ARCHITECTURAL KEYNOTES

KEYED NOTES BY DEFICIENCY

1- CORROSION

$\langle 1A \rangle$	CORROSION	ON	DOOR,	REPLACE	IN	KIND.

- $\langle 1B\rangle$ corrosion on door frame, replace. See detail 1 on dwg. g05s-a-502
- $\langle 1C \rangle$ CORROSION ON DOOR CLOSER. REPLACE IN KIND.
- $\langle 1D \rangle$ CORROSION ON BOLLARD. SCRAPE CLEAN, PRIME, AND REPAINT TO MATCH EXISTING.
- $\langle 1E \rangle$ Corrosion on Pipe Guard. Scrape Clean, Prime, and Repaint to Match existing.
- (1F) CORROSION ON HANDRAIL. SCRAPE CLEAN, PRIME, AND REPAINT TO MATCH EXISTING.
- $\langle 1G \rangle$ Corrosion on guardrail. Scrape clean, prime, and repaint to match existing.
- CORROSION ON FENCING/ LIGHTWALL FENCING. SCRAPE CLEAN, AND TREAT WITH ANTI-CORROSIVE. (1H)
- $\langle 11 \rangle$ CORROSION ON RAMP EDGE. SCRAPE CLEAN AND TREAT WITH ANTI-CORROSIVE.
- $\left< 1 J \right>$ corrosion on sign post. Scrape clean, prime, and repaint to match existing.

 $\langle 2B \rangle$ DISLODGED/MISALIGNED SIGNPOST. REPLACE IN KIND. SEE DETAIL 4 ON DWG. G05S-A-502

IMPACT DAMAGE TO FLASHING. REPLACE IN KIND. SEE DETAIL 3 ON DWG. G05S-A-502.

 $\langle 2H \rangle$ misaligned threshold. Replace in Kind. See Sill detail 1&2 on DWG. G05S-A-502.

DAMAGED CHAIN LINK FENCE. REPLACE IN KIND. SEE DETAIL 3 ON DWG. G05S-A-503.

 $\langle 4A \rangle$ CHIPPED/ PEELED PAINT ON BOLLARD. SCRAPE CLEAN, PRIME, REPAINT TO MATCH EXISTING.

REFERENCE DRAWINGS

TITLE

CHIPPED/ PEELED PAINT ON PIPE GUARD. SCRAPE CLEAN, PRIME, REPAINT REPAINT TO MATCH EXISTING.

CHIPPED/ PEELED PAINT ON HANDRAIL. SCRAPE CLEAN, PRIME, REPAINT REPAINT TO MATCH EXISTING.

CHIPPED/ PEELED PAINT ON GUARDRAIL. SCRAPE CLEAN, PRIME, REPAINT REPAINT TO MATCH EXISTING.

CHIPPED/ PEELED PAINT ON CLEARANCE BAR. SCRAPE CLEAN, PRIME, REPAINT REPAINT TO MATCH EXISTING.

CHIPPED/ PEELED PAINT ON WALLS. SCRAPE CLEAN, PRIME, REPAINT REPAINT TO MATCH EXISTING.

(4H) CHIPPED/ PEELED PAINT ON LIGHTWALL BAR. SCRAPE CLEAN, PRIME, REPAINT REPAINT TO MATCH EXISTING.

CHIPPED/ PEELED PAINT ON FIRE PROTECTION PIPE. SCRAPE CLEAN, PRIME, REPAINT REPAINT TO MATCH EXISTING.

REVISIONS

DATE NUM

01/25/2018 0 FINAL SUBMITTAL

05/15/2018 1 AMENDMENT #2

DESCRIPTION

DETACHED STAIR NOSING. REPLACE IN KIND. SEE STRUCTURAL DRAWING.

DETACHED/MISSING TENSION BAR. REPLACE IN KIND. SEE DETAIL 2 ON DWG. G05S-A-503.

(2G) DISLODGED/ MISALIGNED HANGING SIGN. REPLACE IN KIND. SEE DETAIL 1&2 ON DWG. G05S-A-503.

- $\langle 1K \rangle$ CORROSION ON STOREFRONT MULLIONS. SCRAPE CLEAN AND FINISH TO MATCH EXISTING.

- $\langle 1M \rangle$ CORROSION ON FLASHING. REPLACE. SEE DETAIL 3 ON DWG. G05S-A-503.

- CORROSION ON GATE BOOTH. SCRAPE CLEAN, PRIME, AND REPAINT. (1L)

 $\langle 1N \rangle$ CORROSION ON CEILING TRIM. REPLACE IN KIND.

MISALIGNED EXIT GATE. RESET.

3 - DETACHED/ DAMAGED

 $\langle 2A \rangle$

 $\langle 2C \rangle$

 $\langle 2E \rangle$

 $\langle 2F \rangle$

 $\langle \overline{3A} \rangle$

 $\langle 3B \rangle$

 $\langle 3C \rangle$

 $\langle 3D \rangle$

 $\langle 4B \rangle$

 $\langle 4C \rangle$

 $\langle 4D \rangle$

 $\langle 4E \rangle$

 $\langle 4F \rangle$

 $\langle 4G \rangle$

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DATE

DRAWN <u>A.KATIGBAK</u> 01/2018

01/2018

DATE

01/2018 DATE

DESIGNED A.KATIGBAK

CHECKED <u>G.THOMAS</u>

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2 - IMPACT DAMAGE/ DISLODGED/ MISALIGNED

DAMAGED/ MISALIGNED DOOR. REPLACE IN KIND.

DETACHED STOREFRONT MULLIONS. REATTACH.

