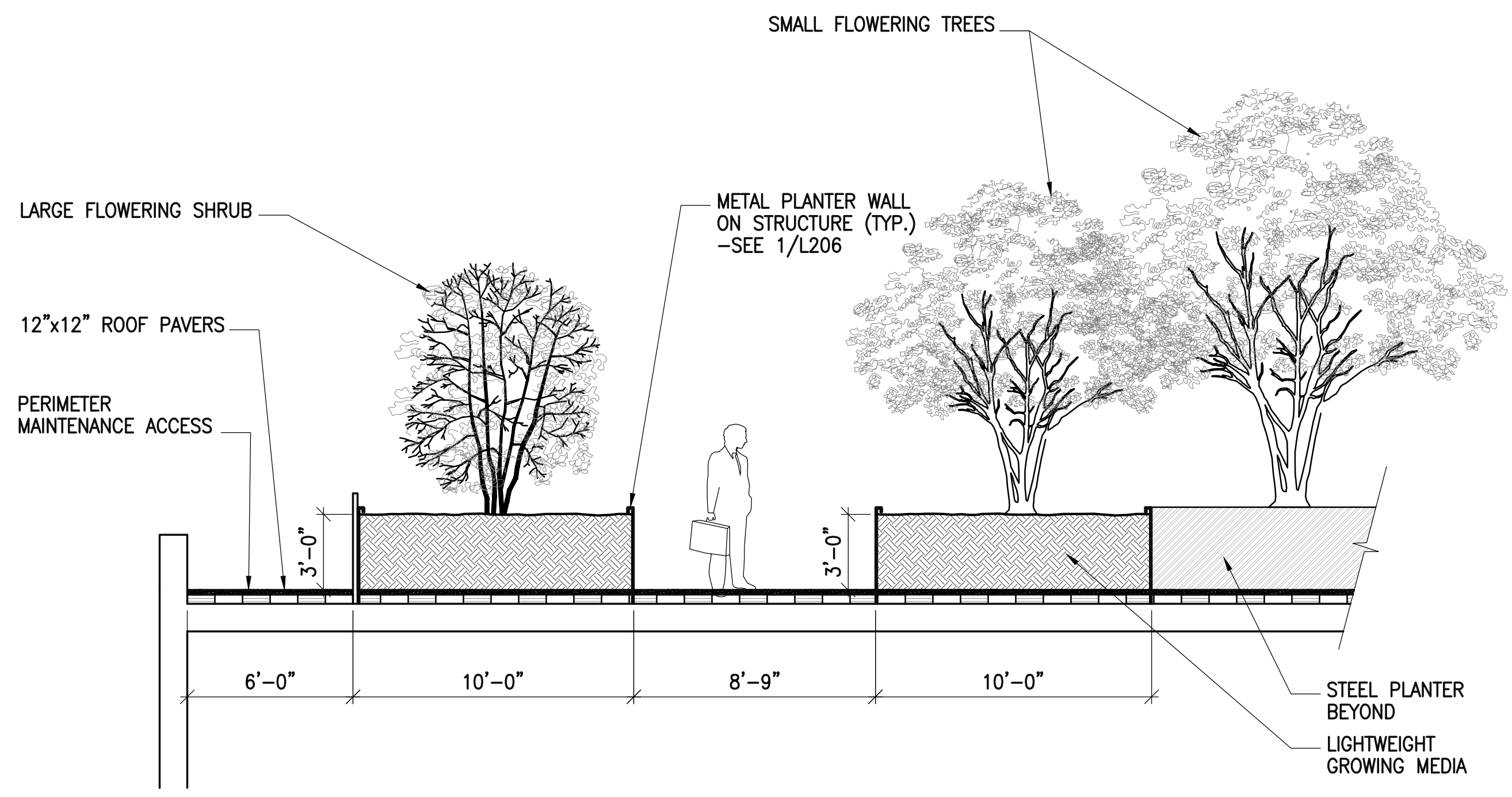
NO.	DESCRIPTION	DATE	REV. BY	APPROVED

2395 MILL ROAD
FINAL SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

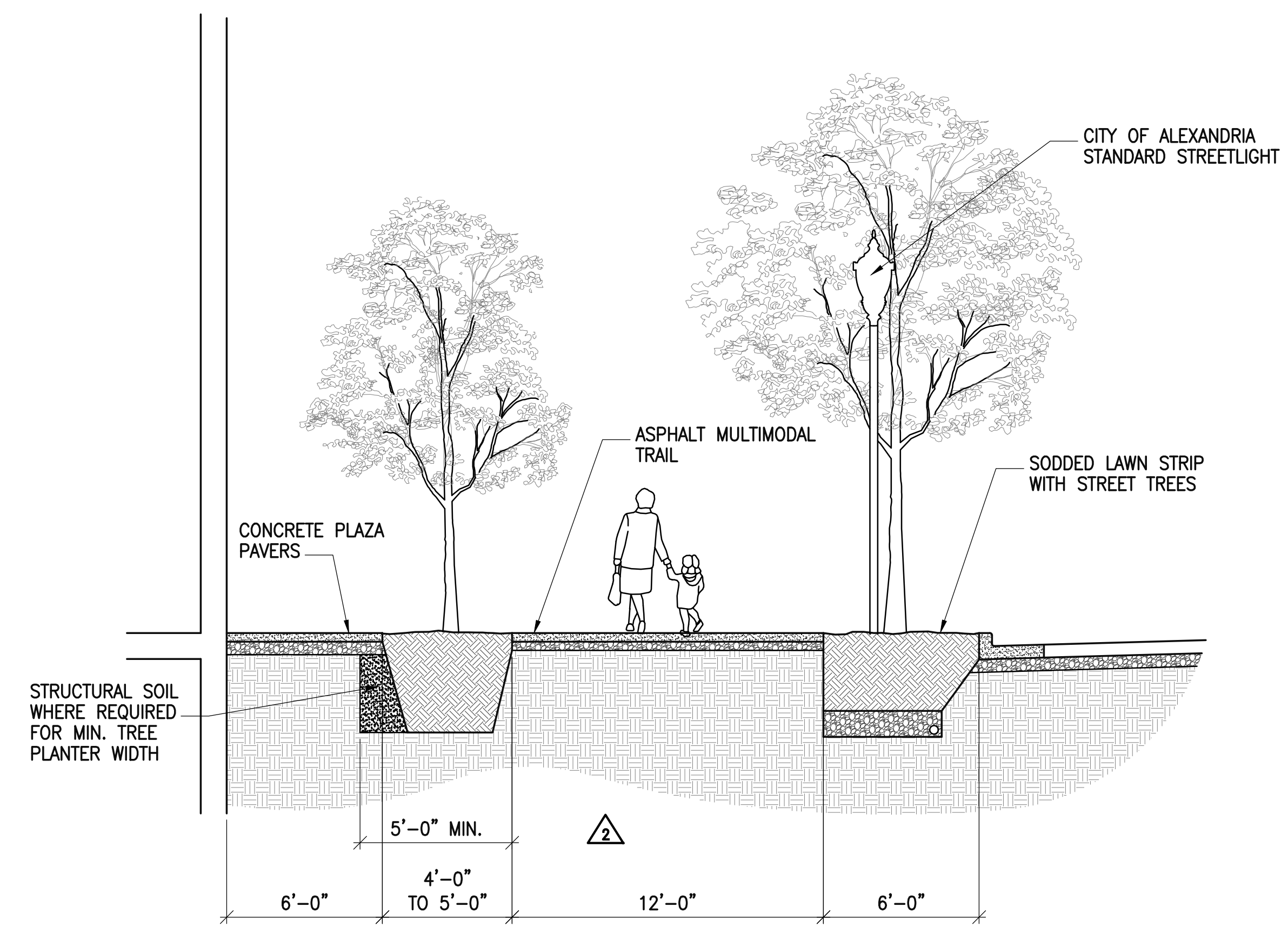
SHEET NAME:
LANDSCAPE DETAILS

APPROVED SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING
DATE: 11/6/19
DIRECTOR: [Signature]
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. []
DATE: 11/6/19
DATE RECORDED: []
INSTRUMENT NO. [] DEED BOOK NO. [] PAGE NO. []

ESI
Peer Review



2 PENTHOUSE PLANTERS SECTION (TYPICAL)
 SCALE: 1/4" = 1'-0"
 (Section02K)



1 MILL ROAD
 SCALE: 1/4" = 1'-0"
 (Section01K)



DATE	DESCRIPTION	PLAN STATUS	DATE	DESCRIPTION
12/20/19	PROGRESS PRINTING		3/26/20	ISSUED FOR SUP - ADDENDUM 1
2/11/20	ISSUED FOR PERM/COMP		3/20/20	ISSUED FOR SUP - OWNER REVIEW



REVISION APPROVED BY		DATE	APPROVED
NO.	DESCRIPTION	DATE	BY
1	△ SITE PLAN	3/16/20	

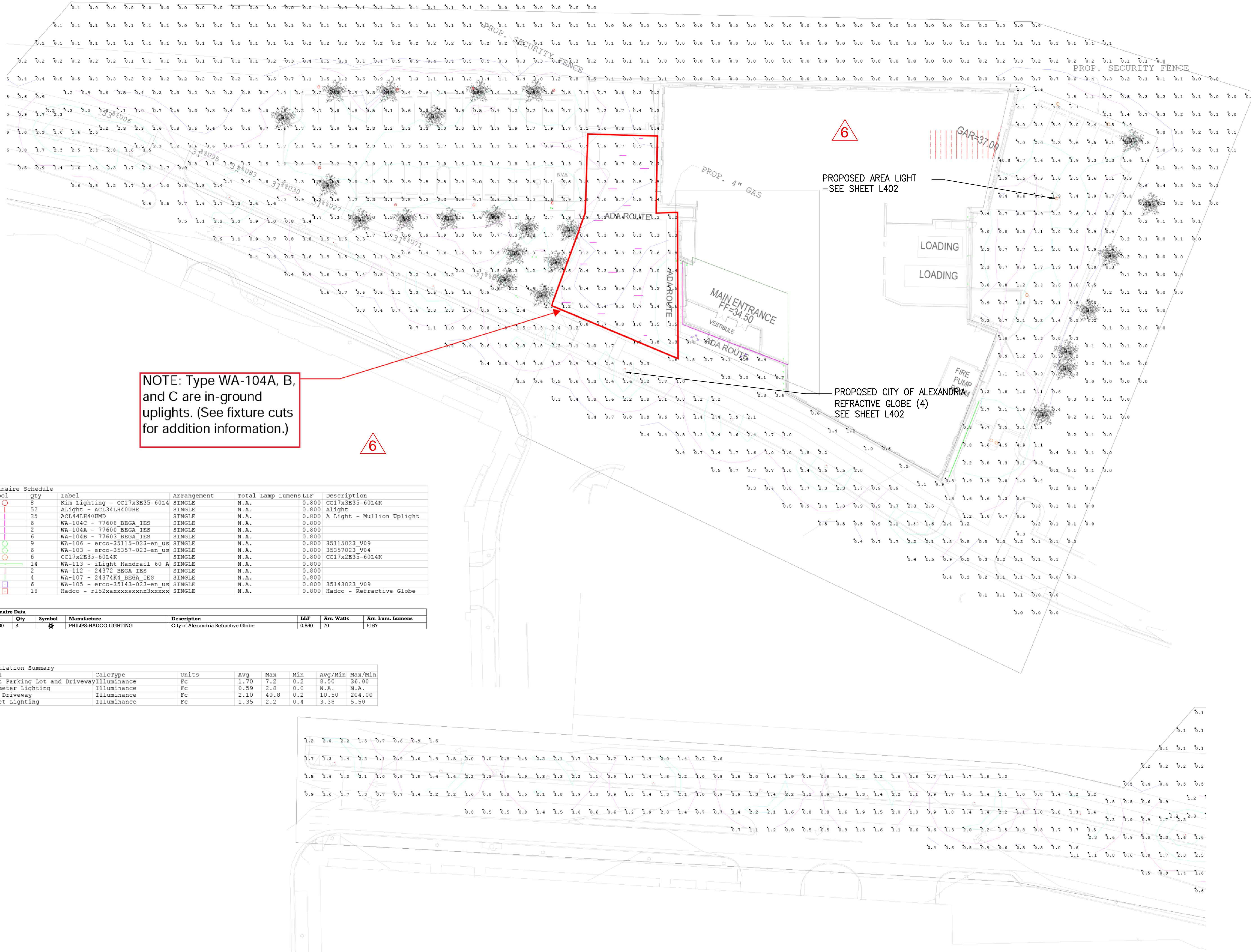
2395 MILL ROAD
FINAL SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

APPROVED SPECIAL USE PERMIT NO. 2018-0028
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____
John V. 3.26.20
 DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED _____
 INSTRUMENT NO. DEED BOOK NO. PAGE NO.

ESI
 Peer Review

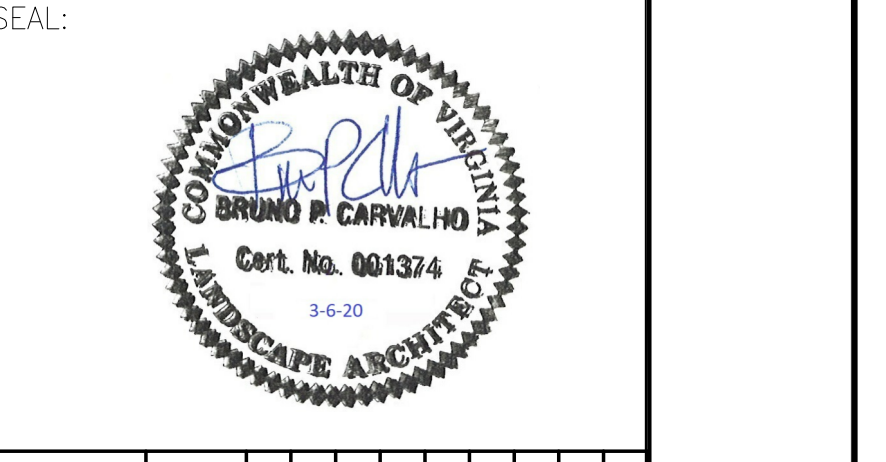


NOTE: Type WA-104A, B, and C are in-ground uplights. (See fixture cuts for addition information.)

Symbol	Qty	Label	Arrangement	Total Lamp Lumens/LLF	Description
8	8	Kim Lighting - CC17x3E35-60L4	SINGLE	N.A.	0.800 CC17x3E35-60L4K
52	52	Alight - ACL341H40UHE	SINGLE	N.A.	0.800 Alight
25	25	ACL44H40UMD	SINGLE	N.A.	0.800 A Light - Mullion Uplight
6	6	WA-104C - 77600 BEGA IES	SINGLE	N.A.	0.800
2	2	WA-104A - 77600 BEGA IES	SINGLE	N.A.	0.800
6	6	WA-104B - 77603 BEGA IES	SINGLE	N.A.	0.800
9	9	WA-106 - erco-35115-023-em US	SINGLE	N.A.	0.800 35115023 V09
6	6	WA-103 - erco-35357-023-em US	SINGLE	N.A.	0.800 35357023 V04
6	6	CC17x2E35-60L4K	SINGLE	N.A.	0.800 CC17x2E35-60L4K
14	14	WA-113 - Light Handrail 60 A	SINGLE	N.A.	0.800
2	2	WA-112 - 24372 BEGA IES	SINGLE	N.A.	0.800
4	4	WA-107 - 24374R4 BEGA IES	SINGLE	N.A.	0.800
6	6	WA-105 - erco-35143-023-em US	SINGLE	N.A.	0.800 35143023 V09
18	18	Hadco - r192kxxxxxxxxxxxxx SINGLE	SINGLE	N.A.	0.800 Hadco - Reflective Globe

Label	Qty	Symbol	Manufacture	Description	LLF	Arr. Watts	Arr. Lum. Lumens
C1890	4	⬠	PHILIPS-HADCO LIGHTING	City of Alexandria Reflective Globe	0.850	70	8187