4 - CHIPPED/ PEELED PAINT ON ELEMENTS

NUMBER

 $\langle 2D \rangle$ DAMAGED/ MISALIGNED DOOR CLOSER. REPLACE IN KIND.

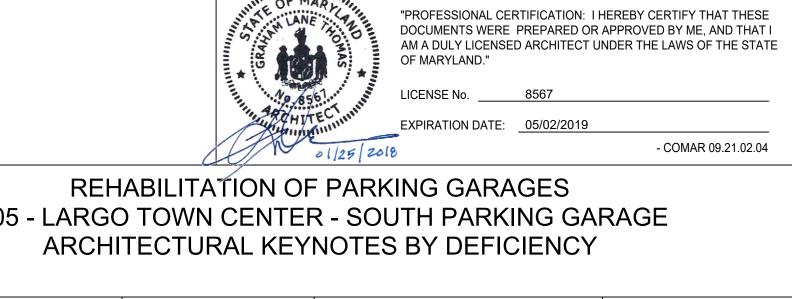
DISLODGED WHEEL STOP. REPOSITION TO PROPER LOCATION.

5 - FADED/ SCRATCHED PAINT ON SURFACES

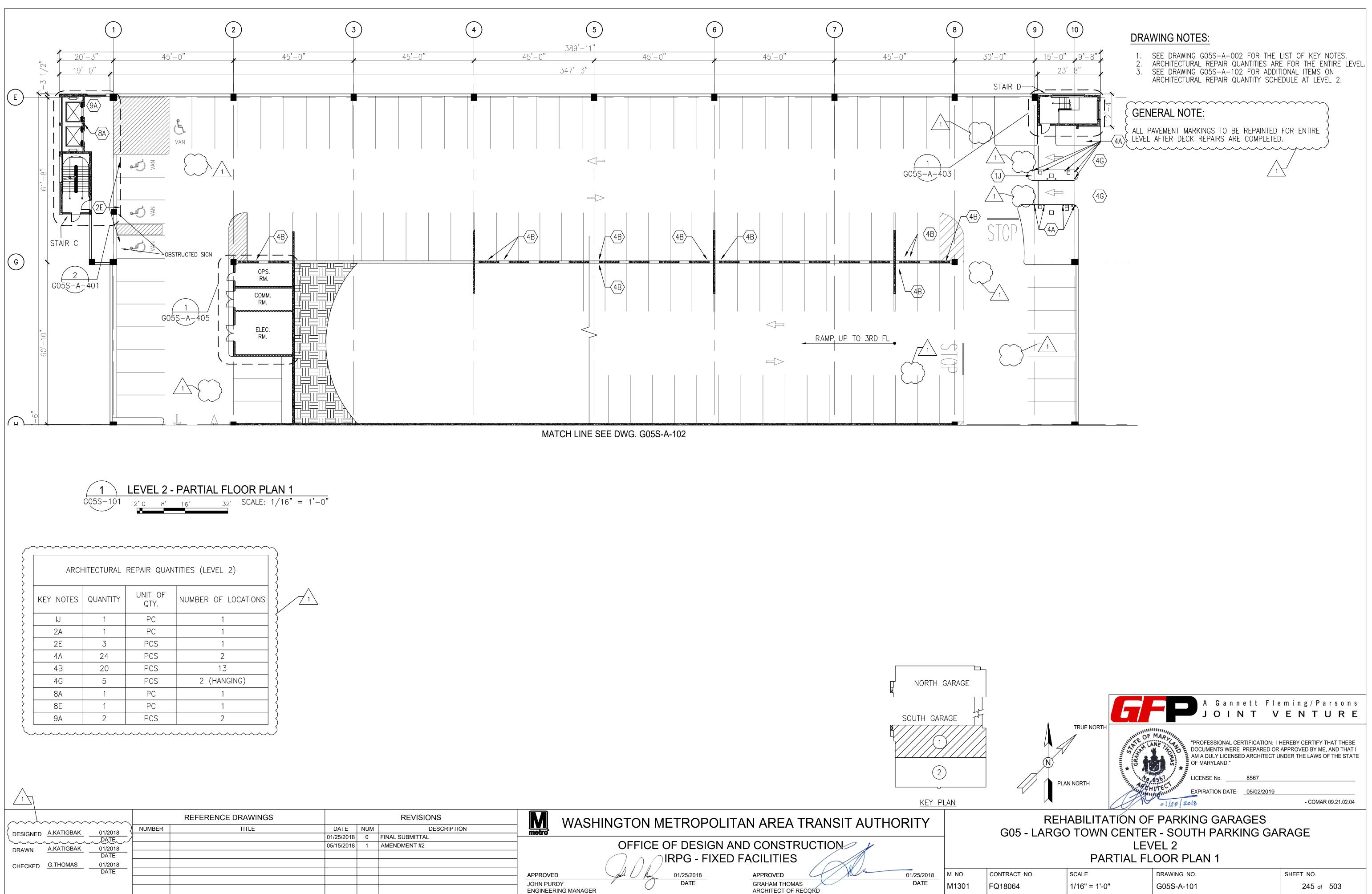
(5A) FADED OR MISSING PAVEMENT STOP BAR. (REPAINT ALL.) SEE DETAIL 1 ON DWG. A12-A-504.
$\overline{\langle 5B \rangle}$ FADED OR DOUBLE ADA PAVEMENT MARKING. REPAINT ALL. SEE DETAIL 2 ON DWG. A12-A-504.
$\overline{\langle 5C \rangle}$ FADED OR DOUBLE PARKING STRIPE. (REPAINT ALL.) SEE DETAIL 3 ON DWG. A12-A-504.
(5D) FADED NO PARKING STRIPING. (REPAINT ALL TO MATCH EXISTING. 1
(5E) FADED OR UNREADABLE SIGN. REPLACE IN KIND /1
$\langle 5F \rangle$ FADED OR MISSING PAVEMENT ARROWS. REPAINT ALL. SEE DETAIL 4 ON DWG. A12-A-504.
(5G) FADED OR SCRATCHED CURB PAINT. REPAINT ALL TO MATCH EXISTING.
(5H) FADED CROSSWALK. (REPAINT ALL TO MATCH EXISTING. 1
6 - DAMAGED SEALANT 2^{1}
$\overline{\langle 6A \rangle}$ damaged sealant. Scrape clean replace in Kind.
$\langle 6B \rangle$ DETACHED WEATHER STRIPPING. REINSTALL.
7 - MISSING ELEMENTS
$\langle 7A \rangle$ MISSING ACOUSTICAL CEILING TILES. REPLACE. SEE DETAIL 4 ON DWG. A12-A-503.
(7B) MISSING SIGN. REPLACE IN KIND.
$\left< \frac{7C}{2} \right>$ MISSING/DAMAGED HARDWARE. REPLACE IN KIND. SEE DOOR SCHEDULE, DWG. A12-A-501.
$\left< \frac{7D}{2} \right>$ missing screws/bolts. Replace in Kind.
(7E) MISSING KICKPLATE. REPLACE IN KIND.
(7F) MISSING OR DETACHED SAFETY STRIP. REPLACE IN KIND.
(7G) MISSING WALL TILES. REPLACE IN KIND.
$\langle 7H \rangle$ MISSING TRAFFIC DELINEATOR. REPLACE IN KIND. SEE DETAIL 5 ON DWG. A12–A–503.
8 - STAINED/ VANDALIZED/ WORN OUT
(8A) STAINED/ VANDALIZED SIGN. POWERWASH.
(8B) STAINED/ VANDALIZED WALL. POWERWASH.
$\langle 8C \rangle$ stained ceiling tile. Replace in Kind.
$\langle 8D \rangle$ stained or worn out flooring. Replace in Kind.
$\langle 8E \rangle$ STAINED/ VANDALIZED BOOTH. POWERWASH.
(8F) STAINED/ VANDALIZED DOOR AND FRAME. POWERWASH AND REPAINT.
<u>9 - MISCELLANEOUS</u>
(9A) WASP OR BIRD NEST. REMOVE AS REQUIRED.
(9B) PLANT ENCROACHMENT. REMOVE AS REQUIRED.

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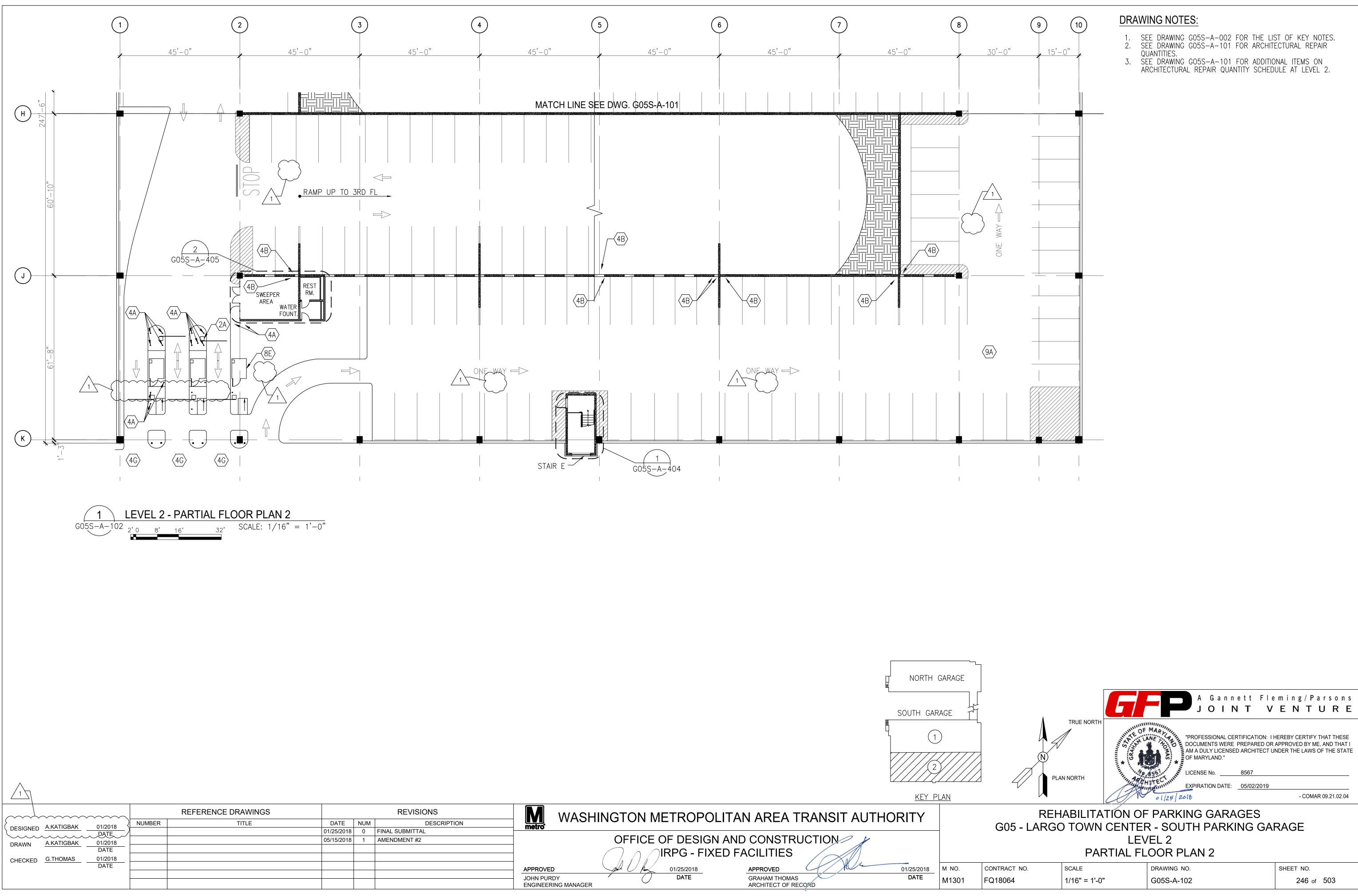
G05 - LARGO TOWN CENTER - SOUTH PARKING GARAGE ARCHITECTURAL KEYNOTES BY DEFICIENCY							
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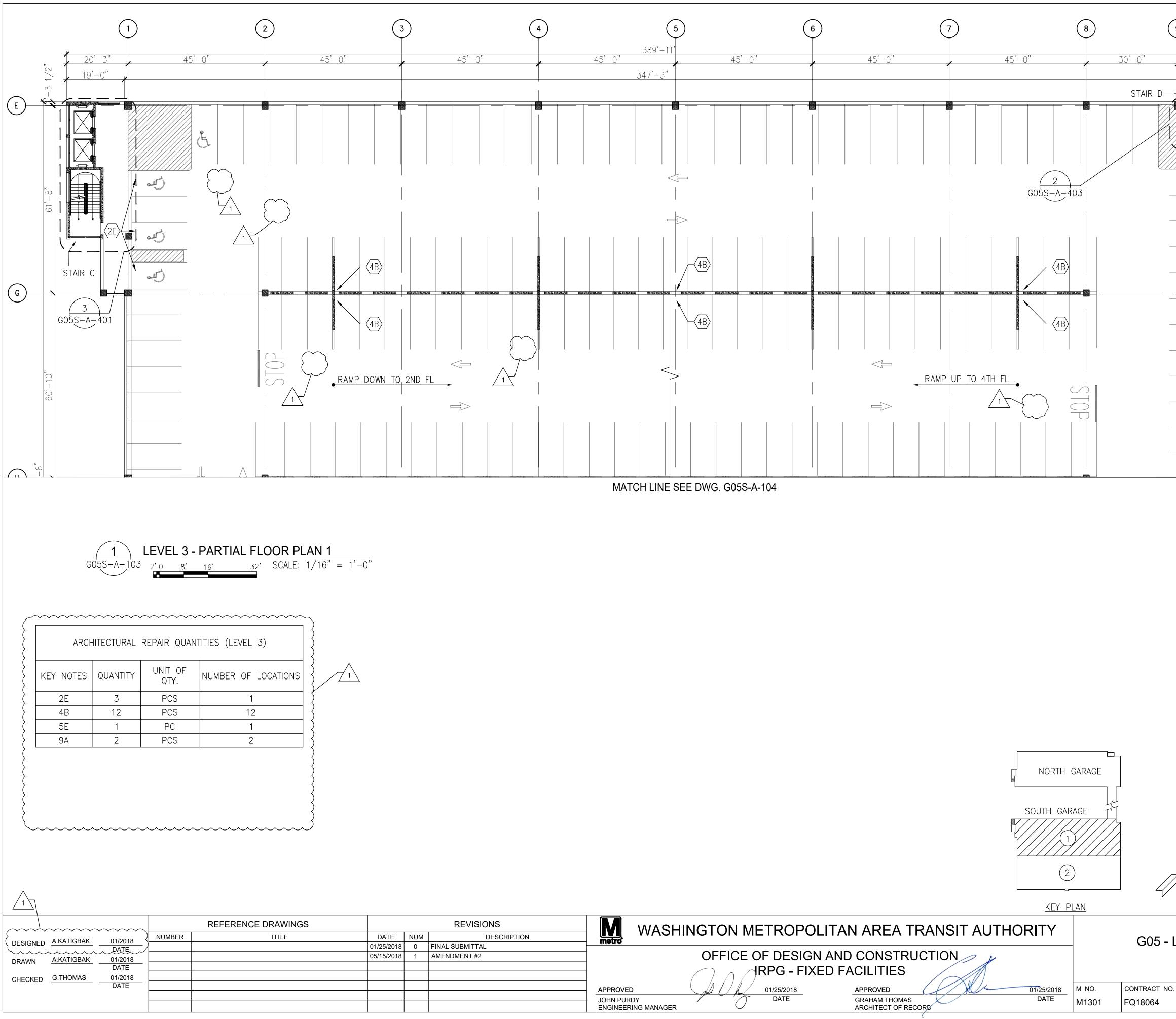