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Front Parking Lot and Driveway	Illuminance	Fc	1.70	7.2	0.2	8.50	36.00
Perimeter Lighting	Illuminance	Fc	0.59	2.8	0.0	N.A.	N.A.
Rear Driveway	Illuminance	Fc	2.10	40.9	0.2	10.50	204.00
Street Lighting	Illuminance	Fc	1.35	2.2	0.4	3.38	5.50



NO.	DESCRIPTION	DATE	REV. BY	APPROVED
6	ISSUED FOR CMP - AMENDMENT 1	08/10/20		
	ISSUED FOR CMP - OWNER REVIEW	12/22/20		

2395 MILL ROAD FINAL SITE PLAN CITY OF ALEXANDRIA, VIRGINIA

REVISION APPROVED BY

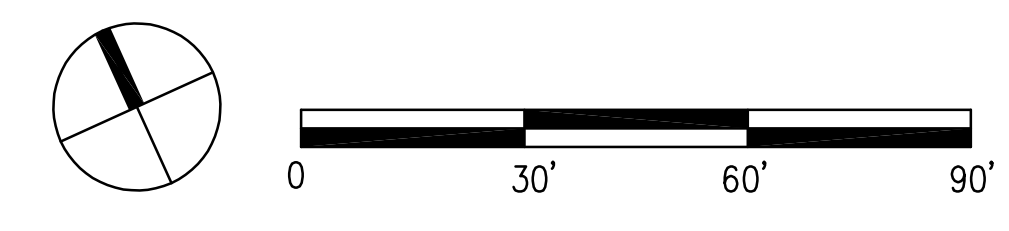
APPROVED
SPECIAL USE PERMIT NO. 2018-0028
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. 7.29.20
DIRECTOR DATE

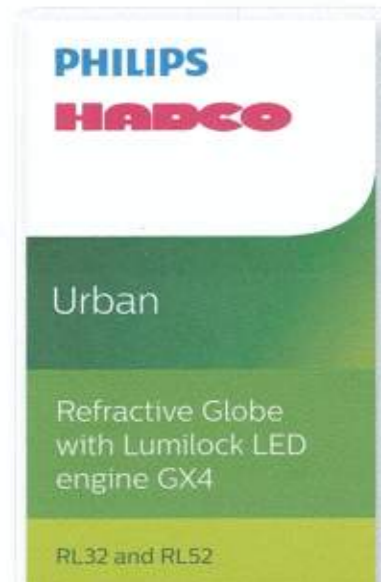
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.



2 LIGHTING PLAN 'WEST'
SCALE: 1"=30'-0"



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Project information table with fields for Location, Cat file, Type, Lamp, Notes, etc.

Whether you are looking to beautify or add a sense of security and well-being to your outdoor space, the highly configurable Philips Hadco LED refractive post tops paired with the latest Lumilock light engine GX4 will definitely help you achieve your goals.

Ordering guide: Luminaire example: RL32 B A A B 1 H W R S N 1 A S N N N S P Z

Ordering guide table with columns for Series, Pole, Roof, Cap, Finial, Fastener, Finish, Optic, Pole Photo Control, and Lamp.

Optional programs table with columns for Pole Photo Control, Color Temp, Voltage, Drive Current, Integral Control Options, Option 1, Option 2, Option 3, and Surge Protection.

Notes and specifications for the luminaire, including compatibility with different pole types and surge protection options.

Product specification block including Catalog No, Pole Head, Pole, Lamp Type, and Fixture Type (PL1).

RL32/RL52 Refractive Globe with Lumilock LED engine GX4 LED Post Top Luminaire

Predicted Lumen Depreciation Data table showing L70 hours and L90 hours for various configurations.

Field Adjustable Wattage (FAWS) Multiplier Chart table showing multipliers for different pole heights and wattages.

Product specification block for page 4 of 7, including Catalog No, Pole Head, Pole, Lamp Type, and Fixture Type (PL1).

RL32/RL52 Refractive Globe with Lumilock LED engine GX4 LED Post Top Luminaire

LED Wattage and Lumen Values: 4000K

LED Wattage and Lumen Values table for 4000K, showing Ordering Code, Total LEDs, LED current, Average system watts, Delivered lumens, Efficacy, BUG rating, and Delivered lumens/efficacy.