A Gannett Fleming/Parsons JOINT VENTURE

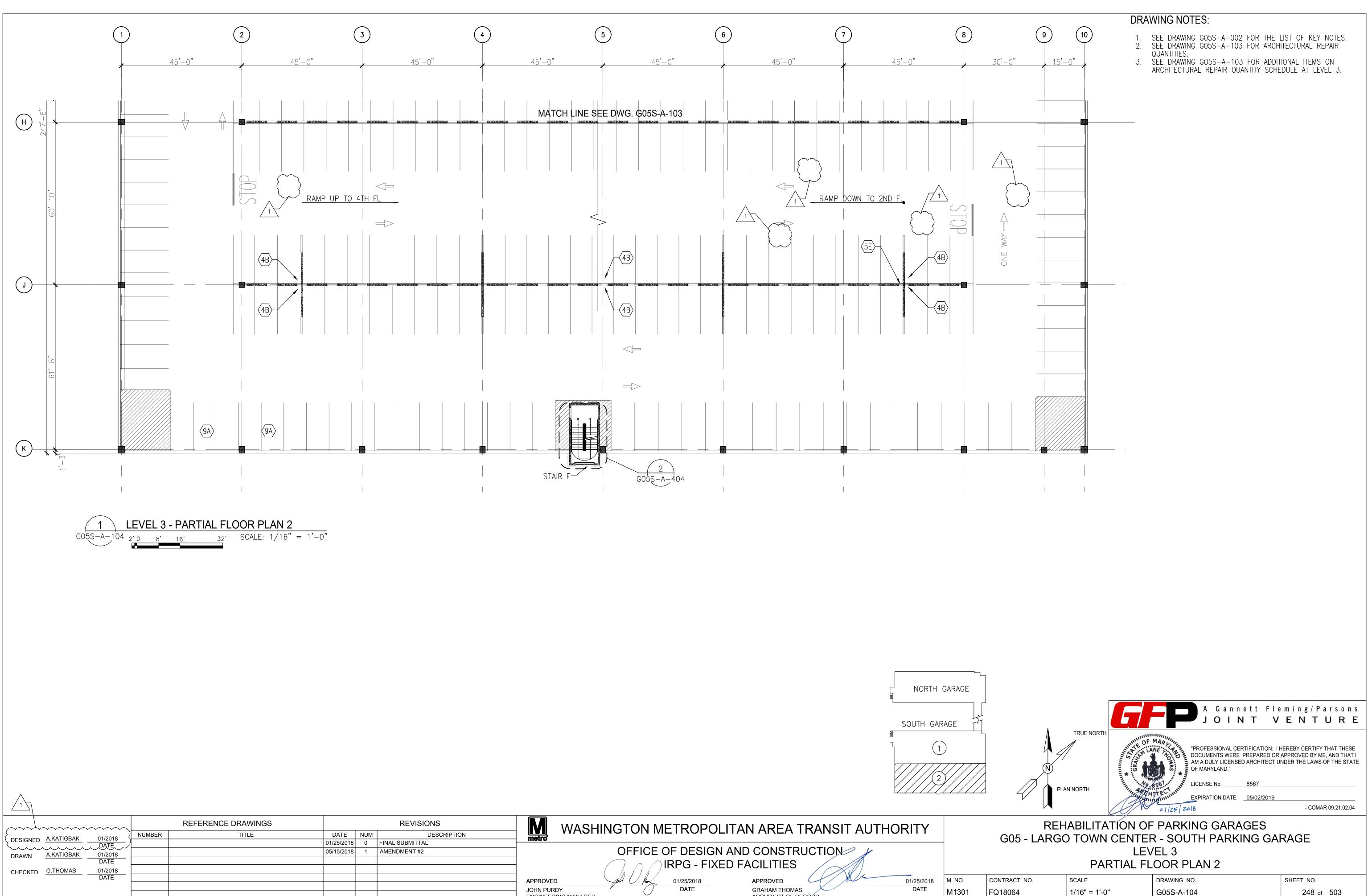


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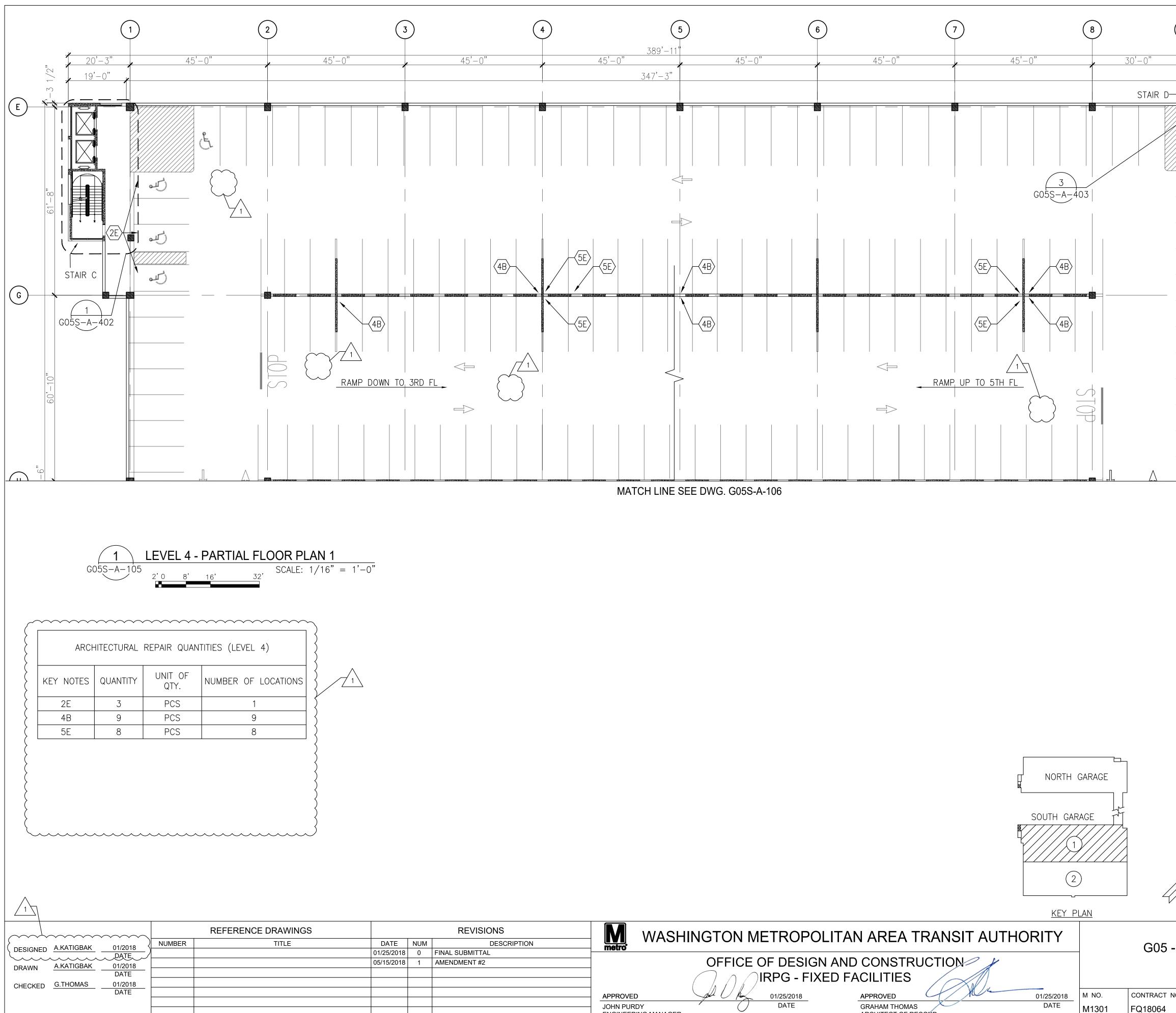




DRAWING NOTES: (9) (10)SEE DRAWING G05S-A-002 FOR THE LIST OF KEY NOTES. SEE DRAWING G05S-A-102 FOR ARCHITECTURAL REPAIR QUANTITIES ARE FOR THE ENTIRE LEVEL. SEE DRAWING GO5S-A-104 FOR ADDITIONAL ITEMS ON ARCHITECTURAL REPAIR QUANTITY SCHEDULE AT LEVEL 3. 15'-0" 23'-____ GENERAL NOTE: ALL PAVEMENT MARKINGS TO BE REPAINTED FOR ENTIRE LEVEL AFTER DECK REPAIRS ARE COMPLETED. _____ A Gannett Fleming/Parsons JOINT VENTURE TRUE NORTH OF MAR "PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE LANE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE 1.0.1 SOF MARYLAND." U ELICENSE No. 8567 PLAN NORTH EXPIRATION DATE: 05/02/2019 RCHITE - COMAR 09.21.02.04 01/25/2018 REHABILITATIÓN OF PARKING GARAGES G05 - LARGO TOWN CENTER - SOUTH PARKING GARAGE LEVEL 3 PARTIAL FLOOR PLAN 1 SCALE DRAWING NO. SHEET NO. 1/16" = 1'-0" G05S-A-103 247 of 503