LED Wattage and Lumen Values: 3000K

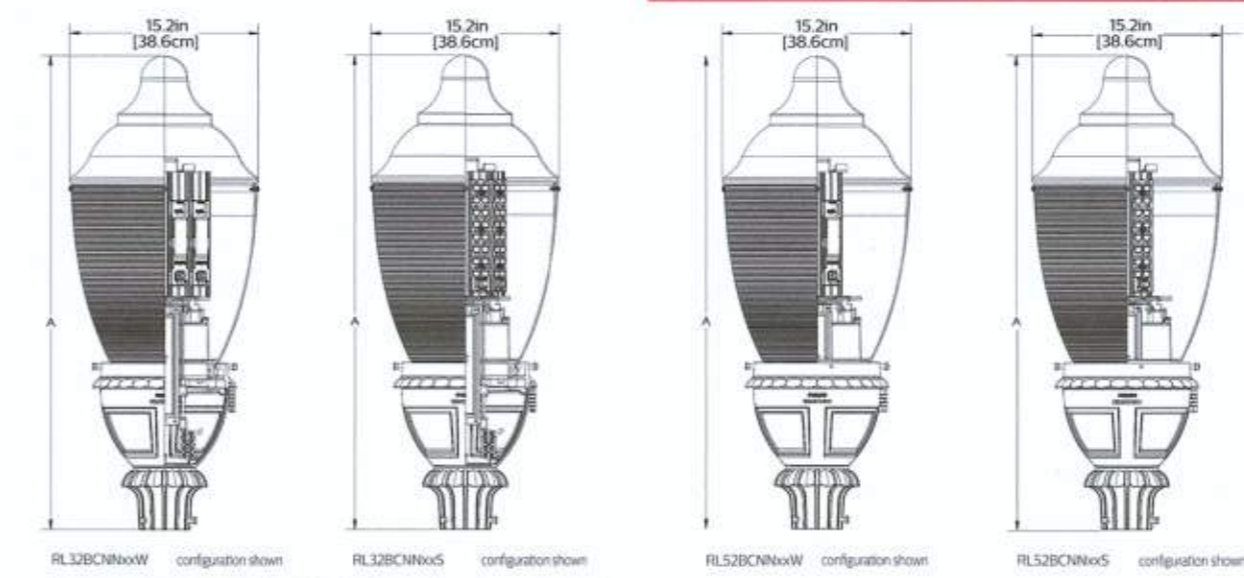
LED Wattage and Lumen Values table for 3000K, showing Ordering Code, Total LEDs, LED current, Average system watts, Delivered lumens, Efficacy, BUG rating, and Delivered lumens/efficacy.

RL32-RL52_Spec 01/18 page 2 of 7

Product specification block for page 2 of 9, including Catalog No, Pole Head, Pole, Lamp Type, and Fixture Type (PL1).

RL32/RL52 Refractive Globe with Lumilock LED engine GX4 LED Post Top Luminaire

Dimensions for RL32 - Type 3 and RL52 - Type 5



Product specification block for page 3 of 9, including Catalog No, Pole Head, Pole, Lamp Type, and Fixture Type (PL1).

DECORATIVE LAMP POST

FLUTED TAPERED POLE • Fluted, tapered composite pole • Direct Embedded and Anchor Base models • XTREME™ elastomeric urethane base cover

Ordering Information table showing Sample Description Number Logic with columns B, C, D, E, F.

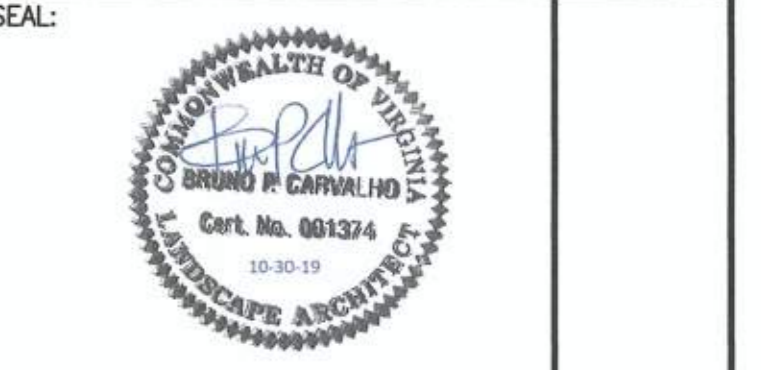
Table showing Above Grade Height (B) and Tenon O.D. (E) options.

Table showing Installation Method (C) and Color (D) options.

Notes for decorative lamp post, including color chip and RAL color number requirements.

Product specification block for page 8 of 9, including Catalog No, Pole Head, Pole, Lamp Type, and Fixture Type (PL1).

CGLA logo and project information including Date (July 2019), Plan Status, and Description.



Revision table with columns for No., Description, Date, and Approved By.

2395 MILL ROAD FINAL SITE PLAN CITY OF ALEXANDRIA, VIRGINIA

Approval stamp and project information including Department of Planning & Zoning, Department of Transportation & Environmental Services, and dates.

NOTE: LIGHTING ON THE PAGE IS FOR REFERENCE ONLY. THE FIXTURE SHOWN HAS BEEN SUBMITTED AS PART OF THE HOFFMAN TOWN CENTER PROJECT. PLEASE REFER TO THE HOFFMAN TOWN CENTER PROJECT CURRENT SUBMISSION FOR THE MOST RECENT LIGHTING SPECIFICATIONS.



WMATA
Eisenhower Ave
Office Building
 2395 Mill Road Alexandria, VA

Gensler

2020 K Street NW
 Suite 200
 Washington, DC 20006
 United States
 Tel 202.721.5200
 Fax 202.872.8587

Jair Lynch

Jair Lynch Real Estate
 Partners
 1400 16th Street NW
 Suite 430
 Washington, DC 20036
 Tel 202.462.1092

KDA

K. Dixon Architecture, PLLC
 137 National Plaza
 Suite 300
 National Harbor, MD 20745
 Tel 301.364.5053

Bowman

Bowman Consulting
 12355 Sunrise Valley Drive
 Suite 520
 Reston, VA 20191
 Tel 703.464.1000

Setty

Setty
 1415 Elliot Place, NW
 Suite 100
 Washington, DC 20007
 Tel 202.393.1523

CGLA

Landscape Architecture
 1025 Connecticut Avenue, NW
 Suite 1000
 Washington, DC 20036
 Tel 202.857.9720

Thornton Tomasetti

Thornton Tomasetti
 2001 K Street, NW
 Suite 600 North
 Washington, DC 20006
 Tel 202.580.6300

A+F Engineers

A+F Engineers
 1112 16th Street NW
 Suite 920
 Washington, DC 20036
 Tel 202.628.1600