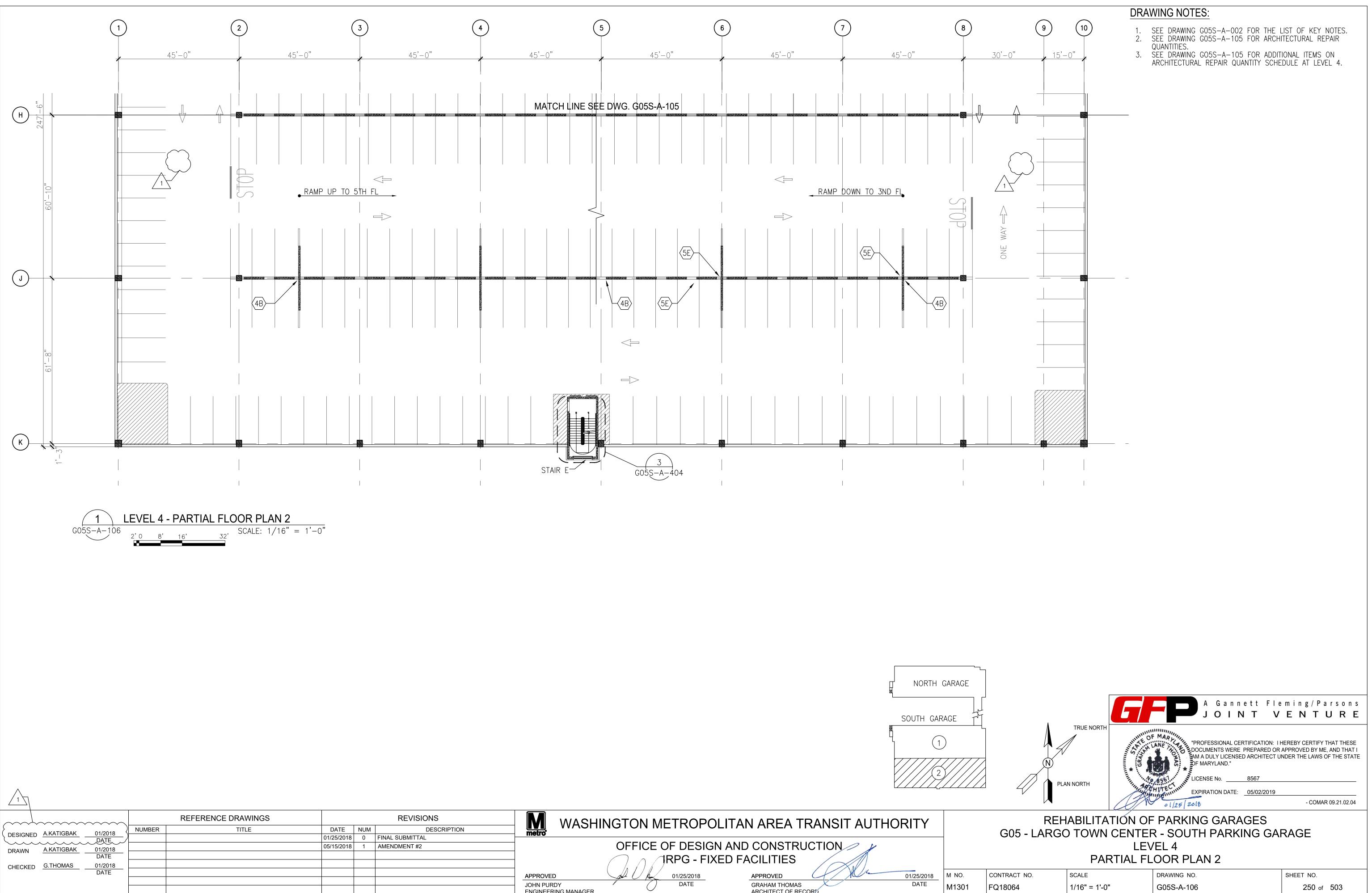


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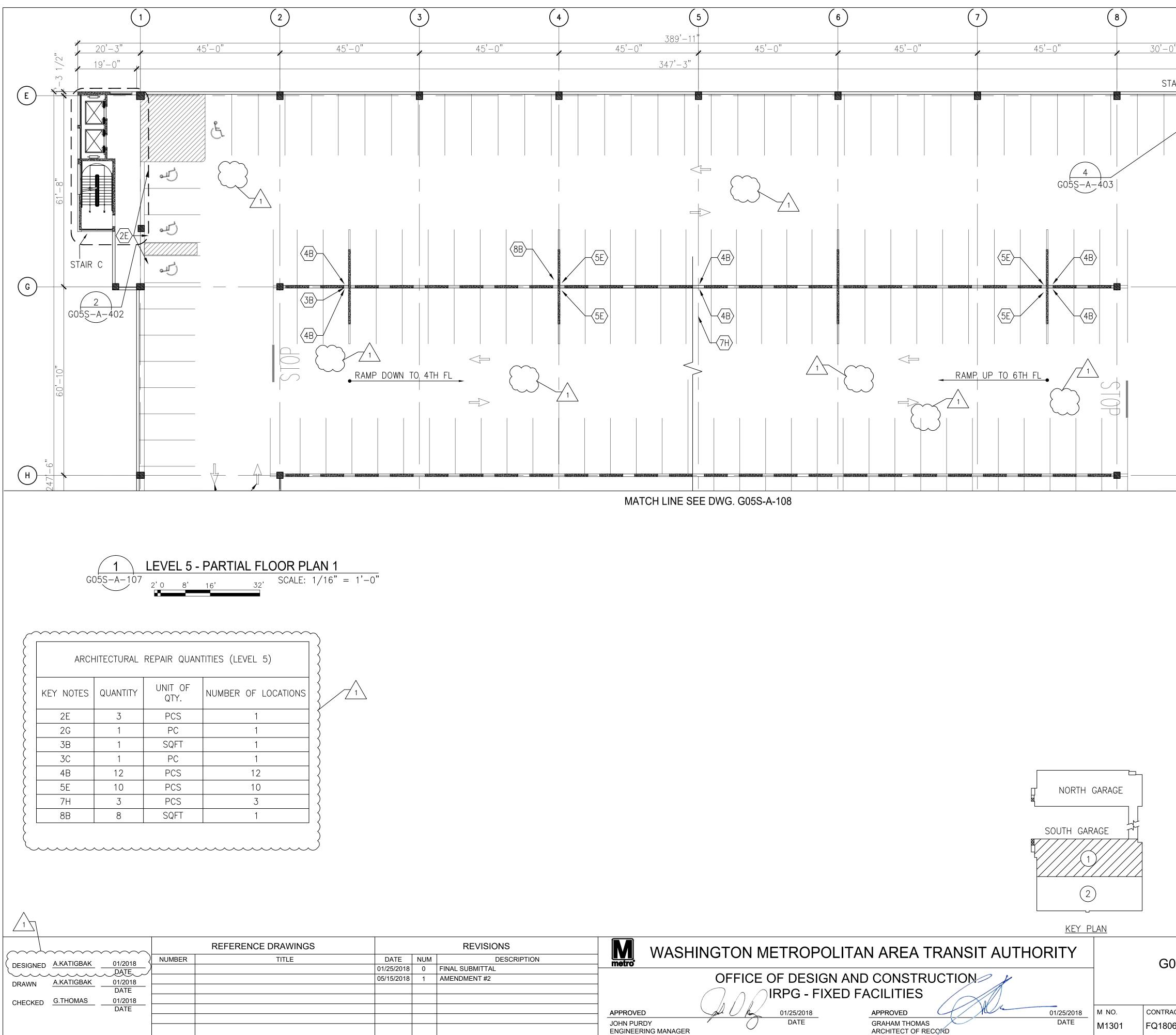


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DRAWING NOTES: (9) (10)1. SEE DRAWING G05S-A-002 FOR THE LIST OF KEY NOTES. 2. SEE DRAWING G05S-A-004 FOR ARCHITECTURAL REPAIR QUANTITIES ARE FOR THE ENTIRE LEVEL. 15'-0" 3. SEE DRAWING G05S-A-106 FOR ADDITIONAL ITEMS ON ARCHITECTURAL REPAIR QUANTITY SCHEDULE AT LEVEL 4. 23'-____ GENERAL NOTE: ALL PAVEMENT MARKINGS TO BE REPAINTED FOR ENTIRE LEVEL AFTER DECK REPAIRS ARE COMPLETED. \..... TRUE NORTH E OF MAR LANE ; "PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I 榆 AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND." LICENSE No. 8567 No 856 PLAN NORTH 4 CHITEC EXPIRATION DATE: 05/02/2019 - COMAR 09.21.02.04 01/25 2018 REHABILITATION OF PARKING GARAGES 5 - LARGO TOWN CENTER - SOUTH PARKING GARAGE LEVEL 4 PARTIAL FLOOR PLAN 1 SCALE DRAWING NO. SHEET NO. ΓNO. 1/16" = 1'-0" G05S-A-105 249 of 503

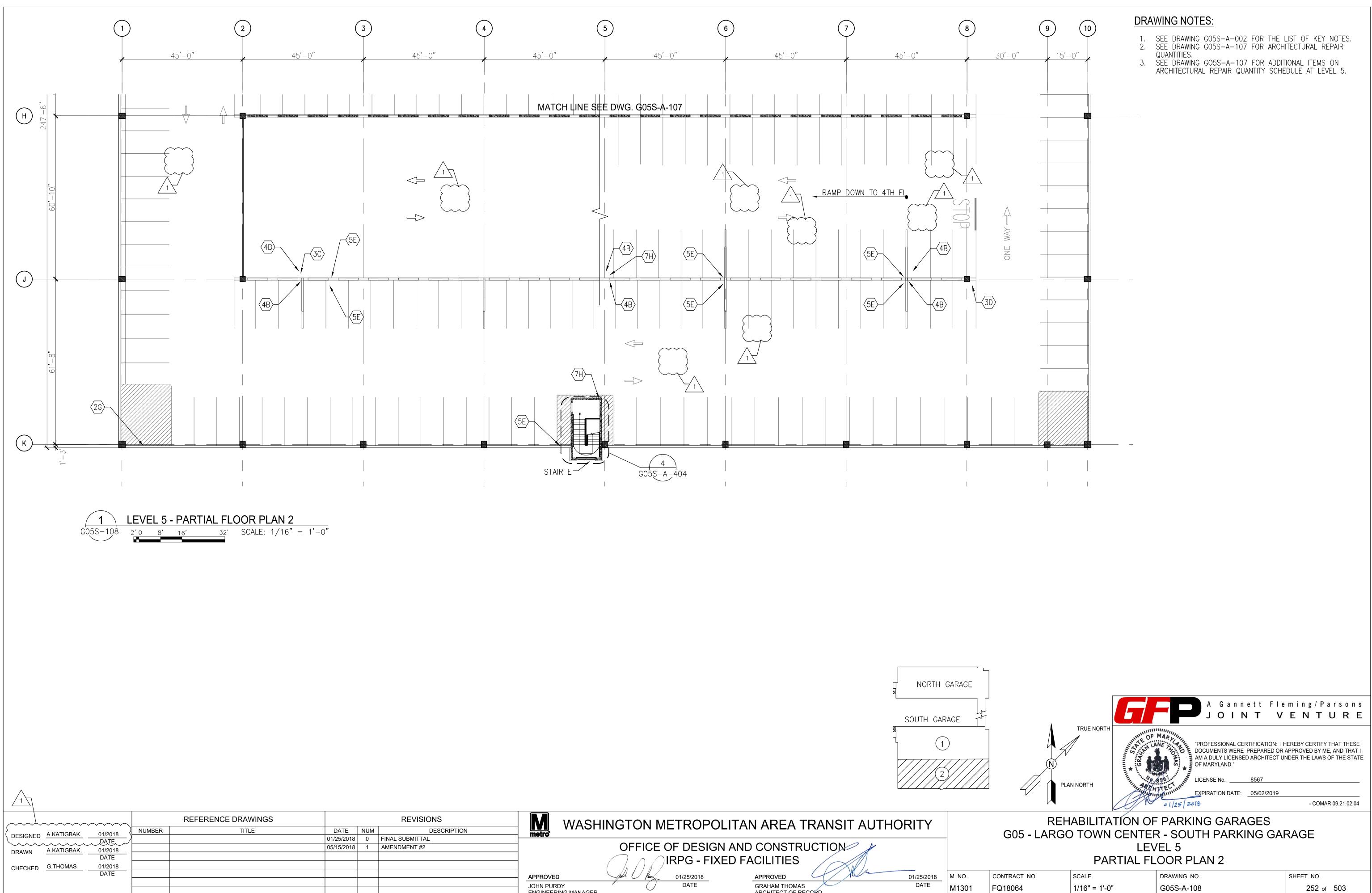


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(9) (10)DRAWING NOTES: 15'-0" 9'-8 <u>23'-8'</u> SEE DRAWING G05S-A-002 FOR THE LIST OF KEY NOTES. SEE DRAWING G05S-A-106 FOR ARCHITECTURAL REPAIR STAIR D-QUANTITIES ARE FOR THE ENTIRE LEVEL. SEE DRAWING G05S-A-108 FOR ADDITIONAL ITEMS ON ARCHITECTURAL REPAIR QUANTITY SCHEDULE AT LEVEL 5. GENERAL NOTE: ALL PAVEMENT MARKINGS TO BE REPAINTED FOR ENTIRE LEVEL AFTER DECK REPAIRS ARE COMPLETED. _____ TRUE NORTH E OF MAR "PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE LANE ; , DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE 1.0.1 OF MARYLAND." LICENSE No. 8567 No 856 PLAN NORTH 4/ CHITEC EXPIRATION DATE: 05/02/2019 01/25/2018 - COMAR 09.21.02.04 REHABILITATION OF PARKING GARAGES 5 - LARGO TOWN CENTER - SOUTH PARKING GARAGE LEVEL 5 PARTIAL FLOOR PLAN 1 SHEET NO. T NO. DRAWING NO. SCALE G05S-A-107 1/16" = 1'-0" 251 of 503



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