Jensen Hughes

Jensen Hughes
 4601 Fairfax Drive
 Suite 1200
 Arlington, VA 22203
 Tel 703.348.6398

Michael Blades

Michael Blades & Associates,
 Ltd
 5409 Rapidan Court
 Lothian, MD 20711
 Tel 410.798.8504

Date	Description
09-12-2019	3RD FDSUP SUBMISSION



Seal / Signature

NOT FOR CONSTRUCTION

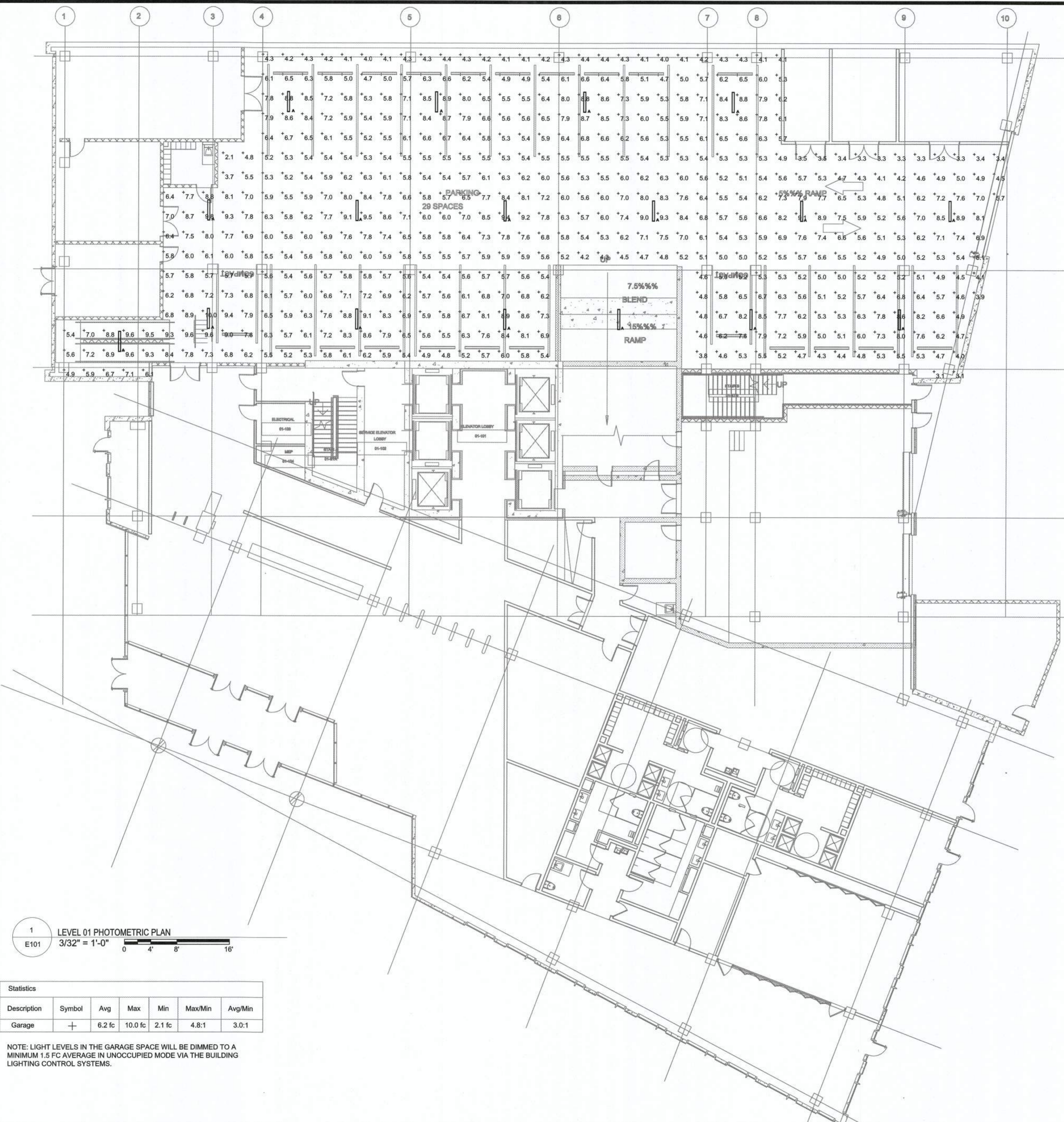
Project Name
 2395 MILL ROAD

Project Number
 009.8974.000

Description
 LEVEL 01 PHOTOMETRIC PLAN

Scale
 3/32" = 1'-0"

E101



1 LEVEL 01 PHOTOMETRIC PLAN
 3/32" = 1'-0"
 0 4' 8' 16'

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Garage	+	6.2 fc	10.0 fc	2.1 fc	4.8:1	3.0:1

NOTE: LIGHT LEVELS IN THE GARAGE SPACE WILL BE DIMMED TO A MINIMUM 1.5 FC AVERAGE IN UNOCCUPIED MODE VIA THE BUILDING LIGHTING CONTROL SYSTEMS.

LIGHTING FIXTURE SCHEDULE								
TYPE	SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LUMENS	LAMP	VOLTAGE	REMARKS
A		PARKING GARAGE SURFACE MOUNTED LED FIXTURE	COLUMBIA LIGHTING	LXEP4-35HL-DFA-EDU	5121	52W LED	277	

APPROVED
 SPECIAL USE PERMIT NO. **2018-0028**
 DEPARTMENT OF PLANNING & ZONING

[Signature] FOR KM 11/6/19
 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

[Signature] 11/6/19
 DIRECTOR DATE

[Signature] 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____
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 Plot Date: 12/26/2019 08:53:34

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09-12-2019	3RD FDSUP SUBMISSION



Seal / Signature

NOT FOR CONSTRUCTION

Project Name
 2395 MILL ROAD

Project Number
 009.8974.000

Description
 LEVEL 02 PHOTOMETRIC PLAN

Scale
 3/32" = 1'-0"

E102

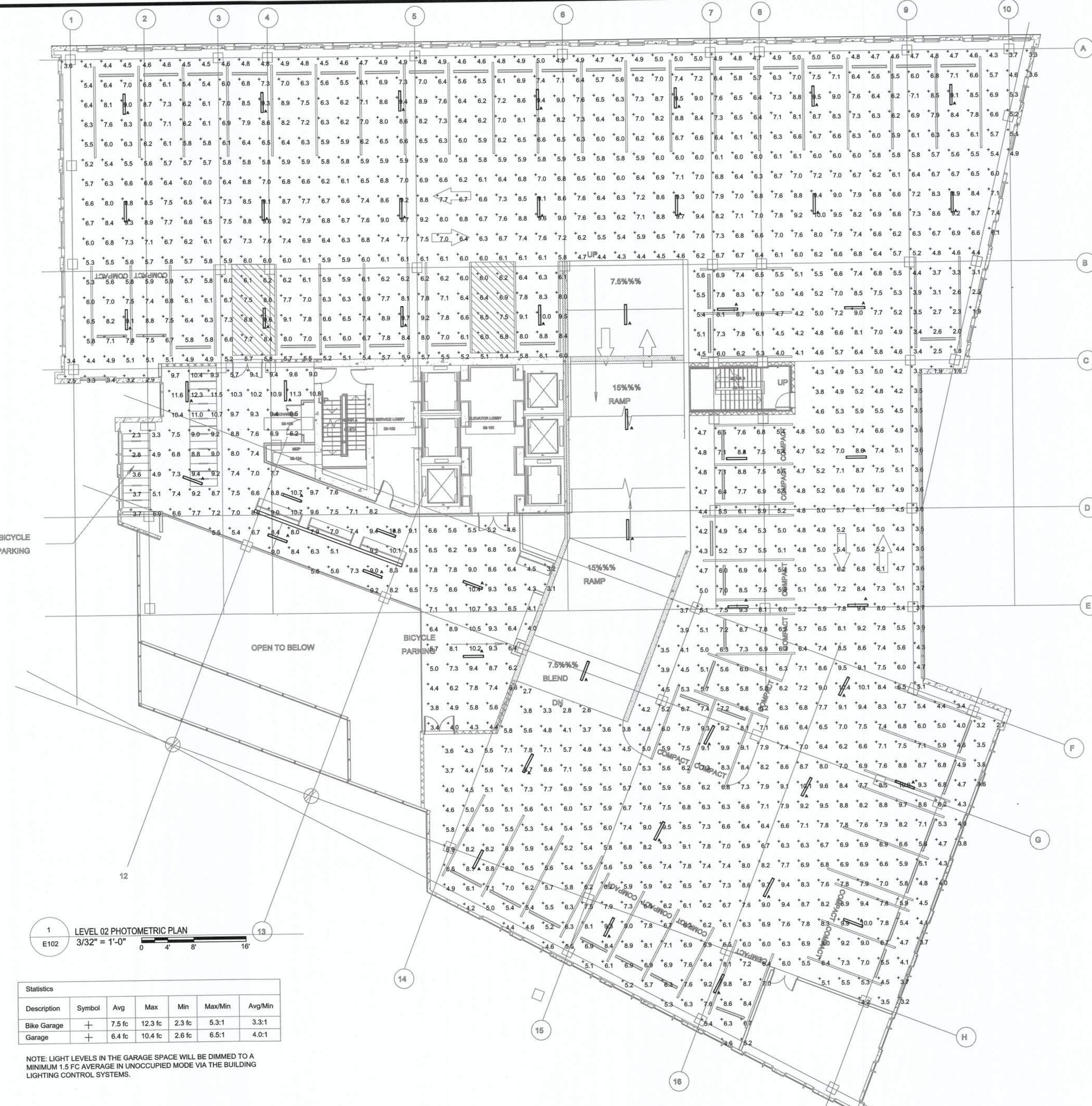
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 DEPARTMENT OF PLANNING & ZONING

Matthew Fox KM 11/6/19
 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. *[Signature]* 11/2/19
 DIRECTOR DATE

Matthew M. Hink 11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

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1 LEVEL 02 PHOTOMETRIC PLAN
 E102 3/32" = 1'-0"

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Bike Garage	+	7.5 fc	12.3 fc	2.3 fc	5.3:1	3.3:1
Garage	+	6.4 fc	10.4 fc	2.6 fc	6.5:1	4.0:1

NOTE: LIGHT LEVELS IN THE GARAGE SPACE WILL BE DIMMED TO A MINIMUM 1.5 FC AVERAGE IN UNOCCUPIED MODE VIA THE BUILDING LIGHTING CONTROL SYSTEMS.

TYPE	SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LUMENS	LAMP	VOLTAGE	REMARKS
A		PARKING GARAGE SURFACE MOUNTED LED FIXTURE	COLUMBIA LIGHTING	LXEP4-35HL-DFA-EDU	5121	52W LED	277	

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Date	Description
09-12-2019	3RD FDSUP SUBMISSION



Seal / Signature

NOT FOR CONSTRUCTION

Project Name
 2395 MILL ROAD

Project Number
 009.8974.000

Description
 LEVEL 03 & 04 PHOTOMETRIC PLAN

Scale
 3/32" = 1'-0"

E103

APPROVED 2018-0028
 SPECIAL USE PERMIT NO.
 DEPARTMENT OF PLANNING & ZONING

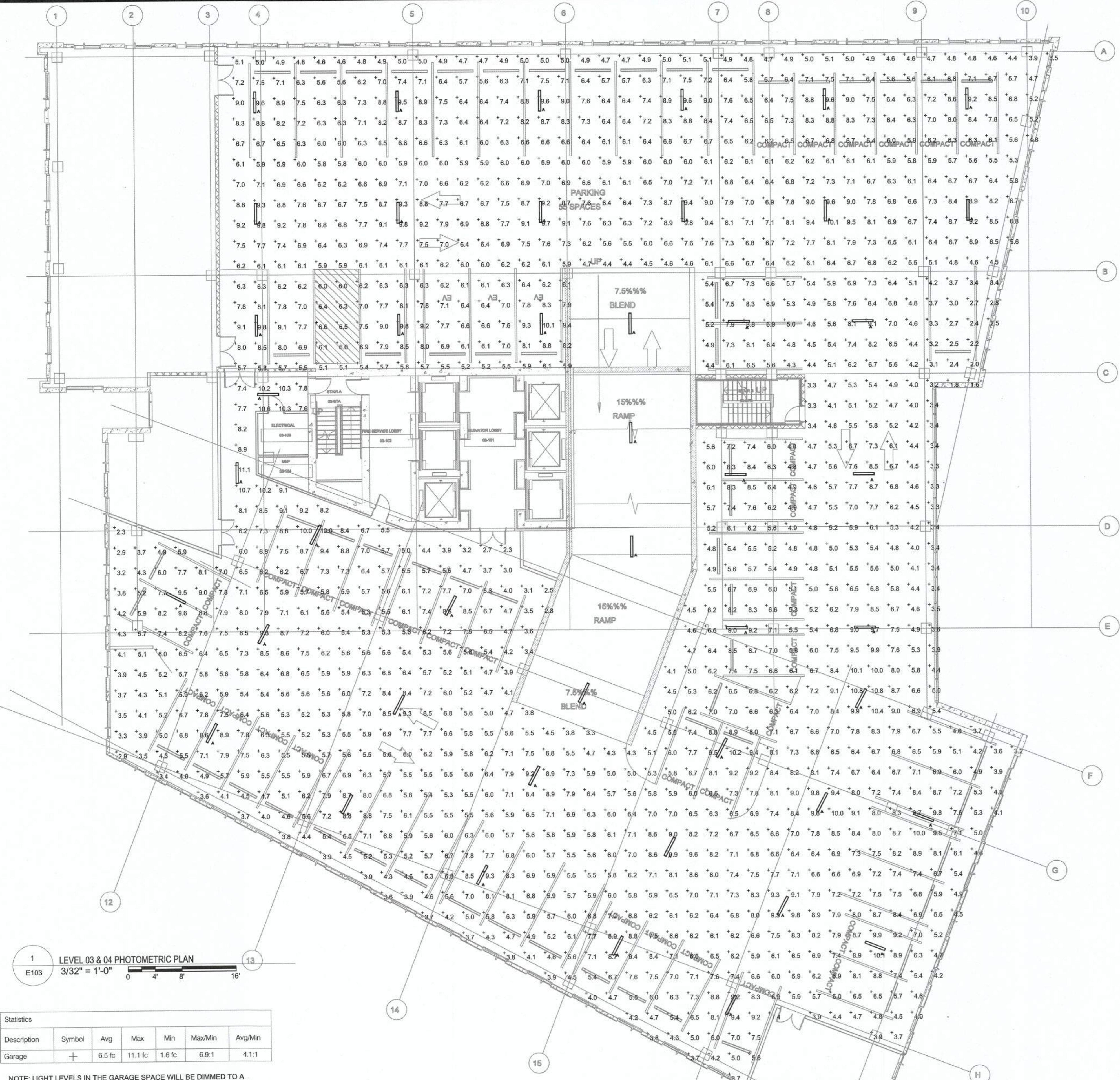
For KM 11/6/19
 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO.

11/6/19
 DIRECTOR DATE

11/6/19
 CHAIRMAN, PLANNING COMMISSION DATE

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1 LEVEL 03 & 04 PHOTOMETRIC PLAN
 E103 3/32" = 1'-0"

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Garage	+	6.5 fc	11.1 fc	1.6 fc	6.9:1	4.1:1

NOTE: LIGHT LEVELS IN THE GARAGE SPACE WILL BE DIMMED TO A MINIMUM 1.5 FC AVERAGE IN UNOCCUPIED MODE VIA THE BUILDING LIGHTING CONTROL SYSTEMS.

TYPE	SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LUMENS	LAMP	VOLTAGE	REMARKS
A		PARKING GARAGE SURFACE MOUNTED LED FIXTURE	COLUMBIA LIGHTING	LXEP4-35HL-DFA-EDU	5121	52W LED	277	

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 Drawn by: MOHAMMED THOUSIF, P.E. Date: 12-09-2018 08:57:33 PM
 Scale: 3/32" = 1'-0"